



**Meeting Date:** April 15, 2020

**File No.(s):** PLN2019-13742, CEQA2020-01072

**Location:** 2201 Laurelwood Road, a 521,798 square-foot lot located on the westside of Juliet Lane, north of US 101, APN: 104-39-023; property is zoned Planned Industrial (MP).

**Applicant / Owner:** Tiemo Mehner, DCM Designs

**Owner:** MECP1 Santa Clara 1, LLC

**Request:** **Consider a Mitigated Negative Declaration (MND)** prepared for the project by the California Energy Commission and **Adopt a Mitigation Monitoring and Reporting Program**; and **Architectural Review** to allow the development of two four-story data center buildings totaling 533,952 square feet with an electric substation, mechanical yard support areas, and surface parking lot.

**CEQA Determination:** Mitigated Negative Declaration

**Project Planner:** Nimisha Agrawal, Associate Planner

**Staff Recommendation:** **Approve**, subject to conditions

**Project Data**

<b>Lot Size:</b> 11.97 acre	521,798 sq. ft.			
	<b>Existing Floor Area (sq.ft.)</b>	<b>Demolish (sq.ft.)</b>	<b>Addition (sq.ft.)</b>	<b>Proposed Floor Area (sq.ft.)</b>
<b>Gross Floor Area</b>	199,918	199,918	Building 1: 250,560 Building 2: 283,392	533,952
<b>Building footprint</b>	-	-	154,368	154,368
<b>Lot Coverage</b>	-	-		154,368/521,798 = 29.6%
<b>F.A.R.</b>	-			533,952/521,798 = 1.02
<b>Height</b>				84 feet to roof
<b>Parking</b>	Surface Parking		<b>134 spaces</b> <ul style="list-style-type: none"> <li>• 100 Standard spaces</li> <li>• 20 Compact Spaces</li> <li>• 7 ADA spaces</li> <li>• 7 EV spaces</li> </ul>	
<b>Bicycle Parking</b>			<u>Building 1:</u> Bicycle Parking Class I: 31 Bicycle Parking Class II: 11 <u>Building 2:</u> Bicycle Parking Class I: 36 Bicycle Parking Class II: 12	
<b>Flood Zone</b>			X	

## **Points for consideration**

### **Zoning and General Plan**

- The project site is currently designated Low Intensity Office/R&D in the City of Santa Clara 2010-2035 General Plan (General Plan) and is zoned Planned Industrial (MP). The proposed use is consistent with the General Plan and zoning designations for the property.
- The proposed FAR for the project is 1.02, exceeding the base FAR of 1.0 set by the City of Santa Clara General Plan. However, the General Plan's FAR limitations are intended to control employment density, and the project's employment density would not conflict with the allowed uses or assumed employment intensity for the Low Intensity Office and R&D.
- The height of the proposed building is approximately 84 feet, which exceeds the 70 foot maximum permissible height in the Planned Industrial (MP) zone. The project will require a Zoning Administrator Modification to allow the proposed height.

### **Mitigated Negative Declaration**

- The project proposes to construct two new four-story Buildings, approximately 533,952 square foot datacenter building with a maximum electric load of 99 MW and an onsite 60-KW electric substation.
- A Mitigated Negative Declaration (MND) has been prepared by California Energy Commission (CEC) for the project in accordance with the California Environmental Quality Act (CEQA). On February 4, 2020, the Commission adopted the decision to grant the Small Power Plant Exemption to the Laurelwood Data Center Backup Generators. All documents and materials that were relied upon in making this decision are available online on CEC website at: <https://efiling.energy.ca.gov/Lists/DocketLog.aspx?docketnumber=19-SPPE-01> The Commission's adoption order is also available on the City's website at [www.santaclaraca.gov/ceqa](http://www.santaclaraca.gov/ceqa).
- The IS/MND evaluated the potential environmental impacts that may result from the construction and operation of the project, and proposed mitigation measures in the area of Biological Resources and Cultural and Tribal Cultural Resources. With implementation of mitigation measures identified in the MND and Mitigation Monitoring and Reporting Program (MMRP) would reduce the potentially significant impacts to less than significant.
- Through the Development Review Hearing a determination will need to be made that the project will not have a significant effect on the environment, that mitigation measures will be made a condition of the approval of the project and adopt the Mitigated Negative Declaration and the Mitigation Monitoring and Reporting proposed for this project.

### **Building Design**

- The project would construct two four-story buildings with an electric substation in the south west corner and with an access from Juliet Lane.
- The façades, the design, and materials for the proposed building consist varied materials colors and textures to create interest. It includes light gray, medium gray and light blue stucco panels, with glass curtain walls and aluminum composite panels clad staircase towers facades in silver and dark gray.
- The applicant has worked with staff to improve the view that will be visible from US101, by incorporating variation in façade materials, colors, height of various elements, screening of the mechanical equipments and substation, and utilizing different screening materials. Since the application submittal, the applicant has provided five revisions on building design and site layout to incorporate staff comments.
- Screening of rooftop equipment with aluminum corrugated metal panels along the rooftop perimeter from view along the public right-of-way are integrated into the site and building design.

- 28 stacked generators are located south east of Building 1 and another 28 generators are located on the northwest side of building 2 and are screened from public view by an approximately 21 feet high aluminum corrugated metal panel screen. Two loading docks are provided that are screened with dense landscaping.
- The project provides pedestrian connections to neighboring development with the construction of a complete street section (4' landscape strip and 7' sidewalk) with large canopy trees along the project frontage.

#### Parking

- A total of 135 on-site parking spaces will be provided throughout the site, consistent with the 1:4,000 parking requirement for data center uses in the zoning code.
- A total of 67 Class I bicycle spaces and 23 Class II bicycle spaces are provided onsite.

#### Trees and Landscaping

- Construction of the proposed data center and parking lot would require removal of 47 trees with 116 trees to remain protected in place.
- Consistent with the City's replacement policy, 58 24"-box trees and 23 48"-box trees will be planted along Juliet lane and around the perimeter. In addition, shrubs and ground cover would be planted throughout the project site.
- Final tree removal and landscape plans, including potential off-site replacement, would be subject to review and approval by the Community Development Department with consultation with the City Arborist.

#### Community Outreach

- A notice of development was posted on the property at least 10 days prior to the scheduled public hearing.
- The notice of public hearing for this item was posted within 300 feet of the site and was mailed to property owners within 500 feet of the project site.
- City has received no comments on the project.

#### Findings

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City are a part of the proposed development, in that;*
  - The development provides 134 on-site parking spaces consistent with the 1:4,000 parking requirement for data center uses SCCC 18.74.040 (d)(2) – Data Centers.
  - The project includes off-site public improvements along the public right of-way fronting the project site and on-site landscape improvements in the parking areas. A four-foot clear landscape strip adjacent to the curb with a seven foot sidewalk behind are proposed to link adjacent properties and provide pedestrian access to the site consistent with complete streets design. The project also includes landscaping within the front building setback and parking areas in conformance with the development standards for the MP zoning district. At grade outdoor equipment and rooftop equipment would be screened from the public right-of-way would be screened from view along the public-right-way by aluminum corrugated metal screens.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in*

*the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*

- The development is generally consistent with the City's Design Guidelines. Exterior building façade provides a mix of materials and textures to create interest.
- The project invests in the site improvements that will enhance the streetscape and increase property values by replacing derelict buildings, asphalt surface parking areas, and minimal landscaping on-the site and provide a catalyst for future investment for enhancement and development opportunities in the project area.
- The project site is located within the MP zoning district. Data centers generate few employees and relatively infrequent delivery of materials; consequently, the Project is not anticipated to produce many vehicle trips. Moreover, a data center is a permitted use within the MP zoning district.
- Sufficient parking is provided to accommodate employee parking demands on-site and prevent spillover parking onto the public right-of-way. Vehicle ingress and egress would be provided by two new driveways along Juliet Lane, enabling efficient traffic flow along the street and site circulation on the property.

3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*

- The project site was previously developed with two two-story buildings that were demolished under a separate permit; it was previously used for industrial warehousing, manufacturing, and office purposes. The proposed development would construct two four-story buildings that are higher than the surrounding mid-rise structures, but consistent to the adjacent industrial uses.
- The proposal is to redevelop and improve the project site with construction of the data center with a strong, contemporary urban design that would improve the visual character of the zone. The project would include ancillary equipment (backup generators), loading dock, circulation and parking, and landscape improvements in conformance with the MP zoning district development standards and consistent with the development of data centers throughout the City.
- The project provides setback and landscaping along the street frontage consistent with surrounding properties.

4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*

- The project is generally consistent with adjacent industrial and commercial development in terms of visual character and quality.
- The data center use and associated parking are self-contained within the limits of the property. There are no residential developments immediately adjacent that would be impacted with privacy concerns.
- The project site is currently vacant and is an attractive nuisance for graffiti, trespassing, and dumping of materials. The proposal is to invest in the redevelopment of the site and improve the property with construction of a data center and associated improvements, that includes on-site security and gated entries. The project includes conditions of approval and would be subject to the City Code and the mitigation measures set forth in the Mitigated Negative



Declaration and Mitigation Monitoring and Reporting Program with project development to minimize impacts of development on neighboring properties.

5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*

- The development is a modern data center facility that is allowed in the MP Zoning District. The proposed development provides for an aesthetically attractive building, and ample employee parking.
- The project supports high quality design in keeping with adopted design guidelines for industrial development and the City's architectural review process consistent with General Land Use Plan Policy 5.3.1-P3 as follows:
  - i. The building design avoids the orientation of equipment yard, service areas, and large expanses of blank walls facing toward the street.
  - ii. The bulk, scale and height of the building is appropriate for the industrial sector and approved data centers within the City.
- Façade elements and treatments are incorporated in the exterior building design to enrich the building appearance.
- Driveway entrances are appropriate in number and location and are emphasized by landscaping to provide a suitable focus and identification.
- The project provides pedestrian connections to neighboring development with the construction of a complete street section (4' landscape strip and 7' sidewalk) along the project frontage.
- Screening of ground mounted and rooftop equipment from view along the public right-of-way are integrated into the site and building design.

#### **Attachments**

1. Conditions of Approval
2. Development Plans

## **CONDITIONS OF APPROVAL**

In addition to complying with all applicable codes, regulations, ordinances and resolutions, the following **conditions of approval** are recommended:

### **GENERAL**

- G1. If relocation of an existing public facility becomes necessary due to a conflict with the developer's new improvements, then the cost of said relocation shall be borne by the developer.
- G2. Comply with all applicable codes, regulations, ordinances and resolutions.

### **ATTORNEY'S OFFICE**

- A1. The Developer agrees to defend and indemnify and hold City, its officers, agents, employees, officials and representatives free and harmless from and against any and all claims, losses, damages, attorneys' fees, injuries, costs, and liabilities arising from any suit for damages or for equitable or injunctive relief which is filed by a third party against the City by reason of its approval of developer's project.

### **COMMUNITY DEVELOPMENT**

- C1. Obtain required permits and inspections from the Building Official and comply with the conditions thereof. If this project involves land area of 1 acre or more, the developer shall file a Notice of Intent (NOI) with the State Water Resources Control Board prior to issuance of any building permit for grading, or construction; a copy of the NOI shall be sent to the City Building Inspection Division. A storm water pollution prevention plan is also required with the NOI.
- C2. Submit plans for final architectural review to the Architectural Committee and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, trash enclosure details, lighting and signage. Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- C3. The project would not qualify for exemption under CEQA guidelines and shall require an initial study /mitigated negative declaration.
- C4. Project shall provide at least 5' wide sidewalk and at least 4' wide landscaping strip along Juliet Lane surrounding the project site.
- C5. A Landscape plan showing the tree protection plan and a replacement plan for review and approval by the City prior to any demolition, grading or other earthwork in the vicinity of the existing trees on the site. Landscape plan to include type and size of proposed trees. Coordinate with the City Arborist for the type, location, installation and maintenance of large canopy street trees fronting the project site along the public right-of-way. Type and size of tree replacement on project site shall be at the direction of the City Arborist and require Planning Division review and approval. Installation of root barriers and super-soil may be required with the installation of trees where electric, water, and sewer utilities are in proximity.
- C6. Project site landscaping shall be maintained in good condition throughout the life of the Project and no trees shall be removed without City review and approval. Trees permitted by the City for removal shall be replaced at a 2:1 ratio with 24-inch box specimen tree, or equal alternative as approved by the Director of Community Development.
- C7. A complete landscape plan that includes, type, size and location of all plant species shall be required as part of architectural review of the project. Review and approval of the complete landscape plan, including water conservation calculations and irrigation plan shall be required prior to issuance of building permits. Installation of landscaping is required prior to occupancy permits.
- C8. Commercial, industrial, and multi-family residential buildings must have enclosures for solid waste and recycling containers. The size and shape of the enclosure(s) must be adequate to serve the estimated solid waste and recycling needs and size of the building(s) onsite and should be designed and located

on the property so as to allow ease of access by collection vehicles. As a general rule, the size of the enclosure(s) for the recycling containers should be similar to the size of the trash enclosure(s) provided onsite. Roofed enclosures with masonry walls and solid metal gates are the preferred design. Any required enclosure fencing (trash area, utility equipment, etc.) if not see-thru, shall have a six (6) inch opening along the bottom for clear visibility. Any gates or access doors to these enclosures shall be locked.

- C9. The noise levels from the proposed use shall be within the maximum permissible limits in Planned Industrial (ML) zone per the City's Noise Ordinance.
- C10. Building design shall incorporate measures to avoid bird strike.
- C11. The Final Storm Water Management Plan (SWMP) must be certified by a third-party consultant from SCVURPP's current list of qualified consultants. Five copies of the approval letter from the certified third-party review (wet stamped and signed) must be submitted prior to the issuance of grading or building permit.
- C12. Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- C13. Prior to the issuance final occupancy, the applicant shall enter into Operations and Maintenance (O&M) agreement with the City. The project operator is responsible for the operations and maintenance of the SWMP and storm water BMPs consistent with the O&M agreement throughout the life of the project.
- C14. The Developer shall comply with the Mitigations Monitoring and Reporting Program that will be identified in the Edgecore Data Center Initial Study / Mitigated Negative Declaration and shall be incorporated in the Conditions of Approval for this project.
- C15. Developer is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

## **BUILDING**

- BD1. Prior to overall construction permit application, submit to the Santa Clara Building Division, 2 copies of an addressing diagram request, to be prepared by a licensed architect or engineer. The addressing diagram(s) shall include all proposed streets and all building floor plans. The addressing diagram(s) shall conform to Santa Clara City Manager Directive #5; Street Name and Building Number Changes, and Santa Clara Building Division Address Policy for Residential and Commercial Developments. The addressing diagram(s) shall indicate all unit numbers to be based off established streets, not alleys nor access-ways to garages. Allow a minimum of 10 working days for initial staff review. Please note city staff policy that existing site addresses typically are retired. Provide digital pdf printed from design software, not scanned from printed paper sheet
- BD2. The construction permit application drawings submitted to the Santa Clara Building Division shall include a copy of the latest Federal Emergency Management Agency (FEMA) Flood Zone Map: <https://msc.fema.gov/portal/home>. The project drawings shall indicate how the project complies with the Santa Clara Flood Damage Prevention Code.
- BD3. The construction permit application drawings submitted to the Santa Clara Building Division shall include Santa Clara Valley Urban Runoff Pollution Prevention Program Low Impact Development (LID) practices [http://www.scvurppp-w2k.com/nd\\_wp.shtml](http://www.scvurppp-w2k.com/nd_wp.shtml). All projects that disturb more than one acre, or projects that are part of a larger development that in total disturbs more than one acre, shall comply with the Santa Clara Valley Urban Runoff Pollution Prevention Program Best Management Practices (BMP): [http://www.scvurppp-w2k.com/construction\\_bmp.shtml](http://www.scvurppp-w2k.com/construction_bmp.shtml), and shall provide a Storm Water Pollution Prevention Plan (SWPPP) by a certified Qualified SWPPP Developer (QSD). All site drainage and grading permit applications submitted to the Santa Clara Building Division shall include a city of Santa Clara "C3" data form, available on this web page:

<https://www.santaclaraca.gov/our-city/departments-g-z/public-works/environmental-programs/stormwater-pollution-prevention>  
and will be routed to a contract consultant for review.

- BD4. Informational: no California construction code review is being done at this time. The construction permit application drawings submitted to the Santa Clara Building Division shall include an overall California Building Code analysis, including; proposed use and occupancy of all spaces (19' CBC Ch. 3), all building heights and areas (19' CBC Ch. 5), all proposed types of construction (19' CBC Ch. 6), all proposed fire and smoke protection features, including all types of all fire rated penetrations proposed (19' CBC Ch. 7), all proposed interior finishes fire resistance (19' CBC Ch. 8), all fire protection systems proposed (19' CBC Ch. 9), and all means of egress proposed (19' CBC Ch. 10). -Noncombustible exterior wall, floor, and roof finishes are strongly encouraged.  
-During construction retaining a single company to install all fire rated penetrations is highly recommended.
- BD5. The overall project construction permit application shall include the geotechnical, architectural, structural, energy, electrical, mechanical, and plumbing drawings and calculations. Prior to the issuance of the overall project construction permit, a conditions of approval review meeting must be held in city hall, which meeting must be attended by the on-site field superintendent(s). The meeting will not be held without the attendance of the on-site field superintendent(s). The on-site grading permit shall be a separate permit application to the Building Division.
- BD6. The construction permit application drawings submitted to the Santa Clara Building Division shall include all accessibility requirements of the 19' CBC Ch. 11 as applicable.
- BD7. The construction permit application drawings submitted to the Santa Clara Building Division shall include checklist(s) indicating compliance with the applicable Mandatory Measures of the 19' Cal. Green Building Standards Code (CGBSC). Provide Construction Waste Management (CWM) Plan per the 19' CGBSC guides on pp 59-63 of the CGBSC. Provide a Phase 1 and/ or Phase 2 Hazardous Materials site assessment, as applicable. Note: The Santa Clara Public Works Department Environmental Programs Division will require compliance with the Santa Clara Construction & Demolition Debris Recycling Program: <http://santaclaraca.gov/government/departments/public-works/environmental-programs/commercial-garbage-recycling/construction-demolition-debris-recycling-program>. Note: the Environmental Programs Division may require development projects to register with the Green Halo online waste tracking system: <https://www.greenhalosystems.com>.
- BD8. Note: Temporary Certificates of Occupancy will not be routinely issued, and will be considered on a very limited basis only when there is a clear and compelling reason for city staff to consider a TCO. A TCO will be approved only after all applicable City staff have approved in writing; Planning, P.W./ Engineering, Fire Prev., Santa Clara Water, Silicon Valley Power, and any other applicable agencies such as the Santa Clara County Health Dept., with the Building Division being the final approval of all TCO.'s.

## **ENGINEERING**

- E1. Obtain site clearance through Public Works Department prior to issuance of Building Permit. Site clearance will require payment of applicable development fees. Other requirements may be identified for compliance during the site clearance process. Contact Public Works Department at (408) 615-3000 for further information.
- E2. All work within the public right-of-way and/or public easement, which is to be performed by the Developer/Owner, the general contractor, and all subcontractors shall be included within a Single Encroachment Permit issued by the City Public Works Department. Issuance of the Encroachment Permit and payment of all appropriate fees shall be completed prior to commencement of work, and all work under the permit shall be completed prior to issuance of occupancy permit.

- E3. Submit public improvement plans prepared in accordance with City Public Works Department procedures which provide for the installation of public improvements. Plans shall be prepared by a Registered Civil Engineer and approved by the City Engineer prior to approval and recordation of Subdivision Map and/or issuance of building permits.
- E4. Developer shall provide a complete storm drain study for the 10-year and 100-year storm events. The grading plans shall include the overland release for the 100-year storm event and any localized flooding areas. System improvements, if needed, will be at developer's expense.
- E5. A backflow preventive device shall be provided for on-site storm drain laterals when an on-site elevation of a pick-up point is more than 6 inches below the lowest top of curb on the fronting street(s). The backflow device shall be located in a private structure outside the street right-of-way and maintained by the property owner.
- E6. Existing non-standard or non-ADA compliant frontage improvements shall be replaced with current City standard frontage improvements as directed by the City Engineer or his designee.
- E7. Sanitary sewer and storm drain mains and laterals shall be outside the drip line of mature trees or ten (10) feet clear of the tree trunk, whichever is greater, to the satisfaction of the Public Works Director.
- E8. Provide root barriers when the drip line of the mature trees covers the sidewalk. Root barriers for sidewalk protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 1.5' deep, and centered on trees. Root barriers for curb and gutter protection shall be 16' long or extend to drip line of the mature tree, whichever is greater, and be 2' deep, and centered on trees.
- E9. Obtain Council approval of a resolution ordering vacation of existing public easement(s) proposed to be abandoned, if any, through Public Works Department, and pay all appropriate fees, prior to start of construction.
- E10. Dedicate required on-site easements for any new public utilities by means of subdivision map or approved instrument at time of development.
- E11. Entire width of street along the project frontage shall be cape sealed with digouts.
- E12. All proposed sidewalk, walkway, and driveway(s) shall be per ADA compliant City standards. All driveways shall be City standard ST-8 driveways.
- E13. All proposed sidewalk, walkway, and driveway(s) shall be per ADA compliant City standard.
- E14. Show and comply with City's driveway vision triangle requirements at proposed driveway. Visual obstructions over three feet in height will not be allowed within the driver's sight triangle near driveways and intersections in order to allow an unobstructed view of oncoming traffic. Contact Traffic Engineering at (408) 615-3000 for further information.
- E15. Provide a minimum 5' wide sidewalk along property frontage.
- E16. Reinstall any signs removed during sidewalk construction.
- E17. Provide ADA walkway connecting the proposed buildings to public sidewalk.
- E18. Provide on-site crane staging area for loading of mechanical unit(s).
- E19. All traffic striping, messages, and symbols shall be thermoplastic.
- E20. For the required bicycle parking spaces, the following numbers are based on VTA Bicycle Technical Guidelines:
  - Building 1 (250,560 SF): 31 Class I and 10 Class II bike parking spaces
  - Building 2 (286,344 SF): 36 Class I and 12 Class II bike parking spaces

**ELECTRICAL**

- EL1. Cable pulling calculations will be required as part of detailed design. If bends exceed 270 degrees between any two pull boxes or if calculations fail an additional manhole may be required.
- EL2. SVP Fiber pull boxes to be placed/designed as part of detailed design.

- EL3. SVP duct bank shown on C5.0 Section A-A shall be given the additional 1.6 feet separation from Telecom Duct Bank.
- EL4. SVP duct bank shown on C5.0 Section B-B bends shall not exceed 270 degrees between the two new SVP manholes.
- EL5. SVP Existing Vaults may need to be replaced for reliability pending further investigation during detailed design.
- EL6. Tree clearances to all existing and new SVP infrastructure must be met per SD-1235. Transmission pole clearance must meet requirements per OH-1230
- EL7. Clearances: **(Make sure job notes do not conflict with SVP clearance requirements)**
  - a. EQUIPMENT
    - i. Ten (10) foot minimum clearance is required in front of equipment access doors. (UG1000 sheet 11)
    - ii. Five (5) foot minimum clearance from pad is required on sides without equipment access doors. (UG1000 sheet 11)
    - iii. Eighteen (18) foot minimum width, shall be provided and maintained on one side of the equipment pad to allow an electric dept. line truck to drive up next to the pad for installation and maintenance of equipment. (UG1000 Sheet 11).
    - iv. Barrier pipes are required only on sides accessible to vehicles. (UG1000 Sheet 12).
      - 1. Thirty (30) inches from side of equipment sides.
      - 2. Forty Eight (48) inches in front of access doors.
        - a. Barrier Pipes in front of access doors shall be removable.
  - b. CONDUITS
    - i. Five (5) foot minimum longitudinal clearance between new conduits or piping systems (open trench installation) and any existing or proposed SVP conduit system. This is for longitudinal. (UG1250 sheet 5)
    - ii. Twelve (12) inch minimum vertical clearance between new conduit/pipes installed perpendicular to existing SVP conduits for open trench installations. (UG1000 sheet 36, UG1250 Sheet 6)
    - iii. Three (3) foot six (6) inches clearance is required from poles for open trench installation. Exceptions are for riser conduit. (UG1250 Sheet 7)
    - iv. Three (3) foot minimum clearance is required between signposts, barrier pipes or bollards, fence posts, and other similar structures. (UG1250 sheet 10).
    - v. Five (5) foot minimum from new splice boxes, pull boxes, manholes, vaults, or similar subsurface facilities. (UG1000 sheet 8)
    - vi. Five (5) foot minimum clearance from walls, footings, retaining wall, landscape planter, tree root barrier or other subsurface wall or structure. (UG1250 sheet 9).
    - vii. Five (5) foot minimum clearance is required between fire hydrant thrust block. The thrust block extends 5' foot on either side of the fire hydrant in line with the radial water pipe connected to the hydrant.
  - c. VAULTS/MANHOLES
    - i. Ten (10) foot minimum clearance is required between adjacent Vaults or Manholes.
    - ii. Five (5) foot minimum clearance is required between adjacent conduits.
    - iii. Minimum 36" from face of curb, or bollards required.
  - d. Poles (Electrolier, Guy Stub poles, service clearance poles, self-supporting steel poles and lighting poles.)
    - i. Three (3) foot six (6) inches clearance is required from poles for open trench installation. Exceptions are for riser conduit. (UG1250 Sheet 7)
  - e. Guy Anchors
    - i. Five (5) foot minimum clearance is required between center of anchor line and any excavation area. (UG1250 sheet 15).

- f. Trees
  - i. OH 1230 for Overhead Lines
  - ii. SD 1235 for Tree Planting Requirements near UG Electric Facilities
- EL8. Reference listed SVP standards for clearances.
  - a. Installation of Underground Substructures by Developers
  - b. UG1250 – Encroachment Permit Clearances from Electric Facilities
  - c. UG0339 – Remote Switch Pad
  - d. OH1230 – Tree Clearances from Overhead Electric Lines
  - e. SD1235 – Tree Planting Requirements Near Underground Electric Facilities
- EL9. Prior to submitting any project for Electric Department review, applicant shall provide a site plan showing all existing utilities, structures, easements and trees. Applicant shall also include a “Load Survey” form showing all current and proposed electric loads. A new customer with a load of 500KVA or greater or 100 residential units will have to fill out a “Service Investigation Form” and submit this form to the Electric Planning Department for review by the Electric Planning Engineer. Silicon Valley Power will do exact design of required substructures after plans are submitted for building permits.
- EL10. The Developer shall provide and install electric facilities per Santa Clara City Code chapter 17.15.210.
- EL11. Electric service shall be underground. See Electric Department Rules and Regulations for available services.
- EL12. Installation of underground facilities shall be in accordance with City of Santa Clara Electric Department standard UG-1000, latest version, and Santa Clara City Code chapter 17.15.050.
- EL13. Underground service entrance conduits and conductors shall be “privately” owned, maintained, and installed per City Building Inspection Division Codes. Electric meters and main disconnects shall be installed per Silicon Valley Power Standard MS-G7, Rev. 2.
- EL14. The developer shall grant to the City, without cost, all easements and/or right of way necessary for serving the property of the developer and for the installation of utilities (Santa Clara City Code chapter 17.15.110).
- EL15. If the “legal description” (not “marketing description”) of the units is condominium or apartment, then all electric meters and services disconnects shall be grouped at one location, outside of the building or in a utility room accessible directly from the outside. If they are townhomes or single-family residences, then each unit shall have its own meter, located on the structure. A double hasp locking arrangement shall be provided on the main switchboard door(s). Utility room door(s) shall have a double hasp locking arrangement or a lock box shall be provided. Utility room door(s) shall not be alarmed.
- EL16. If transformer pads are required, City Electric Department requires an area of 17’ x 16’-2”, which is clear of all utilities, trees, walls, etc. This area includes a 5’-0” area away from the actual transformer pad. This area in front of the transformer may be reduced from a 8’-0” apron to a 3’-0”, providing the apron is back of a 5’-0” min. wide sidewalk. Transformer pad must be a minimum of 10’-0 from all doors and windows, and shall be located next to a level, drivable area that will support a large crane or truck.
- EL17. All trees, existing and proposed, shall be a minimum of five (5) feet from any existing or proposed Electric Department facilities. Existing trees in conflict will have to be removed. Trees shall not be planted in PUE’s or electric easements.
- EL18. Any relocation of existing electric facilities shall be at Developer’s expense.
- EL19. Electric Load Increase fees may be applicable.
- EL20. The developer shall provide the City, in accordance with current City standards and specifications, all trenching, backfill, resurfacing, landscaping, conduit, junction boxes, vaults, street light foundations, equipment pads and subsurface housings required for power distribution, street lighting, and signal communication systems, as required by the City in the development of frontage and on-site property. Upon completion of improvements satisfactory to the City, the City shall accept the work. Developer shall further install at his cost the service facilities, consisting of service wires, cables, conductors, and

associated equipment necessary to connect a customer to the electrical supply system of and by the City. After completion of the facilities installed by developer, the City shall furnish and install all cable, switches, street lighting poles, luminaries, transformers, meters, and other equipment that it deems necessary for the betterment of the system (Santa Clara City Code chapter 17.15.210 (2)).

- EL21. Electrical improvements (including underground electrical conduits along frontage of properties) may be required if any single non-residential private improvement valued at \$200,000 or more or any series of non-residential private improvements made within a three-year period valued at \$200,000 or more (Santa Clara City Code Title 17 Appendix A (Table III)).
- EL22. Non-Utility Generator equipment shall not operate in parallel with the electric utility, unless approved and reviewed by the Electric Engineering Division. All switching operations shall be "Open-Transition-Mode", unless specifically authorized by SVP Electric Engineering Division. A Generating Facility Interconnection Application must be submitted with building permit plans. Review process may take several months depending on size and type of generator. No interconnection of a generation facility with SVP is allowed without written authorization from SVP Electric Engineering Division.
- EL23. Encroachment permits will not be signed off by Silicon Valley Power until Developers Work substructure construction drawing has been completed.
- EL24. All SVP-owned equipment is to be covered by an Underground Electric Easement (U.G.E.E.) This is different than a PUE. Only publicly-owned dry utilities can be in a UGEE. Other facilities can be in a joint trench configuration with SVP, separated by a 1' clearance, providing that they are constructed simultaneously with SVP facilities. See UG 1000 for details.
- EL25. Proper clearance must be maintained from all SVP facilities, including a 5' clearance from the outer wall of all conduits. This is in addition to any UGEE specified for the facilities. Contact SVP before making assumptions on any clearances for electric facilities.
- EL26. Transformers and Switch devices can only be located outdoors. These devices MAY be placed 5' from an outside building wall, provided that the building wall in that area meets specific requirements. (See UG 1000 document for specifics) EXAMPLE: If there are any doors, windows, vents, overhangs or other wall openings within 5' of the transformer, on either side, then the transformer MUST be 10' or more away from the building. These clearances are to be assumed to be clear horizontally 5' in either direction and vertically to the sky.
- EL27. All existing SVP facilities, onsite or offsite, are to remain unless specifically addressed by SVP personnel by separate document. It is the Developers responsibility to maintain all clearances from equipment and easements. Developer to contact SVP outside of the PCC process for clear definitions of these clearance requirements. Developer should not assume that SVP will be removing any existing facilities without detailed design drawings from SVP indicating potential removals. *Simply indicating that SVP facilities are to be removed or relocated on conceptual plans does not imply that this action has been approved by SVP.*
- EL28. SVP does not utilize any sub-surface (below grade) devices in it's system. This includes transformers, switches, etc.
- EL29. All interior meter rooms at ground level are to have direct, outside access through only ONE door. Interior electric rooms must be enclosed in a dedicated electric room and cannot be in an open warehouse or office space.
- EL30. High Rise Metering and Multi-Floor Infrastructure Requirements
  - a. Meter rooms located inside shall be approved by SVP Meter Department during the design phase or be located outside.
  - b. All residential meter centers shall be modular grouped installations with individual breakers, and on the approved meter base list. Such equipment shall be referred to SVP Meter Department prior to making commitments for the purchase and installation of such equipment.
  - c. All meter locations shall be subject to SVP Meter Department approval.
  - d. Customer shall provide a dedicated 20 amp circuit outlet near the 36" plywood board.



- e. Customer will supply 36" plywood board floor to ceiling in meter room that will be used for radiating communication cable. This board shall have 36" front working clearance at all times.
  - f. Meter rooms shall have a 4" Hilti "Speed Sleeve" or an equivalent sleeving product with a 4hr stop cloth centered in front of the 36" plywood board.
  - g. Any floor that the SVP communication cable will pass through that does not have a meter room, the communication cable shall have continuous piece of 4" schedule 40 PVC conduit.
  - h. All conduits shall not have more than 360 degrees of cumulative turn for one vertical stack of meter rooms. The only openings allowed in conduit are in electrical meter rooms. (No pulling points in conduit).
  - i. Conduit shall continue to the roof into an SVP approved CT cabinet (32"x32"x15") on the roof. Customer shall provide a dedicated 20 amp circuit outlet in CT cabinet. From the CT cabinet the customer shall provide 2" conduit to a structure 36" taller than any other structure on the roof. Conduit shall also continue to lowest floor electric meter room.
  - j. Lowest floor meter room shall have an SVP approved CT cabinet installed with a 2" conduit that runs to the exterior of the building. The point at which it exits the building must be between 8' and 10' with an 8" x 8" x 6" 3R NEMA rated enclosure.
  - k. Before any bus duct is energized all meter, sockets shall be covered, sealed, and tagged with a transparent plastic cover plate provided by the customer, or all main disconnects will be locked out with SVP lock.
  - l. A location near the door for installation of a key box, a key fitting the meter room door for the key box, and a sign on the exterior door stating, "Meter Room #xx". If multiple meter rooms are needed, each meter room door shall have a dedicated key box with key. If the door locks are changed, contact SVP to coordinate the exchange of keys.
  - m. Customer shall install SVP 4" UE conduit in front of the 36" plywood board at the Ground Level Meter room. SVP 4" UE conduit will be run outside to a designated UE box determined by SVP.
  - n. Each meter room shall have access directions to each meter room, 24hr contact information for building security and building maintenance, and Meter Room Number placed on the wall that is visible from any location in the room.
- EL31. In the case of podium-style construction, all SVP facilities and conduit systems must be located on solid ground (aka "real dirt") and cannot be supported on parking garage ceilings or placed on top of structures.
- EL32. Applicant is advised to contact SVP (CSC Electric Department) to obtain specific design and utility requirements that are required for building permit review/approval submittal. Please provide a site plan to Leonard Buttitta at 408-615-6620 to facilitate plan review.

## **WATER**

- W1. The proposed development impact to the potable water system will be analyzed using the City's hydraulic modeling program for a fee paid by the Developer. This will determine projected available fire flow capacity and residual pressure from public fire hydrants and on-site fire system connection points at the City's main during a fire event. If there is a deficiency in the existing potable water distribution or storage infrastructure, the developer will be required to upgrade the potable water system as determined and approved by the City. The required potable water system upgrades will be at developer's expense. The evaluation may change based on pending development applications and future projects. The potable water hydraulic analysis does not guarantee or in any way reserves or holds distribution capacity until developer has Final Approval for the project.
- W2. The applicant must indicate the disposition of all existing water and sewer services and mains on the plans. If the existing services will not be used, then the applicant shall properly abandon these services

to the main per Water & Sewer Utilities standards and install a new service to accommodate the water needs of the project.

- W3. Applicant shall submit plans showing proposed water, sanitary sewer, and fire service connected to a public main in the public right-of-way to the satisfaction of the Director of Water & Sewer Utilities. Different types of water use (domestic, irrigation, fire) shall be served by separate water services, each separately tapped at the water main. Tapping on existing fire service line(s) is prohibited.
- W4. Prior to issuance of Building Permits, the applicant shall submit design plans for construction of water utilities that comply with the latest edition of the Water & Sewer Utilities Water Service and Use Rules and Regulations, Water System Notes, and Water Standard Details and Specifications. In addition, prior to the City's issuance of Occupancy, the applicant shall construct all public water utilities per the approved plans. The Water & Sewer Utilities will inspect all public water utility installations and all other improvements encroaching public water utilities.
- W5. Prior to City's issuance of Building or Grading Permits, the applicant shall provide a dedicated water utility easement around the backflow prevention device onsite. The water utility easement for the water services and all other public water appurtenances shall be a minimum 15 feet wide and be adjacent to the public right-of-way without overlapping any public utility easement. Additionally, the applicant shall submit plans defining existing easements so Water Division can verify if there are any conflicts with proposed easements and water utilities.
- W6. No structures (fencing, foundation, biofiltration swales, etc.) allowed over sanitary sewer and/or water utilities and easements.
- W7. The applicant shall submit plans showing any onsite storm water treatment system. The plan shall include a section detail of the treatment system. No water, sewer, or recycled water facilities shall be located within 5-feet of any storm water treatment system.
- W8. Approved backflow prevention device(s) are required on all potable water services. The applicant shall submit plans showing the location of the approved backflow prevention device(s). Note that all new water meters and backflow prevention devices shall be located behind the sidewalk in a landscape area.
- W9. Approved reduced pressure detector assembly device(s) are required on all fire services. The applicant shall submit plans showing existing and proposed fire service upgraded with reduced pressure detector assembly device, as per city standard 17, to the satisfaction of the Director of Water & Sewer Utilities.
- W10. Applicant must clearly identify between public and private water mains, indicating which services and mains belong to public and private streets. No public mains should be shown on private property or streets.
- W11. The applicant shall bear the cost of any relocation or abandonment of existing Water Department facilities required for project construction to the satisfaction of the Director of Water and Sewer Utilities.
- W12. The applicant must indicate the pipe material and the size of existing water and sewer main(s) on the plans.
- W13. A dedicated fire service line, with an approved backflow prevention device, shall be used for on-site fire hydrants
- W14. If the applicant would like to inquire about recycled water use, the applicant shall coordinate with Mike Vasquez, Water Compliance Manager. Mike may be reached at (408)-615-2006.
- W15. Upon completion of construction and prior to the City's issuance of a Certificate of Occupancy, the applicant shall provide "as-built" drawings of the on-site public water utility infrastructure prepared by a registered civil engineer to the satisfaction of the Director of Water & Sewer Utilities.
- W16. Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned, and new separate dedicated water services shall be provided for each use (domestic and irrigation).

- W17. Prior to issuance of Building Permits, the applicant shall provide the profile section details for utilities crossing water, sewer, or reclaimed water mains to ensure a 12" minimum vertical clearance is maintained.
- W18. Fire hydrants should be located two feet behind monolithic sidewalk if sidewalk is present; two feet behind face of curb if no sidewalk is present, per City Std Detail 18.
- W19. Prior to the issuance of Building Permits, the applicant shall provide documentation of water usage so the Water Division can verify the appropriate size of all proposed water meters greater than 2 inches. Please note that if the existing water services are incapable of supplying the water needs to the site, the existing services shall be abandoned, and new separate dedicated water services shall be provided for each use (domestic and irrigation).

**POLICE**

PD1. A Coded Entry System is required for police access to **enclosed parking lots** and **gated communities**. This can be accomplished with a coded key pad system or the Police Department Knox Box key system.

We understand security is a prime concern for the tenants of the project, which necessitates some sort of secure building and admittance process. By having either of these secure access systems for law enforcement, it will allow us to better respond to emergency situations should they arise in the development. Examples of these systems can be reviewed at the following projects:

- 2585 El Camino Real (Coded key pad access)
- 3555 Monroe Street (Knox box key access)

This is for the sliding entry gate into the private parking lot.

- PD2. The developer shall meet the City of Santa Clara's guidelines established for radio signal penetration, detailed in the Communications Department's Public Safety Radio System Building Penetration Guidelines. The intended use of telecommunications sites shall be clearly and accurately stated in the use permit. The signal, of whatever nature, of any communications facility or system, shall in no way whatsoever interfere with or affect any police communication or police communication system.
- PD3. The property should be fenced off during demolition and construction as a safety barrier to the public and deterrent to theft and other crime. Consider not having any screening material on the fence so passing Police Patrol checks will be able to see into the site.
- PD4. Landscaping should follow the National Institute of Crime Prevention standards. That standard describes bushes/shrubs not exceeding 2' in height at maturity, or maintained at that height, and the canopies of trees should not be lower than 6' in height. Crime-deterrent vegetation is encouraged along the fence and property lines and under vulnerable windows.
- PD5. All entrances to the parking areas (structure, surface, subterranean, etc.) shall be posted with appropriate signage to discourage trespassing, unauthorized parking, etc. (See California Vehicle Code section 22658(a) for guidance).
- PD6. Exterior stairs shall be open style whenever structurally possible. The stairs should be well lit.

**FIRE**

F1. At time of Building Permit application, provide documentation to show the minimum required fire-flow for the building based on the construction type and square footage in accordance with the California Fire Code, Appendix B, Table B105.1 can be met. A 75% reduction in fire-flow is allowed with the installation of a automatic fire sprinkler system designed in accordance with California Fire Code §

B105.2. The resulting fire-flow shall not be less than 1,500 gallons per minute (or 1,000 gallons per minute for NFPA 13 fire sprinkler systems) minute for the prescribed duration.

- F2. At time of Building Permit application, the required number, location and distribution of fire hydrants for the building based on the California Fire Code, Appendix C, Table C102.1 shall be incorporated into the construction documents. The required number of fire hydrants shall be based on the fire-flow before the reduction.
- F3. Prior to the Start of Construction Fire protection water supplies shall be installed and made serviceable prior to the time of construction or prior to combustible materials being moved onsite, unless an approved alternative method of protection is approved by the Fire Prevention and Hazardous Materials Division.
- F4. Prior to the issuance of the Building Permit, construction documents for the fire department apparatus access roads are required submitted to the Fire Prevention and Hazardous Materials Division. Access roadways shall be provided to comply with all the following requirements:
- a. Fire apparatus access roadways shall be provided for every facility, building, or portion of a building hereafter constructed or moved when any portion of an exterior wall of the first story of the building is located more than 150 feet from fire apparatus access as measured by an approved route around the exterior of the building.
  - b. Fire apparatus access roadways shall have a “minimum” width of a fire apparatus access roadway for Engines is 20 feet. The “minimum” width of roadways for aerial apparatus is 26 feet. Ariel access roadways shall be located a minimum of 15 feet and a maximum of 30 feet from the protected building and positioned parallel to one entire sides of the building. The side of the building shall be approved by the Fire Prevention and Hazardous Materials Division.
  - c. Fire access roadways shall have a “minimum” unobstructed vertical clearance of not less than 13 feet 6 inches. Aerial apparatus access roads may require additional vertical clearance.
  - d. Fire access roadways shall All fire department access roadways shall be an all-weather surface designed to support the imposed load of fire apparatus with a gross vehicle weight of 75,000-pounds.
  - e. Fire apparatus access roadways shall have a “minimum” inside turning radius for fire department access roadways shall be 36 feet or greater.
  - f. The grade for emergency apparatus access roadways shall not exceed 10 percent to facilitate fire-ground operations.
  - g. Traffic calming devices are not permitted on any designated fire access roadway, unless approved by the Fire Prevention & Hazardous Materials Division.
  - h. All Fire Department Access roadways shall be recorded as an Emergency Vehicle Access Easement (EVAE) on the final map. No other instruments will be considered as substitutions such as P.U.E, Ingress/Egress easements and/or City Right-of-Ways.
- F5. Provisions shall be made for Emergency Responder Radio Coverage System (ERRCS) equipment, including but not limited to pathway survivability in accordance with Santa Clara Emergency Responder Radio Coverage System Standard.
- F6. Prior to issuance of a Building Demo Permit, Steps 1 through 3 summarized below must be addressed during the planning phase of the project. Submit Phase II environmental documents:
- a. **Step 1** – Hazardous Materials Closure (HMCP): This is a permit is issued by the Santa Clara Fire Department, Fire Prevention & Hazardous Materials Division. Hazardous materials closure plans are required for businesses that used, handled or stored hazardous materials. While

required prior to closing a business this is not always done by the business owner, and therefore should be part of the developer's due diligence. The hazardous materials closure plans demonstrate that hazardous materials which were stored, dispensed, handled or used in the facility/business are safely transported, disposed of or reused in a manner that eliminates any threat to public health and environment.

- b. **Step 2** – Site Mitigation: Site mitigation is the cleanup or management of chemical contaminants in soil, soil vapor or groundwater. The type and extent of contamination on site(s) governs which of the regulatory agencies noted below will supervise the cleanup.
  - Santa Clara Fire Department, Fire Prevention & Hazardous Materials Division (CUPA)
  - Department of Toxic Substances Control (DTSC)
  - State Water Resources Control Board
  - Santa Clara County, Department of Environmental Health.
- c. **Step 3** – Community Development, Building Division Demolition Application: For the majority of projects within the City of Santa Clara, Steps 1 and/or 2 described above need to be completed prior to proceeding to demolition application in order to avoid permit approval delays. The purpose of a demolition permit is to ensure that the parcel is clear of debris and other health hazard material (lead, asbestos, etc.) and that the utility connections have been plugged and sealed.”

## STREETS

- ST1. Prior to City's issuance of Building or Grading Permits, the applicant shall develop a Final Stormwater Management Plan, update the [SCVURPPP C.3 Data Form](#), prepare and submit for approval an Erosion and Sediment Control Plan. *Project's contractor, sub-contractors and if applicable, Qualified SWPPP Practitioner (QSP) shall attend a pre-construction meeting prior to the start of construction, which will be coordinated through the Building Division. BKF will have to provide the construction design and a verification letter for any modifications to the stormwater treatment facilities.*
- ST2. The Final Stormwater Management Plan and all associated calculations shall be reviewed and certified by a qualified 3<sup>rd</sup> party consultant from the [SCVURPPP List of Qualified Consultants](#), and a 3<sup>rd</sup> party review letter shall be submitted with the Plan.
- ST3. For projects that disturb a land area of one acre or more, the applicant shall file a Notice of Intent (NOI) with the State Water Resources Control Board for coverage under the State Construction General Permit (Order No. 2009-0009-DWQ) prior to issuance of any building permit for grading or construction. A copy of the NOI shall be submitted to the City Building Inspection Division, along with a stormwater pollution prevention plan (SWPPP). Active projects covered under the Construction General Permit will be inspected by the City once per month during the wet season (October – April).
- ST4. The applicant shall incorporate [Best Management Practices \(BMPs\)](#) into construction plans and incorporate post-construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of Building or Grading Permits. Proposed BMPs shall be submitted to and thereafter reviewed by the Planning Division and the Building Inspection Division for incorporation into construction drawings and specifications.
- ST5. During the construction phase, all stormwater control measures shall be inspected for conformance to approved plans by a qualified 3<sup>rd</sup> party consultant from the [SCVURPPP List of Qualified Consultants](#), and a 3<sup>rd</sup> party inspection letter (with the signed C.3 Construction Inspection checklist as an attachment) shall be submitted to the Public Works Department (Contact Rinta Perkins, Compliance Manager for a copy of the C.3 Construction Inspection checklist). As-Built drawing shall be submitted to the Public Works Department. Building occupancy will not be issued until all stormwater treatment measures have been adequately inspected and O&M Agreement is executed. For more information contact Rinta Perkins at (408) 615-3081 or [rperkins@santaclaraca.gov](mailto:rperkins@santaclaraca.gov)

- ST6. Stormwater treatment facilities must be designed and installed to achieve the site design measures throughout their life in accordance to the SCVRUPPP C.3 Stormwater Handbook (Chapter 6 and Appendix C). Soils for bioretention facilities must meet the specifications accepted by the Water Board. If percolation rate test of the biotreatment soil mix is not performed on-site, a certification letter from the supplier verifying that the soil meets the specified mix.
- ST7. Developer shall select appropriate plant materials to promote stormwater treatment measure while implementing integrated pest management and water conservation practices in accordance to the SCVRUPPP C.3 Stormwater Handbook (Appendix D).
- ST8. Any site design measures used to reduce the size of stormwater treatment measures shall not be removed from the project without the corresponding resizing of the stormwater treatment measures and an amendment of the property's O&M Agreement.
- ST9. The property owner shall enter into an Operation and Maintenance (O&M) Agreement with the City for all installed stormwater treatment measures in perpetuity. Applicants should contact Karin Hickey at (408) 615-3097 or [KaHickey@santaclaraca.gov](mailto:KaHickey@santaclaraca.gov) for assistance completing the Agreement. For more information and to download the most recent version of the O&M Agreement, visit the City's stormwater resources website at <http://santaclaraca.gov/stormwater>.
- ST10. Developer shall purchase and install full trash capture devices for all storm drain inlets on-site, which must be maintained by the property owner in perpetuity. Maintenance and inspection of full trash capture devices shall be addressed in the O&M Agreement.
- ST11. Developer shall install an appropriate stormwater pollution prevention message such as "No Dumping – Flows to Bay" on any storm drains located on private property.
- ST12. Interior floor drains shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.
- ST13. All outdoor equipment and materials storage areas shall be covered and/or bermed, or otherwise designed to limit the potential for runoff to contact pollutants.
- ST14. Floor drains within trash enclosures shall be plumbed to the sanitary sewer system and not connected to the City's storm drain system.

#### SOLID WASTE

- ST15. For projects that involve construction, demolition or renovation of 5,000 square feet or more, the applicant shall comply with City Code Section 8.25.285 and recycle or divert at least sixty five percent (65%) of materials generated for discard by the project during demolition and construction activities. No building, demolition, or site development permit shall be issued unless and until applicant has submitted a construction and demolition debris materials check-off list. Applicant shall create a **Waste Management Plan** and submit, for approval, a Construction and Demolition Debris Recycling Report through the City's online tracking tool at <http://santaclara.wastetracking.com/>.
- ST16. Project applicant shall contact the Public Works Department, Street Maintenance Division at (408) 615-3080 to verify if the property falls within the City's exclusive franchise hauling area. If so, the applicant may be required to use the City's exclusive franchise hauler and rate structure for solid waste services. Project applicant shall submit to the Public Works Department a written approval (clearance) from the designated hauler on the project's Trash Management Plan.
- ST17. The applicant shall provide a site plan showing all proposed locations of solid waste containers, enclosure locations, and street/alley widths to the Public Works Department. All plans shall comply with the [City's Development Guidelines for Solid Waste Services](#) as specified by development type. Contact the Public Works Department at [Environment@santaclaraca.gov](mailto:Environment@santaclaraca.gov) or at (408) 615-3080 for more information.
- ST18. Building must have enclosures for garbage, recycling and organic waste containers. The size and shape of the enclosure(s) must be adequate to serve the estimated needs and size of the building(s) onsite and should be designed and located on the property so as to allow ease of access by collection vehicles. Roofed enclosures with masonry walls and solid metal gates are the preferred design. Any

required enclosure fencing (trash area, utility equipment, etc.) if not see-thru, shall have a six (6) inch opening along the bottom for clear visibility. Any gates or access doors to these enclosures shall be locked.

ST19. All refuse from all residential, commercial, industrial and institutional properties within the city shall be collected at least once a week, unless otherwise approved in writing (SCCC 8.25.120). Garbage service level required for residential developments (single-family and multi-family) as well as motels and hotels shall be no less than twenty (20) gallons per unit. All project shall submit to the Public Works Department the preliminary refuse service level assessment for approval.

### **HOUSING & COMMUNITY SERVICES**

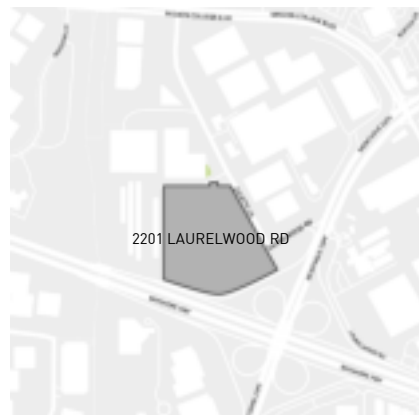
H1. This Project is subject to the Affordable Housing requirements which may be met through payment of an impact fee of \$2.00 per square foot. The estimated fees are calculated as follow: 536,904 sq. ft (proposed) minus 0 sq. ft (existing) = \$1,073,808. Applicant shall pay impact fees prior to the issuance of the occupancy certificate of the building.





2201 LAURELWOOD ROAD  
SANTA CLARA CA 95054

## PROJECT LOCATION



## SHEET LIST

SHEET NO.	SHEET NAME	PCC 1 - 02/08/2019	PCC 2 - 06/14/2019	PCC 3 - 08/23/2019	PCC 4 - 12/14/2019	PCC 5 - 02/14/2020	PCC 6 - 03/05/2020
0. TITLESHEET	T001 TITLESHEET	•	R	R	R	R	R
<b>2. ARCHITECTURAL</b>							
SP101	DEMOLITION PLAN	•	R	•	•	•	•
SP102	PROPOSED SITE PLAN	•	R	R	R	R	R
A101	BUILDING 2 - LEVEL 1 FLOOR PLAN	•	R	•	•	•	•
A102	BUILDING 2 - LEVEL 2 FLOOR PLAN	•	R	•	•	•	•
A103	BUILDING 2 - LEVEL 3 FLOOR PLAN	•	R	•	•	•	•
A104	BUILDING 2 - LEVEL 4 FLOOR PLAN	•	R	•	•	•	•
A105	BUILDING 2 - ROOF PLAN	•	•	R	R	•	•
A106	BUILDING 1 - TYPICAL FLOOR PLAN	•	•	•	•	•	•
A201	NE & SW ELEVATIONS	•	R	R	R	•	•
A202	NW & SE ELEVATIONS	•	R	R	R	R	•
A203	BUILDING 1 ELEVATIONS	•	•	•	•	•	R
A204	BUILDING 2 ELEVATIONS	•	•	•	•	•	•
A205	EXTERIOR DETAILS - METAL SCREENWALL	•	•	•	•	•	•
A301	BUILDING 2 SECTIONS	•	•	•	•	•	•
A310	SCREENWALL LINE OF SIGHT DIAGRAM	•	•	•	•	•	•
<b>3. CIVIL</b>							
C1.0	FIRE TRUCK ACCESS PLAN	•	•	•	•	•	•
C2.0	FIRE DEPARTMENT WATER SUPPLY PLAN	•	•	•	•	•	•
C3.0	GRADING AND DRAINAGE PLAN	•	•	•	•	•	•
C4.0	PRELIMINARY DRAINAGE AREA MAP	•	•	•	•	•	•
C5.0	COMPOSITE LANDSCAPE AND UTILITY PLAN	•	•	•	•	R	•

**LEGEND:**

- INCLUDED IN ISSUE
- R REVISED SHEET

SHEET NO.	SHEET NAME	PCC 1 - 02/08/2019	PCC 2 - 06/14/2019	PCC 3 - 08/23/2019	PCC 4 - 12/14/2019	PCC 5 - 02/14/2020	PCC 6 - 03/05/2020
CS.1	COMPOSITE LANDSCAPE AND UTILITY PLAN	•	•	•	•	•	•
<b>4. SURVEY</b>							
ALTA01	ALTA SURVEY	•	•	•	•	•	•
ALTA02	ALTA SURVEY	•	•	•	•	•	•
FEMA	NATIONAL FLOOD HAZARD LAYER	•	•	•	•	•	•
NFIP	FLOOD INSURANCE RATE MAP	•	•	•	•	•	•
<b>5. LANDSCAPE</b>							
L1.0	TREE DISPOSITION PLAN	•	•	R	•	•	•
L1.1	TREE DISPOSITION PLAN LANDSCAPE DETAILS	•	•	•	•	•	•
L1.2	TREE DISPOSITION DETAILS	•	•	•	•	•	•
L1.3	ARBORIST REPORT	•	•	•	•	•	•
L1.4	ARBORIST REPORT	•	•	•	•	•	•
L1.5	ARBORIST REPORT	•	•	•	•	•	•
L1.6	ARBORIST REPORT	•	•	•	•	•	•
L1.7	ARBORIST REPORT	•	•	•	•	•	•
L1.8	ARBORIST REPORT	•	•	•	•	•	•
L1.9	ARBORIST REPORT	•	•	•	•	•	•
L1.10	ARBORIST REPORT	•	•	•	•	•	•
L1.11	ARBORIST REPORT	•	•	•	•	•	•
L2.0	LANDSCAPE PLAN	•	•	•	•	R	•
L2.1	LANDSCAPE PLAN	•	•	•	•	R	•
L2.2	LANDSCAPE NOTES	•	•	•	•	•	•
L2.3	LANDSCAPE DETAILS	•	•	•	•	•	•

## PROJECT DESCRIPTION

Proposed construction of two new data center facilities. Each Building consisting of entrance lobby, toilets, offices, security rooms, conference rooms, storage rooms, electrical rooms, bicycle storage and loading docks.

Site development work includes screened generator yard, sub station, parking areas, landscaping and site drainage systems.

**PROPOSED USE:**

Data Center	533,952 SF
2 New Buildings	
Building 1	250,560 SF
Building 2	283,392 SF

**BUILDING INFORMATION:**

Occupancies: B, S-1, S-2, H-2  
Type of Construction: I B  
Fully Sprinklered (CBC 602.2)

REV.	DATE	DESCRIPTION
1	02/08/2019	PCC SUBMISSION
2	06/14/2019	PCC SUBMISSION
3	08/23/2019	PCC SUBMISSION
4	12/14/2019	PCC SUBMISSION
5	02/14/2020	PCC SUBMISSION
6	03/05/2020	PCC SUBMISSION

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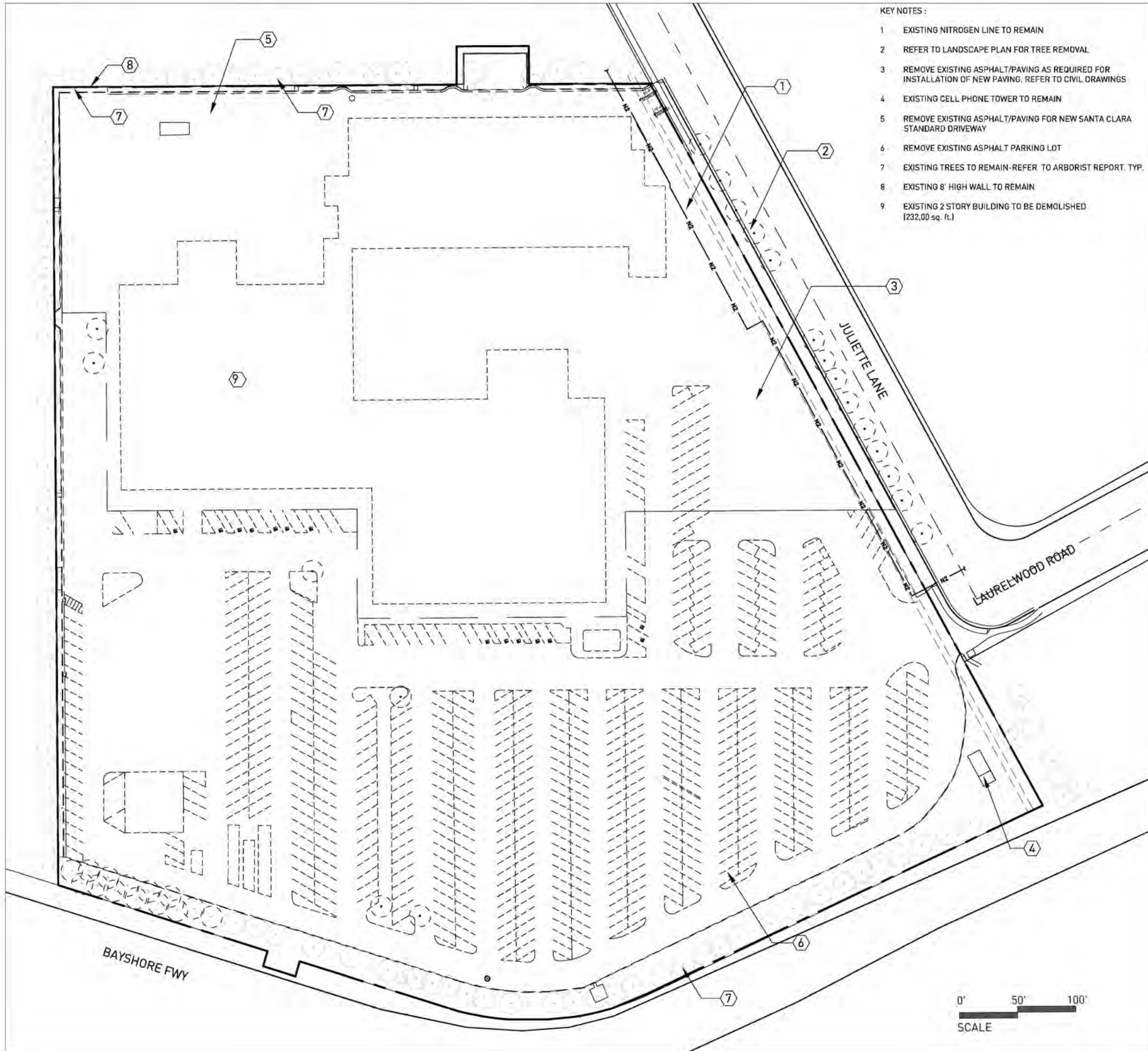
PROJECT:  
**EDGE CORE**  
INTERNET REAL ESTATE  
LAURELWOOD  
2201 Laurelwood Santa Clara, CA 95054

PROJECT NUMBER: 18-0014

TITLESHEET

T001





**KEY NOTES :**

- 1 EXISTING NITROGEN LINE TO REMAIN
- 2 REFER TO LANDSCAPE PLAN FOR TREE REMOVAL
- 3 REMOVE EXISTING ASPHALT/PAVING AS REQUIRED FOR INSTALLATION OF NEW PAVING. REFER TO CIVIL DRAWINGS
- 4 EXISTING CELL PHONE TOWER TO REMAIN
- 5 REMOVE EXISTING ASPHALT/PAVING FOR NEW SANTA CLARA STANDARD DRIVEWAY
- 6 REMOVE EXISTING ASPHALT PARKING LOT
- 7 EXISTING TREES TO REMAIN-REFER TO ARBORIST REPORT, TYP.
- 8 EXISTING 8' HIGH WALL TO REMAIN
- 9 EXISTING 2 STORY BUILDING TO BE DEMOLISHED (232,00 sq. ft.)

**GENERAL NOTES:**

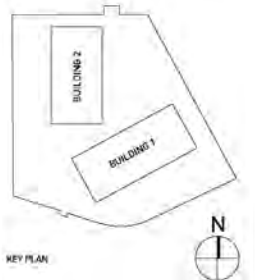
1. DEMOLITION PLAN FOR REFERENCE ONLY
2. DEMOLITION BY OTHERS UNDER SEPARATE PERMIT

**TREE PROTECTION MEASURES**

1. A PRE-CONSTRUCTION MEETING SHOULD BE HELD WITH CONTRACTORS, PRIOR TO COMMENCEMENT OF WORK, TO DISCUSS TREE PROTECTION MEASURES.
2. INSTALL FENCING, CHAIN LINK, AS DESIGNATED ON THE SITE PLAN TO ESTABLISH TREE PROTECTION ZONES (TPZ). THESE TPZS SHOULD BE AT THE OUTSIDE EDGE OF WORK AREAS, AROUND TREES. FENCES MUST BE MAINTAINED IN UPRIGHT POSITIONS THROUGHOUT THE DURATION OF THE PROJECT.
3. THE TPZS SHOULD BE VOID OF ALL ACTIVITIES, INCLUDING PARKING VEHICLES, OPERATION OF EQUIPMENT, STORAGE OF MATERIALS AND DUMPING (INCLUDING TEMPORARY SPOILS FROM EXCAVATION).
4. DEMOLITION OF THE EXISTING HARDSCAPE SHOULD BE DONE WITH HAND TOOLS, BEING CAREFUL TO AVOID DAMAGE TO SMALL ROOTS BENEATH CONCRETE SURFACES.
5. ANY MINOR EXCAVATION AND GRADING NEAR TREES SHOULD BE MONITORED BY THE PROJECT ARBORIST.
6. ANY ROOTS ENCOUNTERED DURING GRADING THAT ARE 1/2" AND GREATER SHOULD BE CLEANLY CUT.
7. ANY TREE PRUNING SHOULD BE PERFORMED OR SUPERVISED BY A QUALIFIED CERTIFIED ARBORIST. THE PROJECT ARBORIST SHOULD REVIEW THE GOALS WITH WORKERS PRIOR TO COMMENCEMENT OF ANY TREE PRUNING. TREE WORKERS SHOULD BE KNOWLEDGEABLE OF AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS AND ISA BEST MANAGEMENT PRACTICES FOR TREE PRUNING.
8. TREES THAT ARE IMPACTED FROM ROOT DAMAGE (EVEN MINIMALLY) SHOULD BE SPRAYED IN THE EARLY SPRING AND LATE SUMMER WITH PERMETHRIN (ASTRO) TO HELP RESIST ATTACK OF OAK BARK BEETLES. THE APPLICATION OF THE CHEMICAL SHOULD BE APPLIED TO THE LOWER 4' OF TRUNK. IT IS RECOMMENDED THAT TREATMENTS BE REPEATED FOR AT LEAST TWO YEARS AFTER COMPLETION OF THE PROJECT OR IF DROUGHT PREVAILS FOR LONGER PERIODS.
9. THE PROJECT ARBORIST SHOULD MONITOR ACTIVITIES ON THE SITE THROUGHOUT THE DURATION OF THE PROJECT.

**LEGEND:**

- PROPERTY LINE
- - - SETBACK LINE
- - - ITEM TO BE DEMOLISHED
- TREE TO BE REMOVED (REFER TO LANDSCAPE PLANS)
- EXISTING TREES TO REMAIN



KEY PLAN

REV	DATE	DESCRIPTION
1	04.28.2011	PDC Submission 1
2	04.28.2011	PDC Submission 2
3	12.17.2011	PDC Submission 3
4	01.14.2012	PDC Submission 4

NOT: FOR DRAWING CLARITY, DEMOLITION PLAN MAY NOT INDICATE ALL TREES THAT ARE TO REMAIN. COORDINATE WORK WITH ALL TREES TO REMAIN INDICATED ON LANDSCAPE DRAWINGS.

PROJECT:



LAURELWOOD

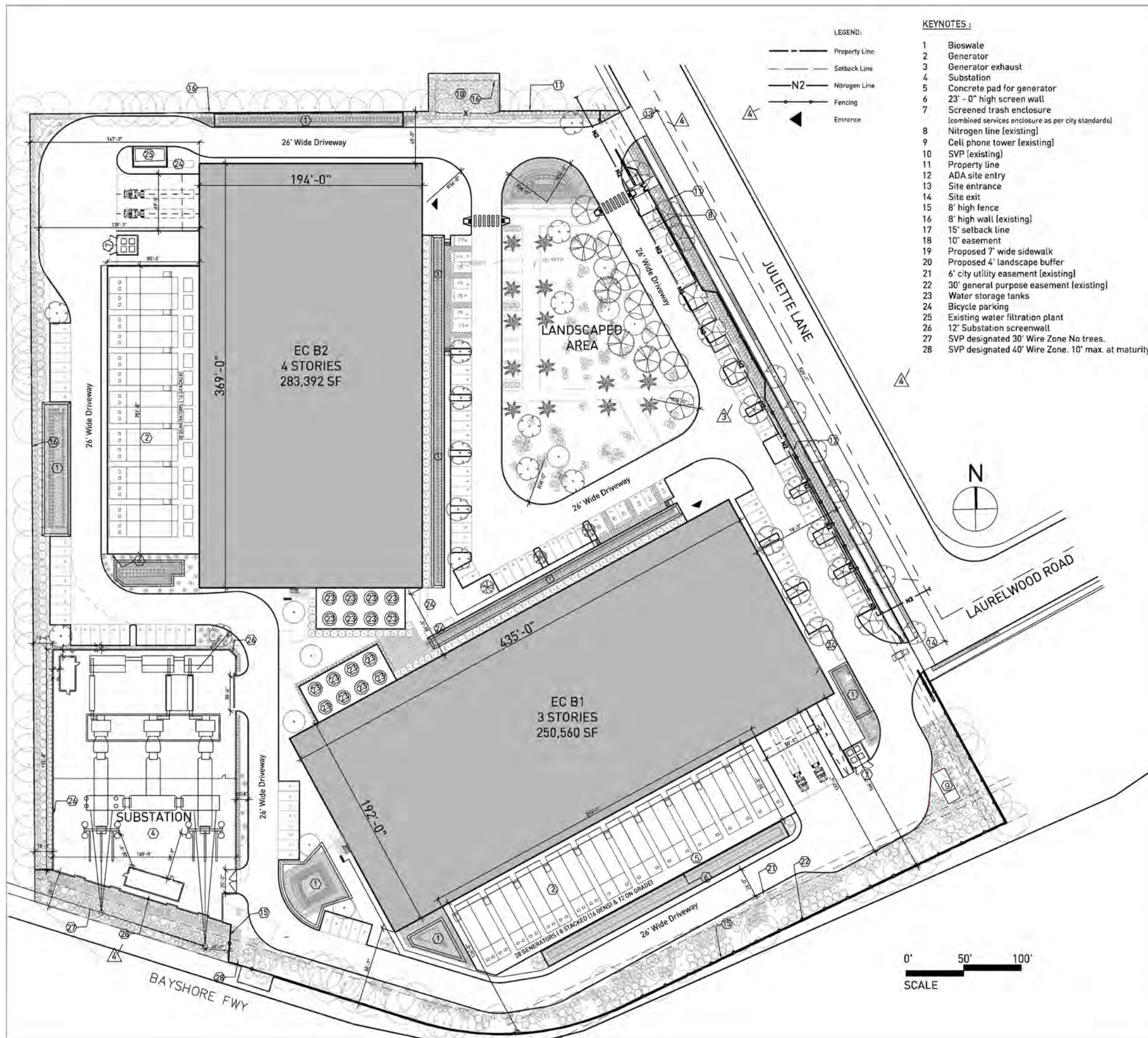
2251 LAURELWOOD AVE SANTA CLARA CA

PROJECT NUMBER: 18.0014

DEMOLITION PLAN







**LEGEND:**

- Property Line
- - - Setback Line
- N2- Nitrogen Line
- Fencing
- ▲ Entrance

**KEYNOTES :**

- 1 Bioswale
- 2 Generator
- 3 Generator exhaust
- 4 Substation
- 5 Concrete pad for generator
- 6 23' - 0" high screen wall
- 7 Screened trash enclosure (combined services enclosure as per city standards)
- 8 Nitrogen line (existing)
- 9 Cell phone tower (existing)
- 10 SVP (existing)
- 11 Property line
- 12 ADA site entry
- 13 Site entrance
- 14 Site exit
- 15 8' high fence
- 16 8' high wall (existing)
- 17 15' setback line
- 18 10' easement
- 19 Proposed 7' wide sidewalk
- 20 Proposed 4' landscape buffer
- 21 6' city utility easement (existing)
- 22 30' general purpose easement (existing)
- 23 Water storage tanks
- 24 Bicycle parking
- 25 Existing water filtration plant
- 26 12' Substation screenwall
- 27 SVP designated 30' Wire Zone No trees.
- 28 SVP designated 40' Wire Zone. 10' max. at maturity

**PROJECT DESCRIPTION:**

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**PROPOSED USE:**

Data Center	
2 New Buildings	533,952 SF
Building 1	250,560 SF
Building 2	283,392 SF

**BUILDING INFORMATION:**

Occupancies:	B, S-1, S-2, H-2
Type of Construction:	I, B Fully Sprinklered (CBC 602.2)

**LOT COVERAGE:**

	Lot Area	%
2201 Laurelwood Rd:	521,798 SF	100%
Building Footprint	154,368 SF	30%
Substation	34,684 SF	7%
Landscape Area	131,217 SF	25%
Outdoor Equipment Area:	48,900 SF	9%

**FAR CALCULATION:**

Total Building SF:	533,952 SF
FAR	1.03

**PARKING CALCULATION:  
2201 LAURELWOOD ROAD**

REQUIRED  
2201 Laurelwood Rd: 533,952 SF total  
533,952 SF Planned Industrial @ 1/4000 134 Spaces

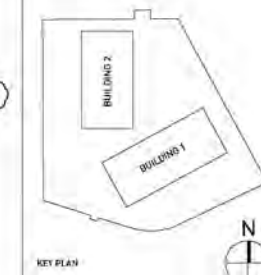
Total Required:	134 Spaces
Total provided:	134 spaces

**PARKING PROVIDED:**

Standard Spaces:	100
Compact Spaces:	20
ADA Parking Spaces:	7 (5 ADA+2 VAN)
EV Spaces:	7
Total Provided:	134 Spaces

<b>Building 01</b>	
Total Bicycle Parking:	42
Bicycle Parking Class I:	31
Bicycle Parking Class II:	11
<b>Building 02</b>	
Total Bicycle Parking:	48
Bicycle Parking Class I:	36
Bicycle Parking Class II:	12

NOTE: FOR DRAWING CLARITY, DEMOLITION PLAN MAY NOT INDICATE ALL TREES THAT ARE TO REMAIN. COORDINATE WORK WITH ALL TREES TO REMAIN INDICATED ON LANDSCAPE DRAWINGS



REV.	DATE	DESCRIPTION
1	08/14/2014	PLC Submittal 1
2	08/20/2014	PLC Submittal 2
3	09/12/2014	PLC Submittal 3
4	09/18/2014	PLC Submittal 4
5	09/24/2014	PLC Submittal 5

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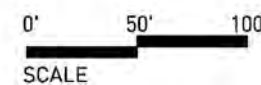


LAURELWOOD  
2201 LAURELWOOD SANTA CLARA CA

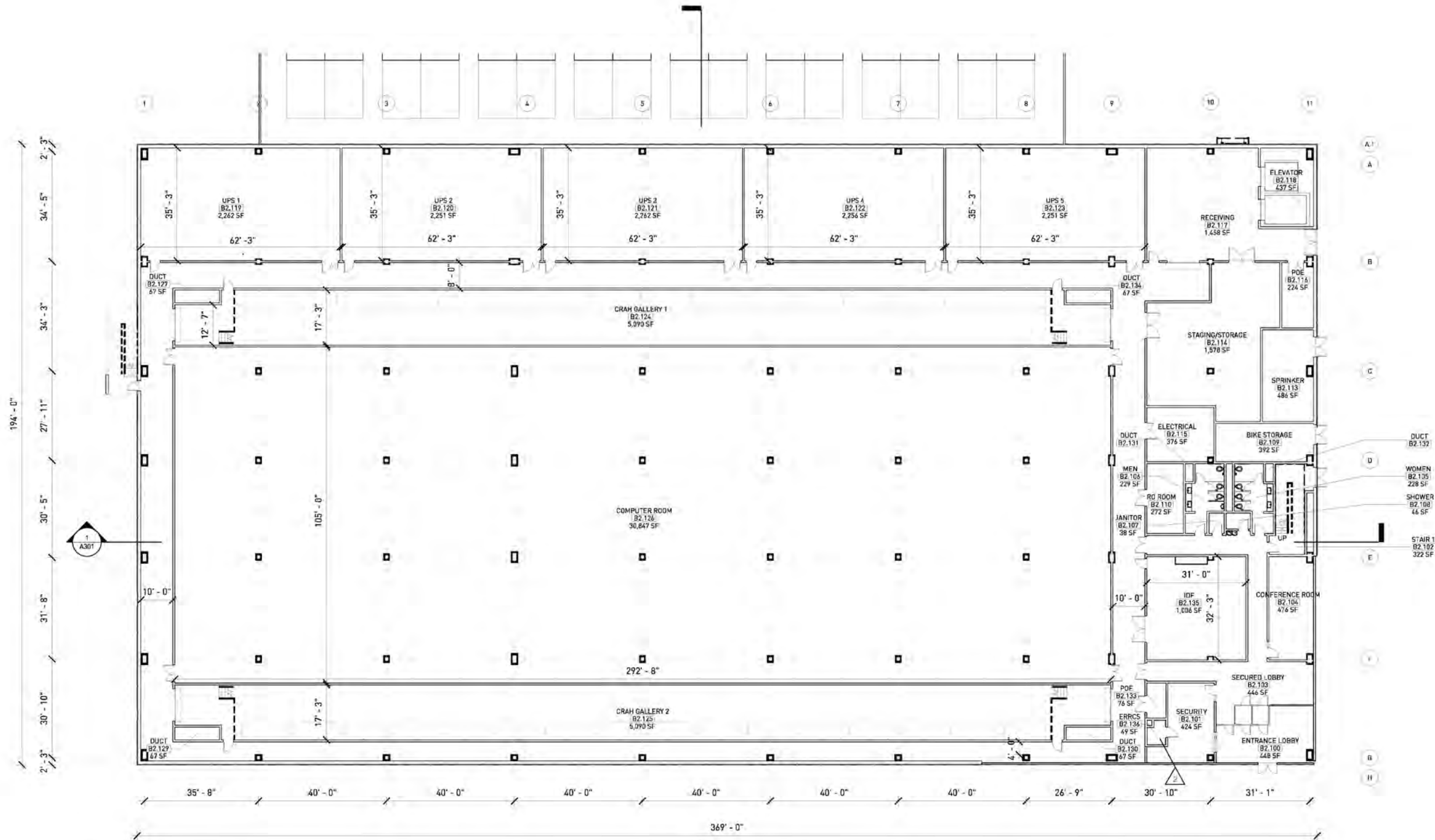
PROJECT NUMBER: 18-0214

PROPOSED SITE PLAN

SP102







SCALE: 1/16" = 1'-0"

REV	DATE	DESCRIPTION
1	08.14.18	ISSUE FOR PERMIT
2	08.14.18	ISSUE FOR PERMIT
3	08.14.18	ISSUE FOR PERMIT

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PROJECT:



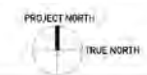
LAURELWOOD

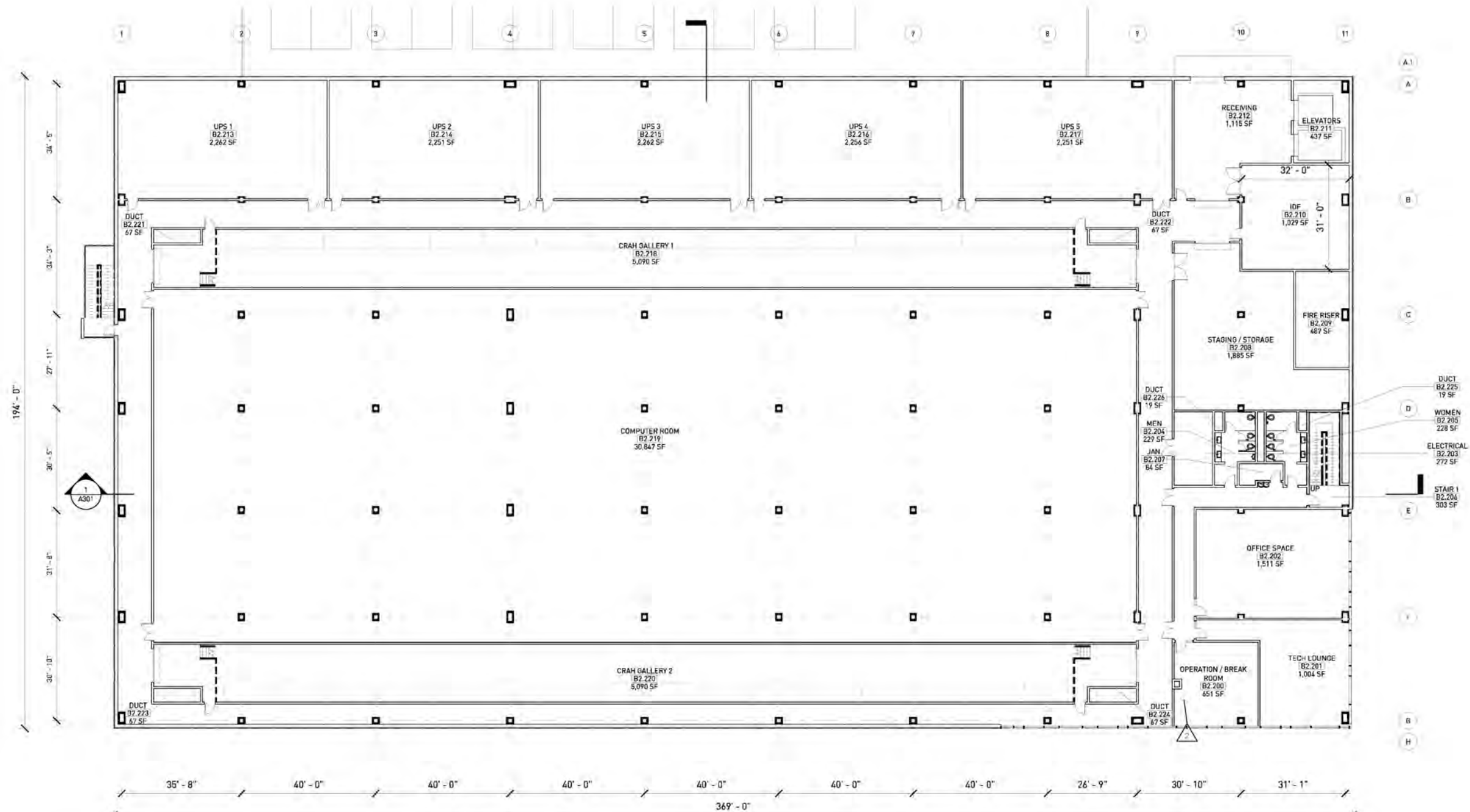
2201 Laurelwood Santa Clara, CA 95054

PROJECT NUMBER: 18-0014

BUILDING 2 - LEVEL 1 FLOOR PLAN

A101





SCALE: 1/16" = 1'-0"

REV	DATE	DESCRIPTION
1	08.14.18	ISSUE FOR PERMIT
2	08.14.18	ISSUE FOR PERMIT
3	08.14.18	ISSUE FOR PERMIT

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PROJECT: **EDGECORE INTERNET REAL ESTATE**

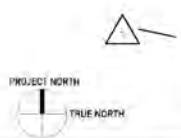
**EDGECORE**  
INTERNET REAL ESTATE

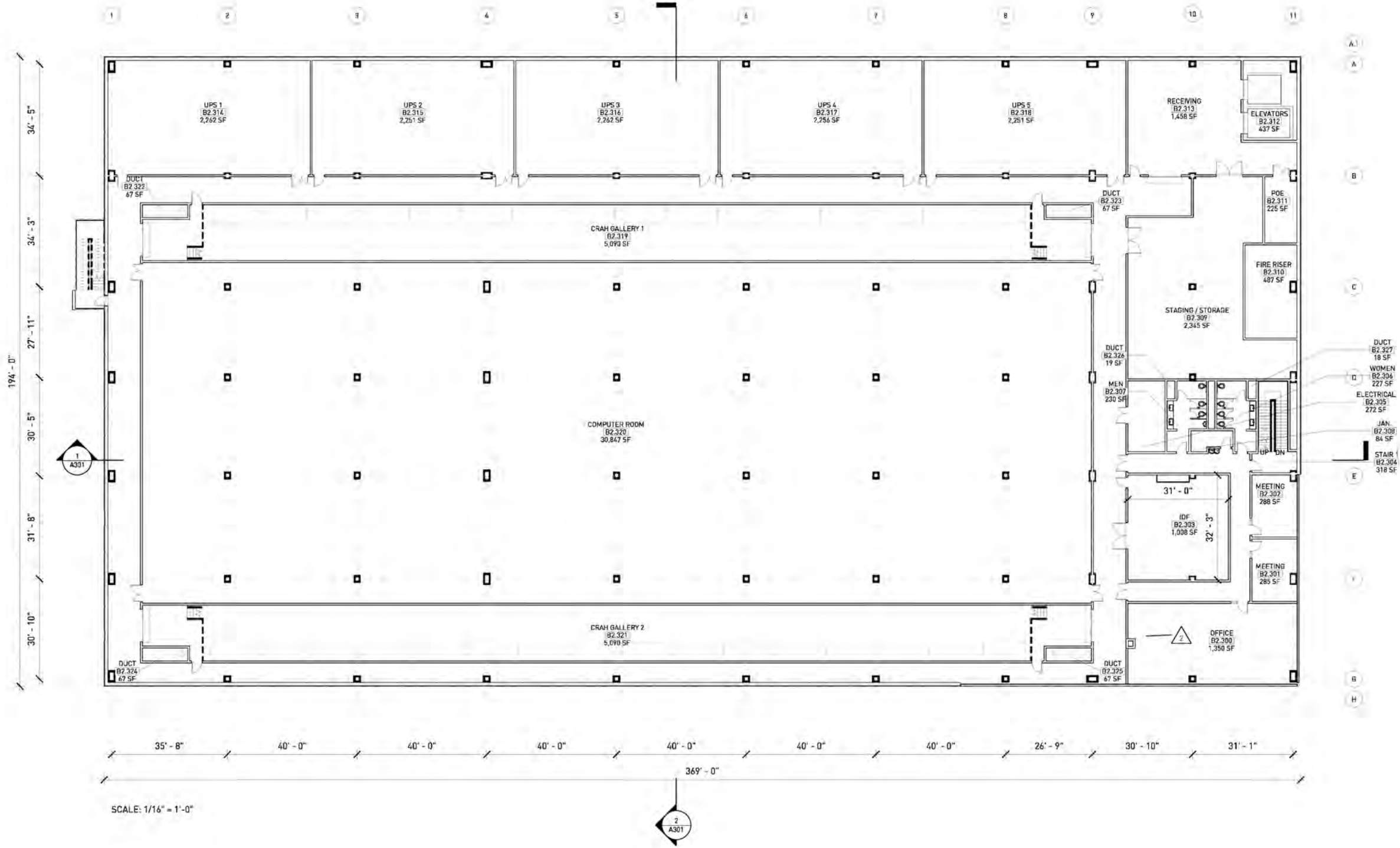
LAURELWOOD  
2201 Laurelwood Santa Clara, CA 95054

PROJECT NUMBER: 18-0014

BUILDING 2 - LEVEL 2 FLOOR PLAN

A102





REV	DATE	DESCRIPTION
1	08/14/18	ISSUE FOR PERMIT
2	08/14/18	ISSUE FOR PERMIT
3	08/14/18	ISSUE FOR PERMIT

NOTES:  
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 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
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 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.  
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PROJECT:  
**EDGE CORE**  
 INTERNET REAL ESTATE

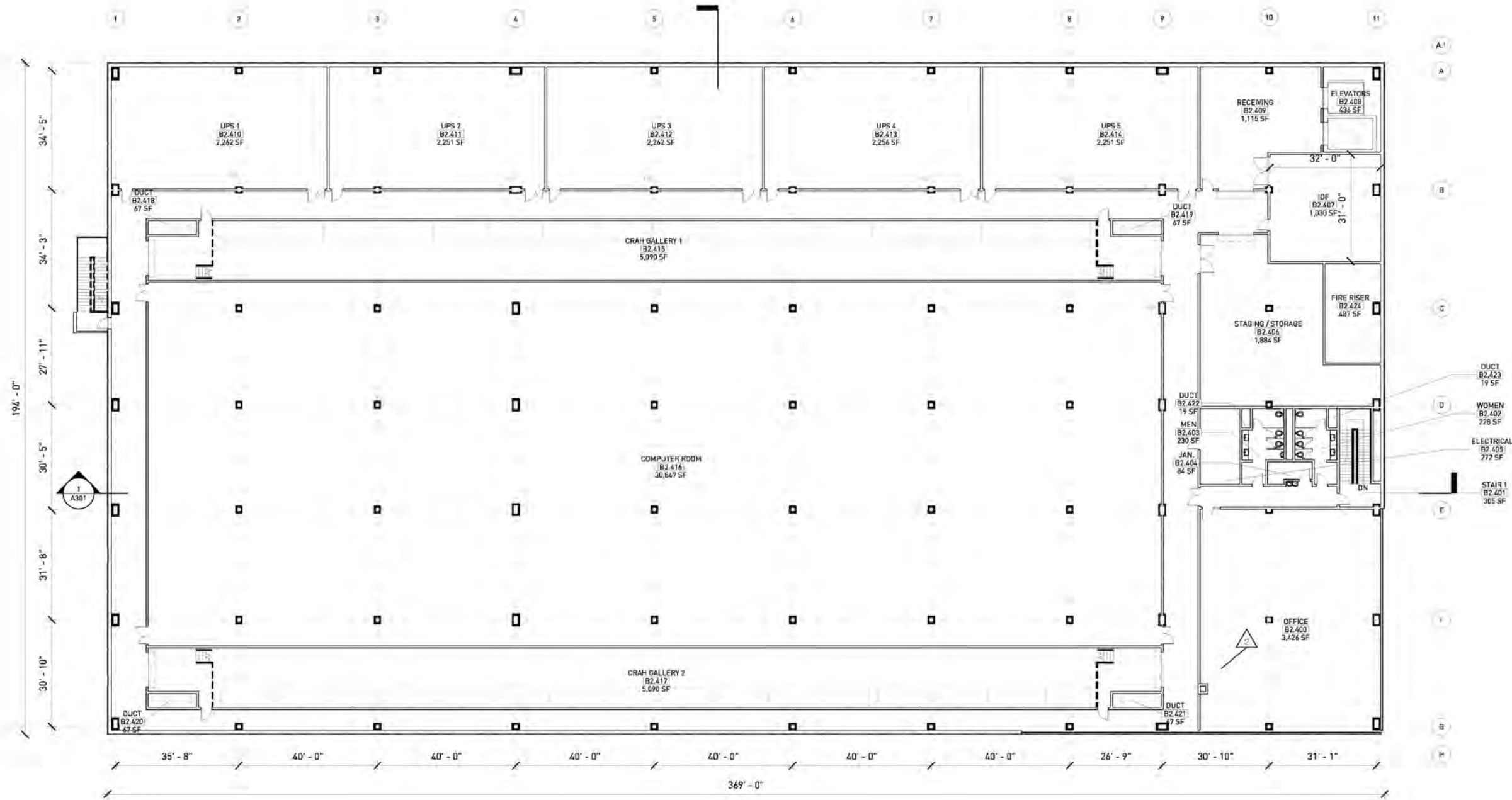
LAURELWOOD  
 2201 Laurelwood Santa Clara, CA 95054

PROJECT NUMBER: 18-0014  
 BUILDING 2 - LEVEL 3 FLOOR PLAN

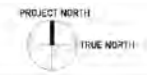
A103







SCALE: 1/16" = 1'-0"



REV	DATE	DESCRIPTION
1	08.14.18	ISSUE FOR PERMIT
2	08.22.18	ISSUE FOR CONSTRUCTION

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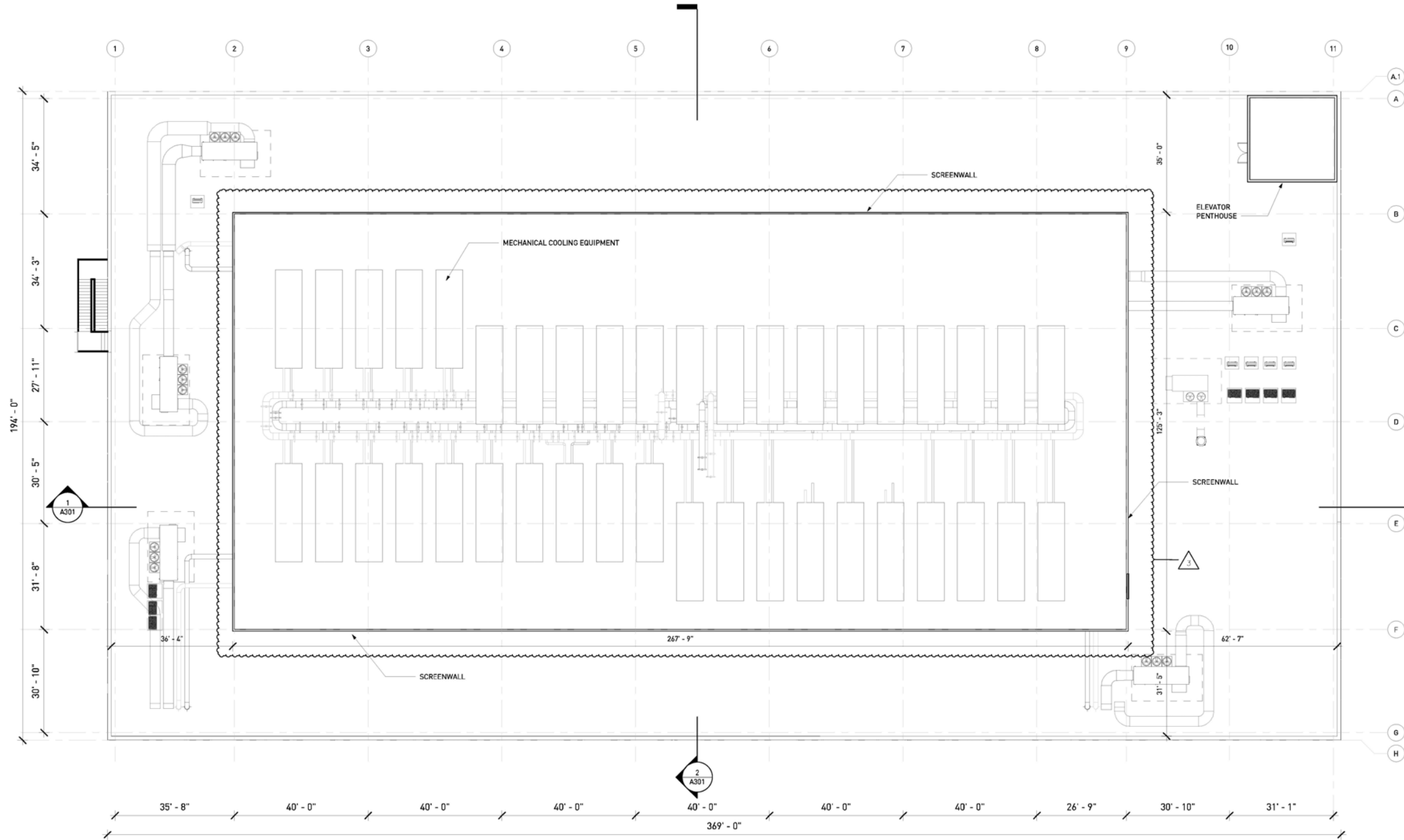
PROJECT: **EDGECORE INTERNET REAL ESTATE**

**EDGECORE**  
INTERNET REAL ESTATE

LAURELWOOD  
2201 Laurelwood Santa Clara, CA 95054

PROJECT NUMBER: 18-0014

BUILDING 2 - LEVEL 4 FLOOR PLAN



SCALE: 1/16" = 1'-0"



REV	DATE	DESCRIPTION
1	08.08.2018	ISSUE FOR PERMIT
2	08.14.2018	ISSUE FOR PERMIT
3	10.17.2018	ISSUE FOR PERMIT

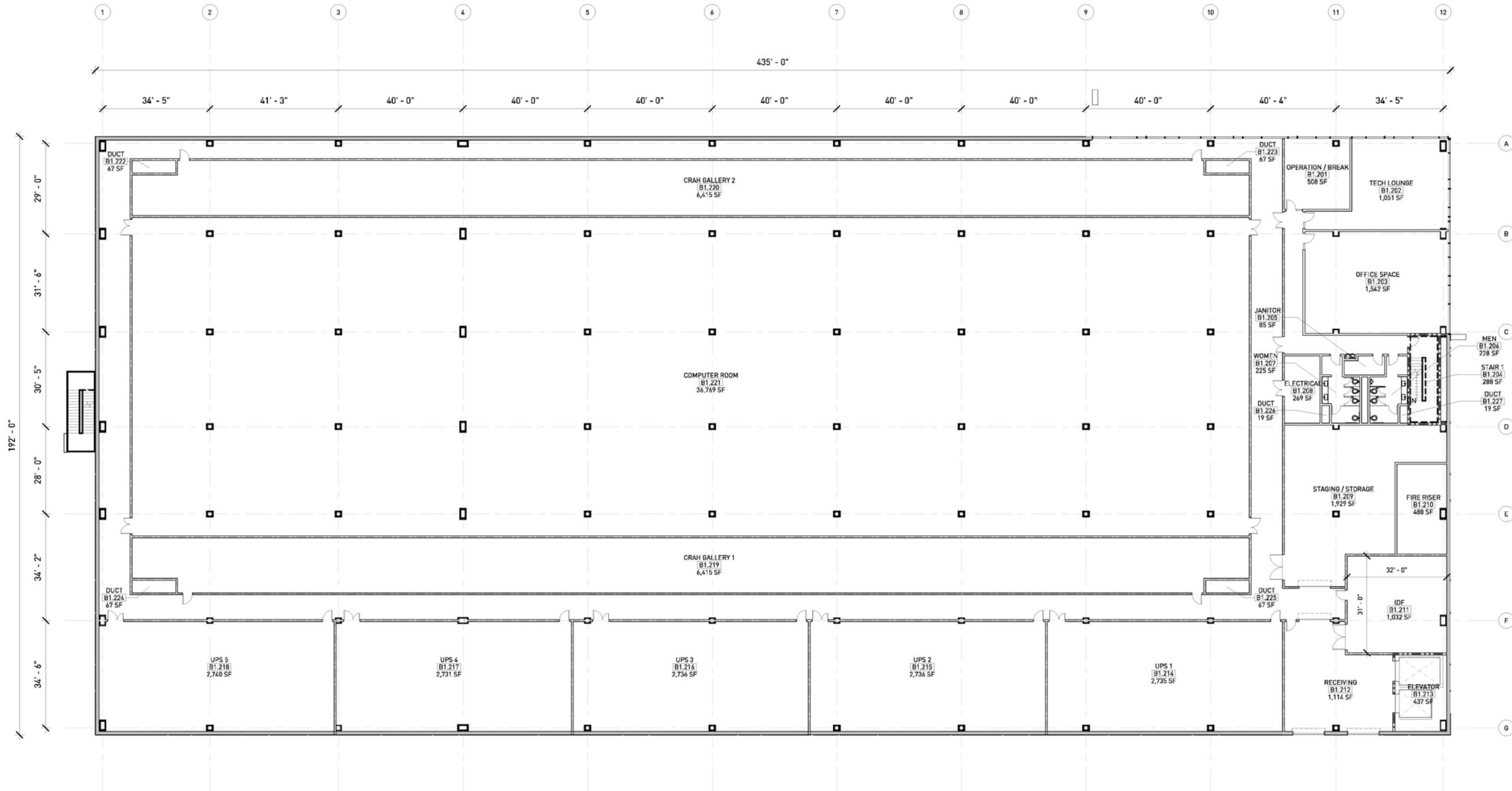
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PROJECT:  
**EDGECORE**  
INTERNET REAL ESTATE

LAURELWOOD  
2201 Laurelwood Santa Clara, CA 95054

PROJECT NUMBER: 18-0014  
BUILDING 2 - ROOF PLAN



REV	DATE	DESCRIPTION
1	08.30.2014	ISSUE FOR PERMIT

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PROJECT:

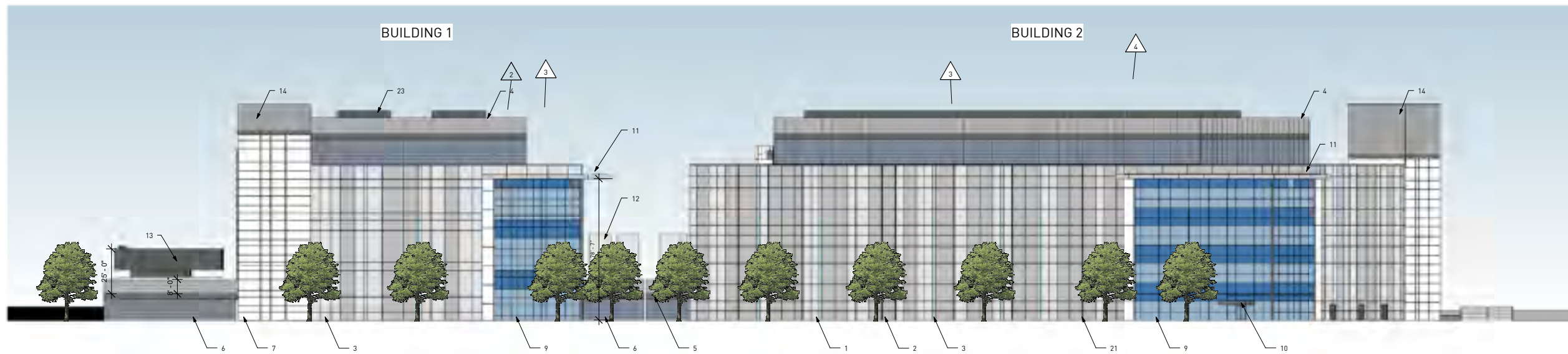


LAURELWOOD  
2201 Laurelwood Santa Clara, CA 95054

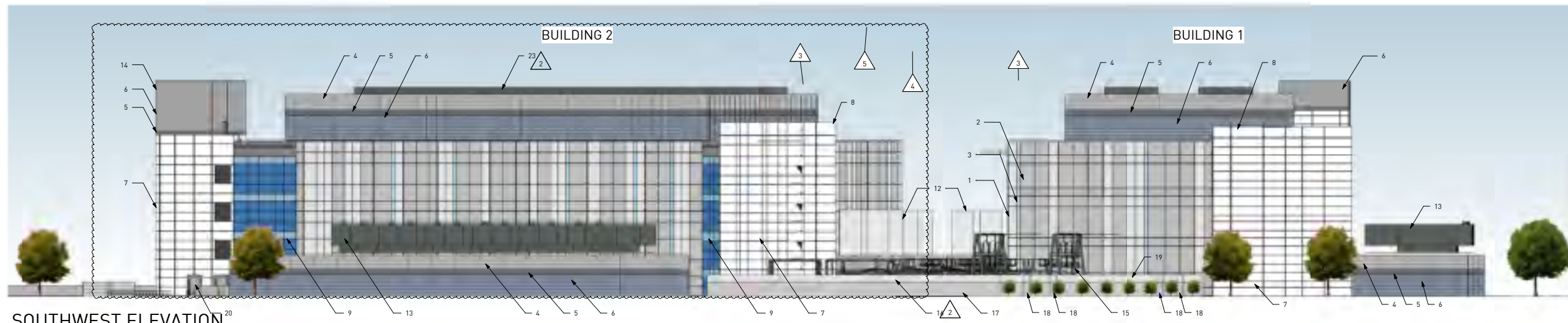
PROJECT NUMBER: 18-0014  
BUILDING 1 - TYP. FLOOR PLAN

SCALE: 1/16" = 1'-0"

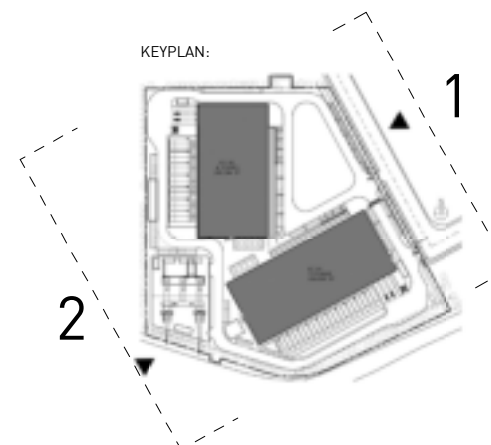




**1** NORTH EAST ELEVATION  
 1" = 30'-0"



**2** SOUTHWEST ELEVATION  
 1" = 30'-0"



- KEYNOTES:**
1. LIGHT GRAY STUCCO PANEL
  2. MEDIUM GRAY STUCCO PANEL
  3. LIGHT BLUE STUCCO PANEL
  4. SILVER PAINTED ALUMINUM CORRUGATED METAL PANEL
  5. DARK GRAY PAINTED ALUMINUM METAL PANEL
  6. MEDIUM GRAY PAINTED ALUMINUM CORRUGATED METAL PANEL
  7. SILVER ALUMINUM COMPOSITE PANEL
  8. STAIRCASE TOWER
  9. CURTAIN WALL
  10. ENTRANCE CANOPY WITH ALUMINUM COMPOSITE PANEL
  11. ALUMINUM COMPOSITE PANEL CANOPY
  12. WATER TANK
  13. STACKED GENERATOR
  14. ELEVATOR TOWER
  15. SUBSTATION
  16. LIGHT GRAY SUBSTATION CMU SCREEN WALL
  17. DARK GRAY SUBSTATION CMU SCREEN WALL
  18. ALCOVE SUBSTATION CMU SCREEN WALL
  19. SUBSTATION SCREEN WALL VIEWABLE TO PUBLIC PLANTED WITH CLIMBING VINE (not shown)
  20. LOADING DOCK
  21. ALUMINUM REVEAL
  22. CONTINUOUS SILVER METAL TRIM FLASHING. TYP. ALL FLOOR LEVELS ABOVE L1.

REV.	DATE	DESCRIPTION
1	02.28.2017	PC SUBMISSION
2	04.11.2017	PC SUBMISSION
3	05.01.2017	PC SUBMISSION
4	05.01.2017	PC SUBMISSION
5	05.01.2017	PC SUBMISSION
6	05.01.2017	PC SUBMISSION

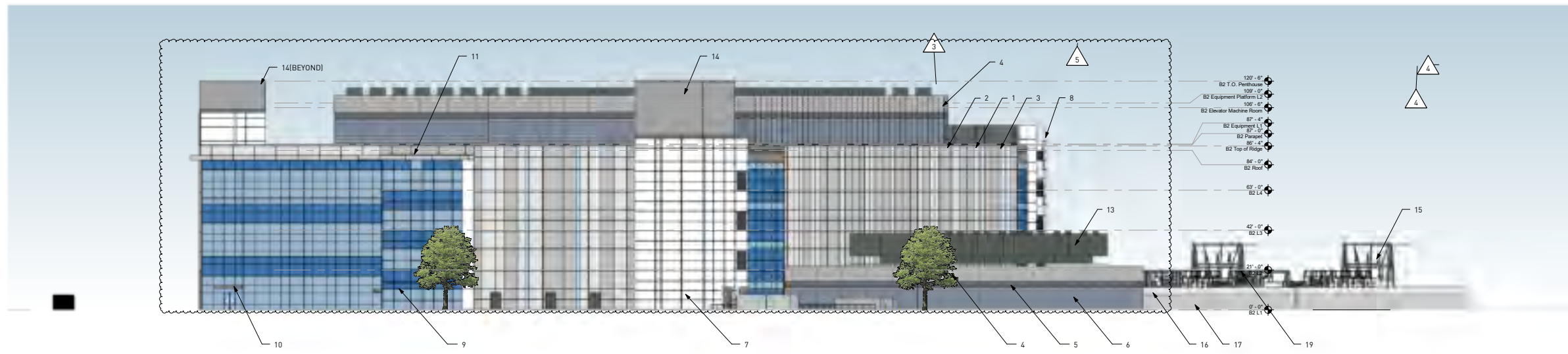
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PROJECT: **EDGE CORE INTERNET REAL ESTATE**

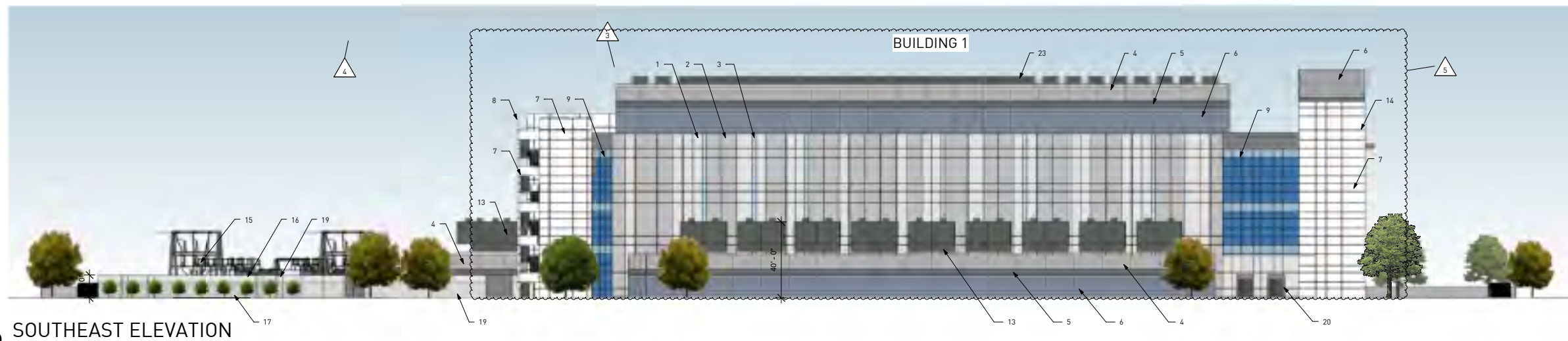
LAURELWOOD

2201 Laurelwood Santa Clara, CA 95054

PROJECT NUMBER: 18-0014  
 NE & SW ELEVATIONS

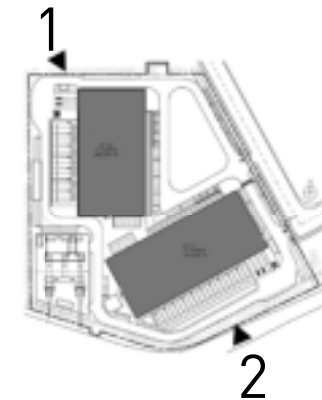


**1 NORTH WEST ELEVATION**  
 1" = 30'-0"



**2 SOUTHEAST ELEVATION**  
 1" = 30'-0"

KEYPLAN:



KEYNOTES:

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18. ALCOVE SUBSTATION CMU SCREEN WALL
19. SUBSTATION SCREEN WALL VIEWABLE TO PUBLIC PLANTED WITH CLIMBING VINE (not shown)
20. LOADING DOCK
21. ALUMINUM REVEAL
22. CONTINUOUS SILVER METAL TRIM FLASHING. TYP. ALL FLOOR LEVELS ABOVE L1.
23. MECHANICAL EQUIPMENT SCREENED FROM VIEW TAKEN FROM JULIETTE STREET. SEE A310.
24. STEEL STAIR - ALL SURFACES SATIN GALVANIZED FINISH.

REV.	DATE	DESCRIPTION
1	02.28.2017	PC SUBMISSION
2	04.11.2017	PC SUBMISSION
3	05.07.2017	PC SUBMISSION
4	05.07.2017	PC SUBMISSION
5	05.10.2017	PC SUBMISSION

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PROJECT:



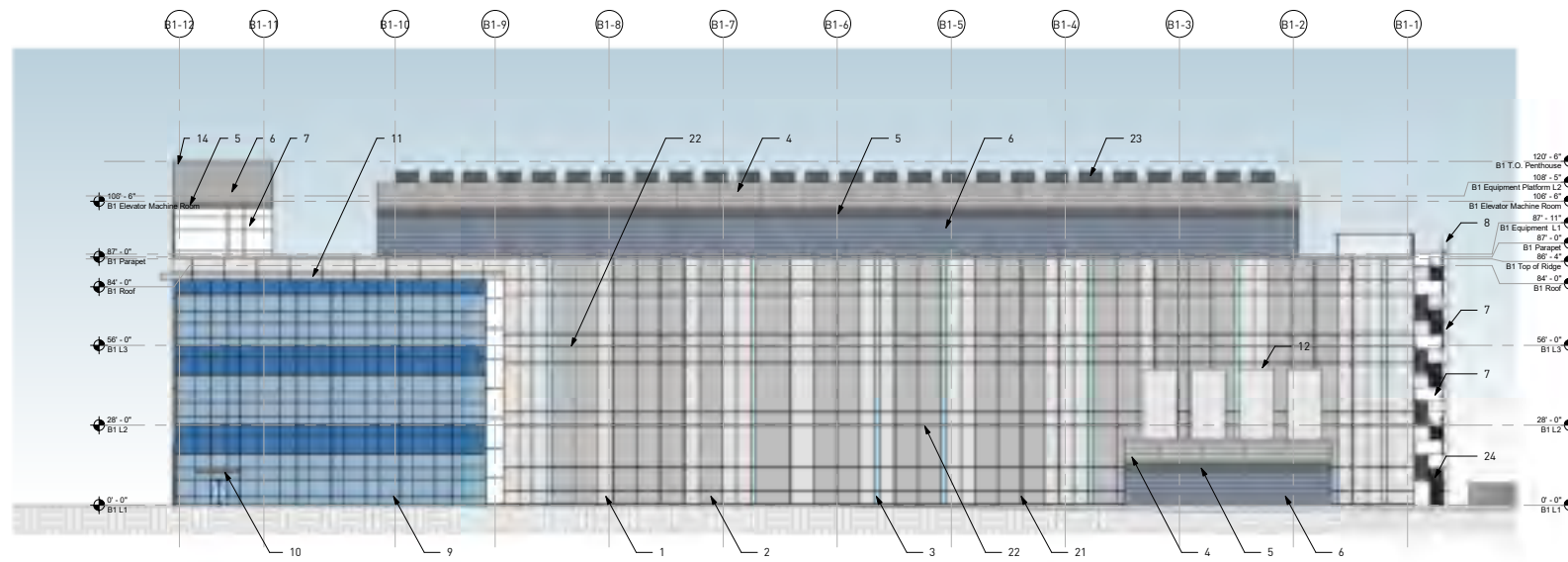
LAURELWOOD

2201 Laurelwood Santa Clara, CA 95054

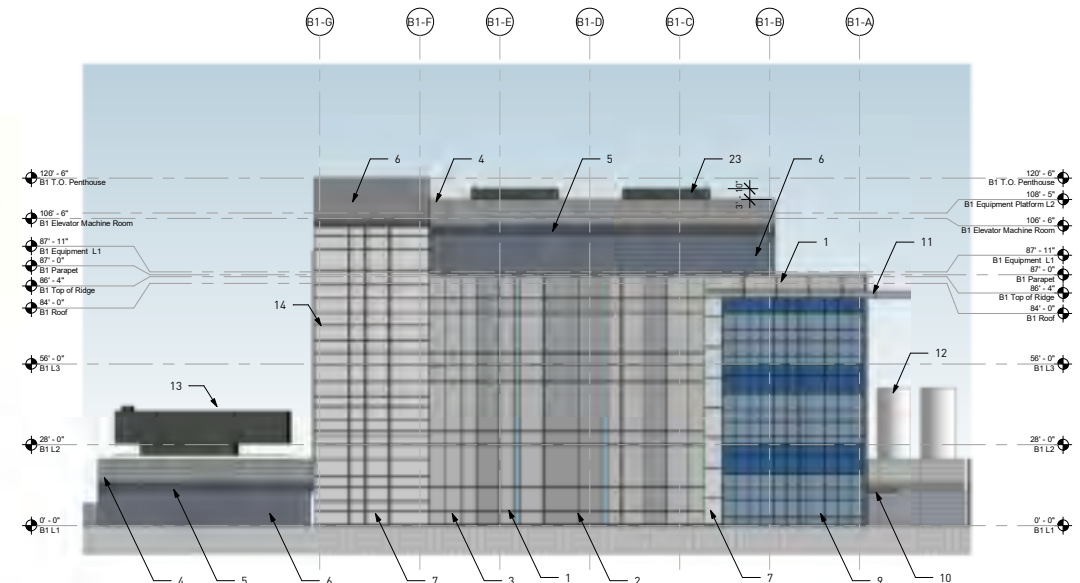
PROJECT NUMBER: 18-0014

NW & SE ELEVATIONS

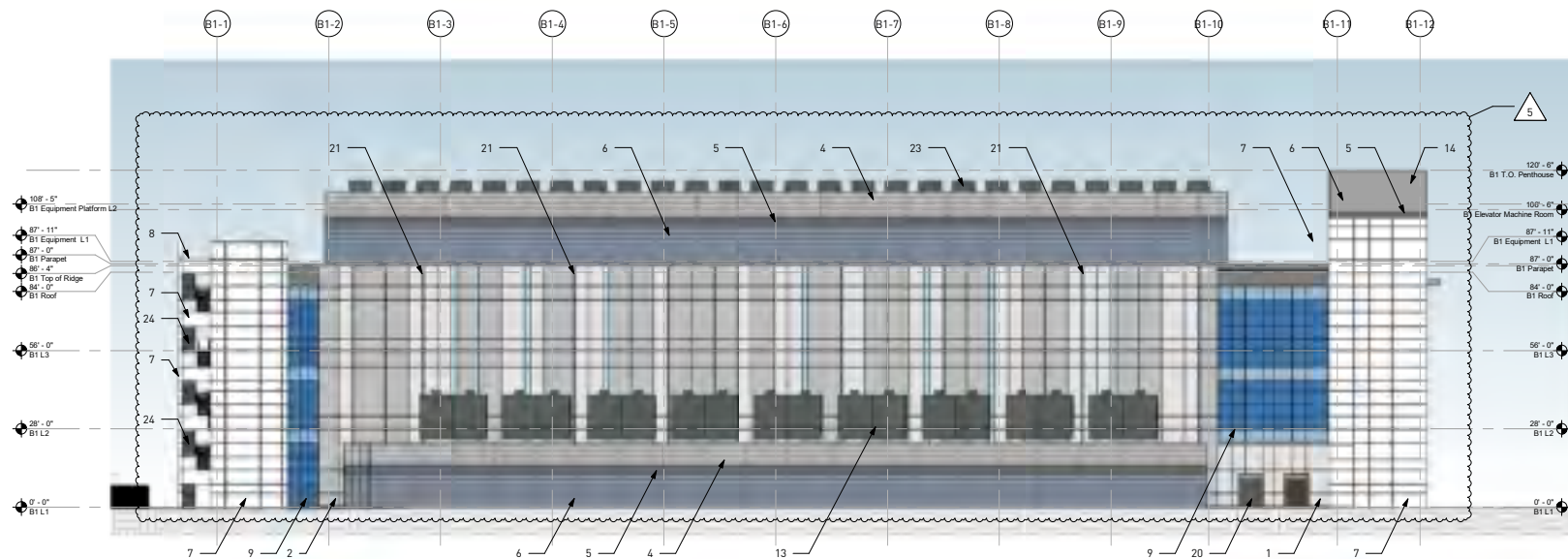




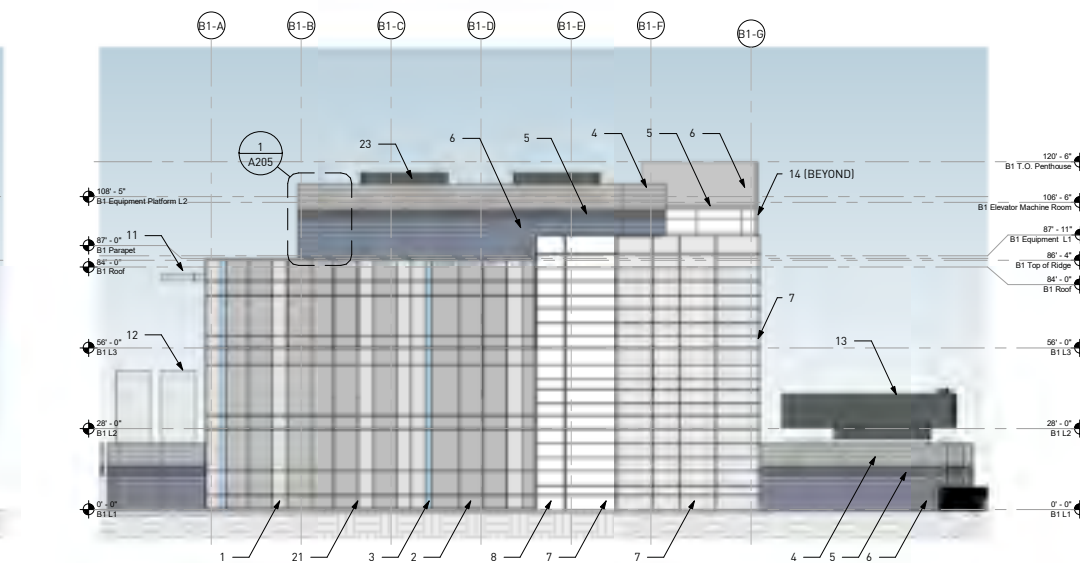
**1 B1 NORTH ELEVATION**  
 1" = 30'-0"



**3 B1 EAST ELEVATION**  
 1" = 30'-0"



**2 B1 SOUTH ELEVATION**  
 1" = 30'-0"



**4 B1 WEST ELEVATION**  
 1" = 30'-0"

**KEYNOTES:**

1. LIGHT GRAY STUCCO PANEL
2. MEDIUM GRAY STUCCO PANEL
3. LIGHT BLUE STUCCO PANEL
4. SILVER PAINTED ALUMINUM CORRUGATED METAL PANEL
5. DARK GRAY PAINTED ALUMINUM METAL PANEL
6. MEDIUM GRAY PAINTED ALUMINUM CORRUGATED METAL PANEL
7. SILVER ALUMINUM COMPOSITE PANEL
8. STAIRCASE TOWER
9. CURTAIN WALL
10. ENTRANCE CANOPY WITH ALUMINUM COMPOSITE PANEL
11. ALUMINUM COMPOSITE PANEL CANOPY
12. WATER TANK
13. STACKED GENERATOR
14. ELEVATOR TOWER
15. SUBSTATION
16. LIGHT GRAY SUBSTATION CMU SCREEN WALL
17. DARK GRAY SUBSTATION CMU SCREEN WALL
18. ALCOVE SUBSTATION CMU SCREEN WALL
19. SUBSTATION SCREEN WALL VIEWABLE TO PUBLIC PLANTED WITH CLIMBING VINE (not shown)
20. LOADING DOCK
21. ALUMINUM REVEAL
22. CONTINUOUS SILVER METAL TRIM FLASHING. TYP. ALL FLOOR LEVELS ABOVE L1.
23. MECHANICAL EQUIPMENT SCREENED FROM VIEW TAKEN FROM JULIETTE STREET. SEE A310.
24. STEEL STAIR - ALL SURFACES SATIN GALVANIZED FINISH.

REV	DATE	DESCRIPTION
1	10/20/2017	ISSUE FOR SUBMITTALS
2	11/02/2017	ISSUE FOR SUBMITTALS

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**PROJECT:**



LAURELWOOD

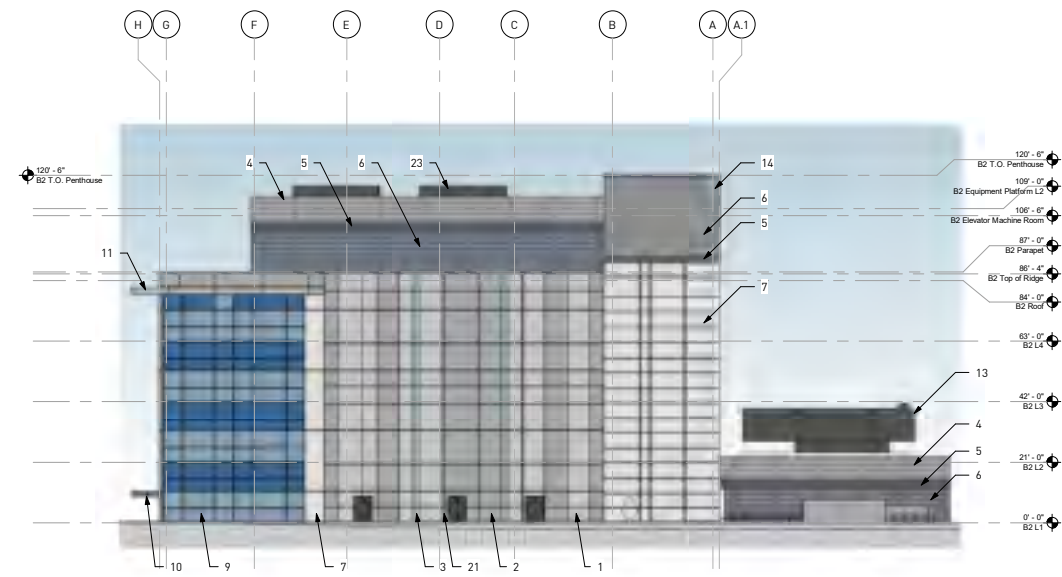
2201 Laurelwood Santa Clara, CA 95054

**PROJECT NUMBER:** 18-0014

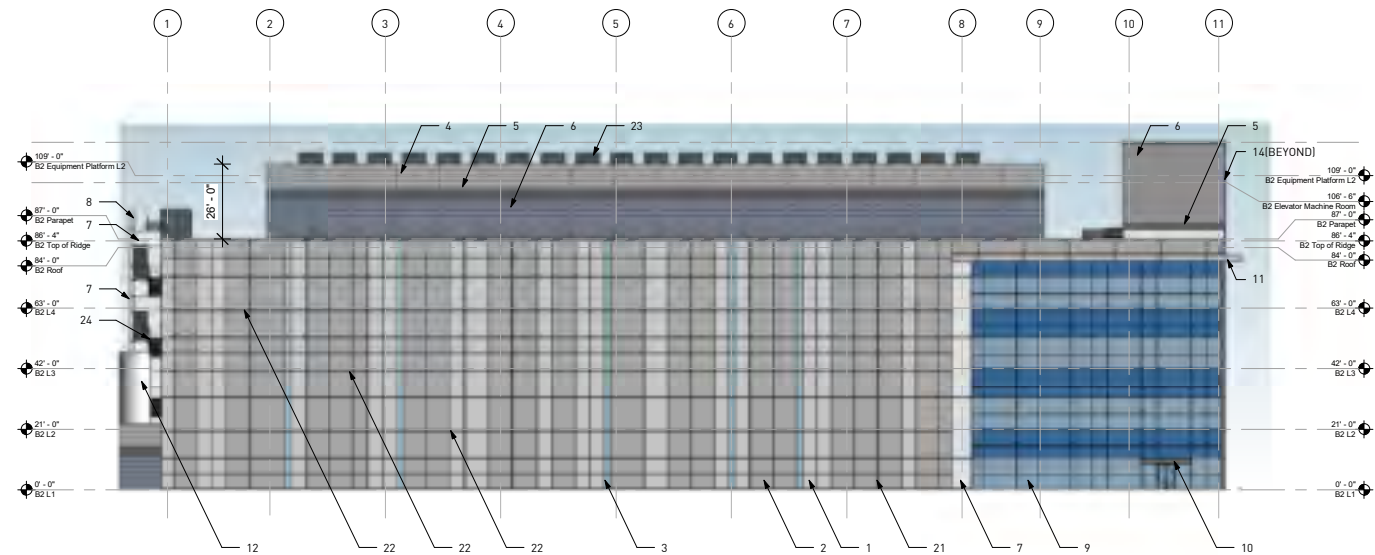
**BUILDING 1 ELEVATIONS**



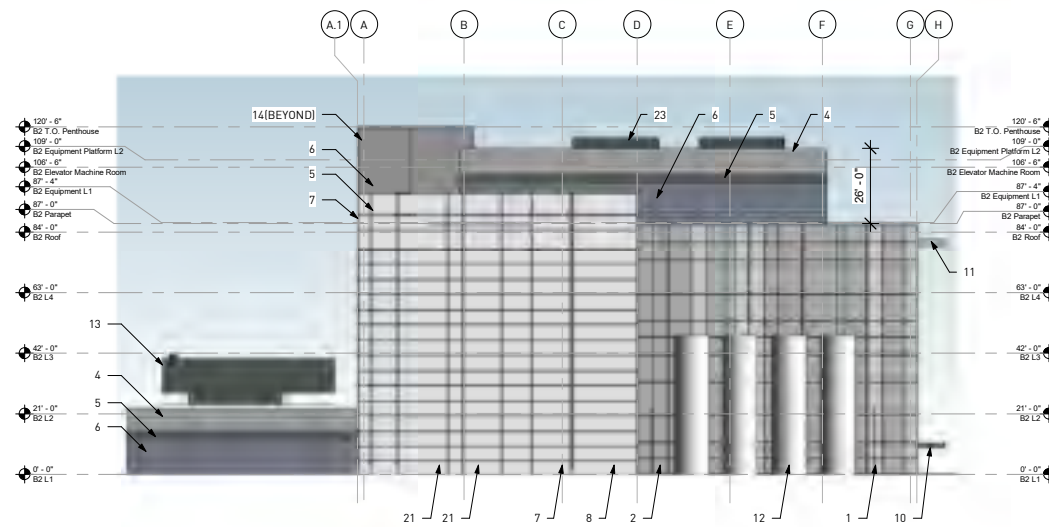
**A203**



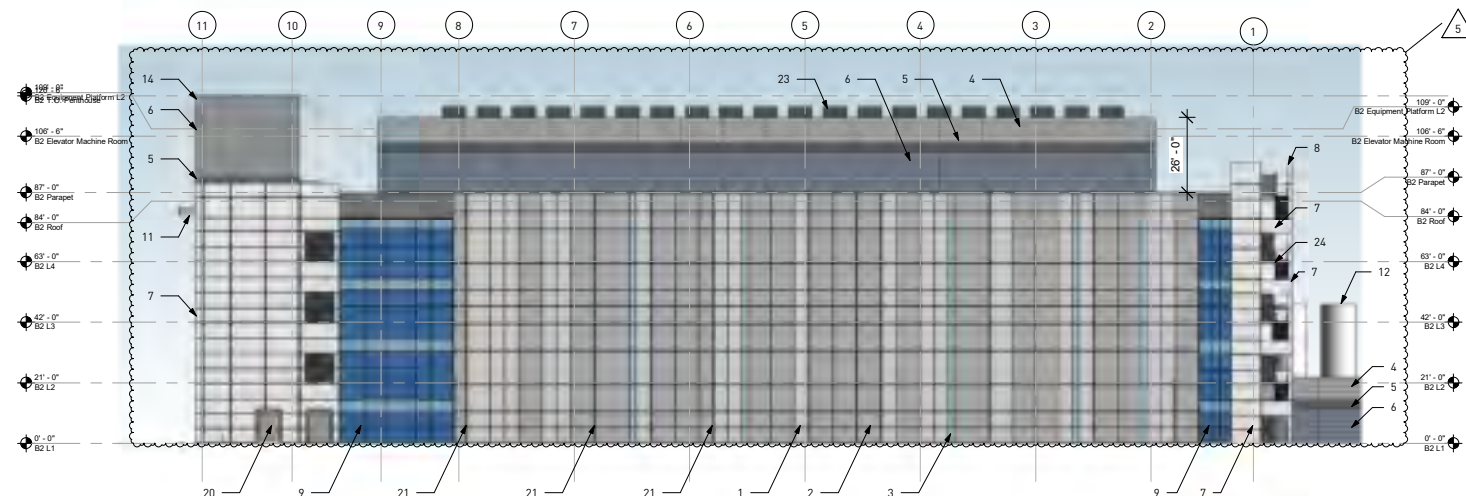
**1 B2 NORTH ELEVATION**  
 1" = 30'-0"



**2 B2 EAST ELEVATION**  
 1" = 30'-0"



**4 B2 SOUTH ELEVATION**  
 1" = 30'-0"



**3 B2 WEST ELEVATION**  
 1" = 30'-0"

**KEYNOTES:**

1. LIGHT GRAY STUCCO PANEL
2. MEDIUM GRAY STUCCO PANEL
3. LIGHT BLUE STUCCO PANEL
4. SILVER PAINTED ALUMINUM CORRUGATED METAL PANEL
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23. MECHANICAL EQUIPMENT SCREENED FROM VIEW TAKEN FROM JULIETTE STREET. SEE A310.
24. STEEL STAIR - ALL SURFACES SATIN GALVANIZED FINISH.

REV.	DATE	DESCRIPTION
1	02/20/2018	FOR SUBMISSION
2	02/20/2018	FOR SUBMISSION

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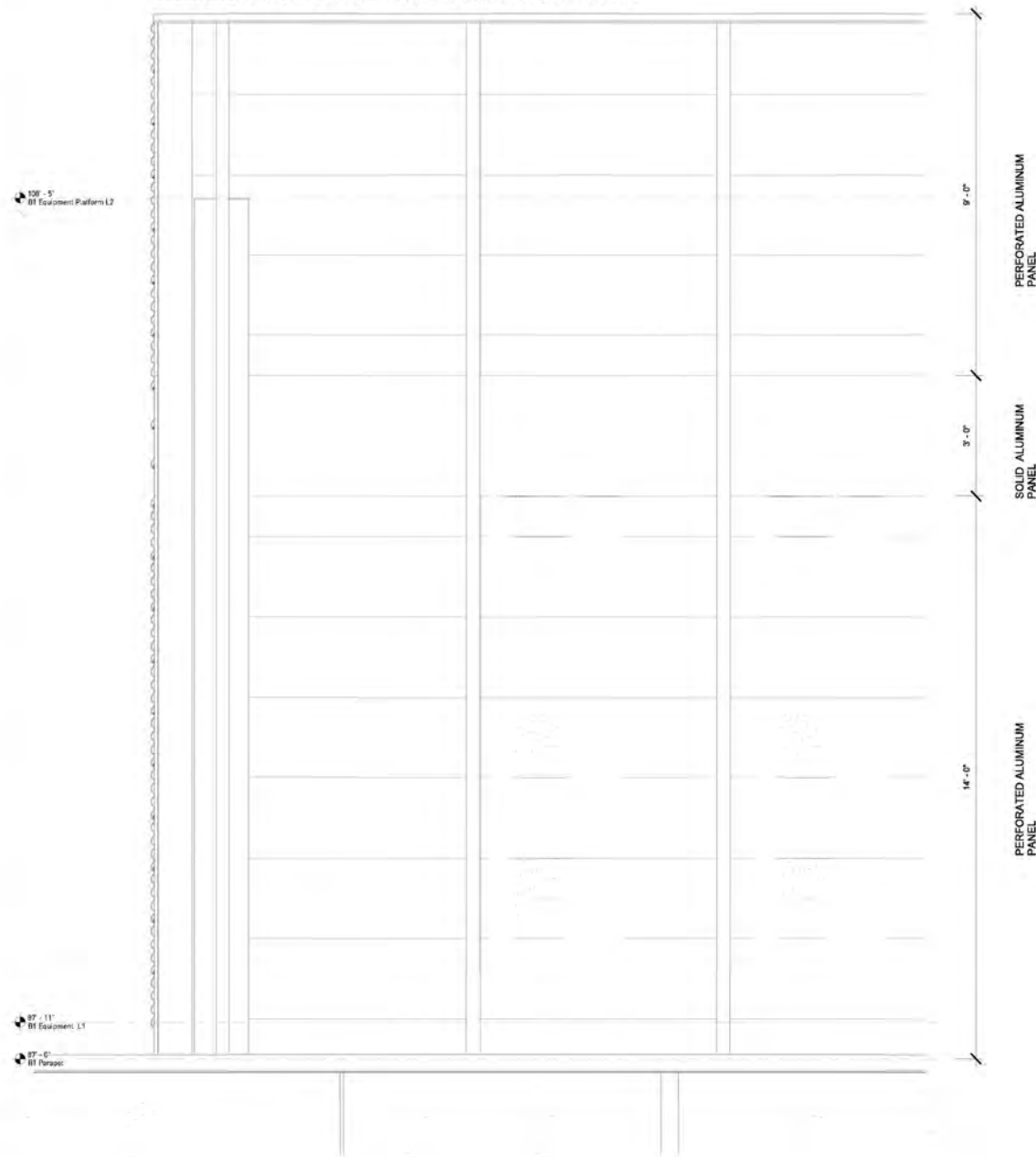
dotterweich carlson mehner design inc. 2017  
**PROJECT:**  
**EDGE CORE**  
 INTERNET REAL ESTATE

LAURELWOOD  
 2201 Laurelwood Santa Clara, CA 95054

PROJECT NUMBER: 18-0014  
**BUILDING 2 ELEVATIONS**



SIMILAR FOR ALL ROOFTOP AND EQUIPMENT YARD SCREENWALLS FOR BUILDINGS 1 AND 2.



PERFORATED ALUMINUM  
PANEL



**2** TOP METAL PANEL COLOR - TITANIUM  
12" = 1'-0"

SOLID ALUMINUM  
PANEL

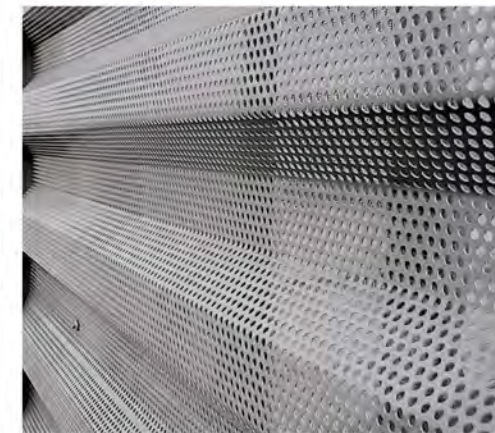


**3** CENTER METAL PANEL COLOR - CHARCOAL  
12" = 1'-0"

PERFORATED ALUMINUM  
PANEL



**4** BOTTOM METAL PANEL COLOR - SILVERSMITH  
12" = 1'-0"



**5** PERFORATED METAL PANEL IMAGE  
6" = 1'-0"

**1** SCREENWALL ELEVATION - TYPICAL  
1/2" = 1'-0"

REV	DATE	DESCRIPTION
1	03/14/2018	ISSUE FOR PERMITS

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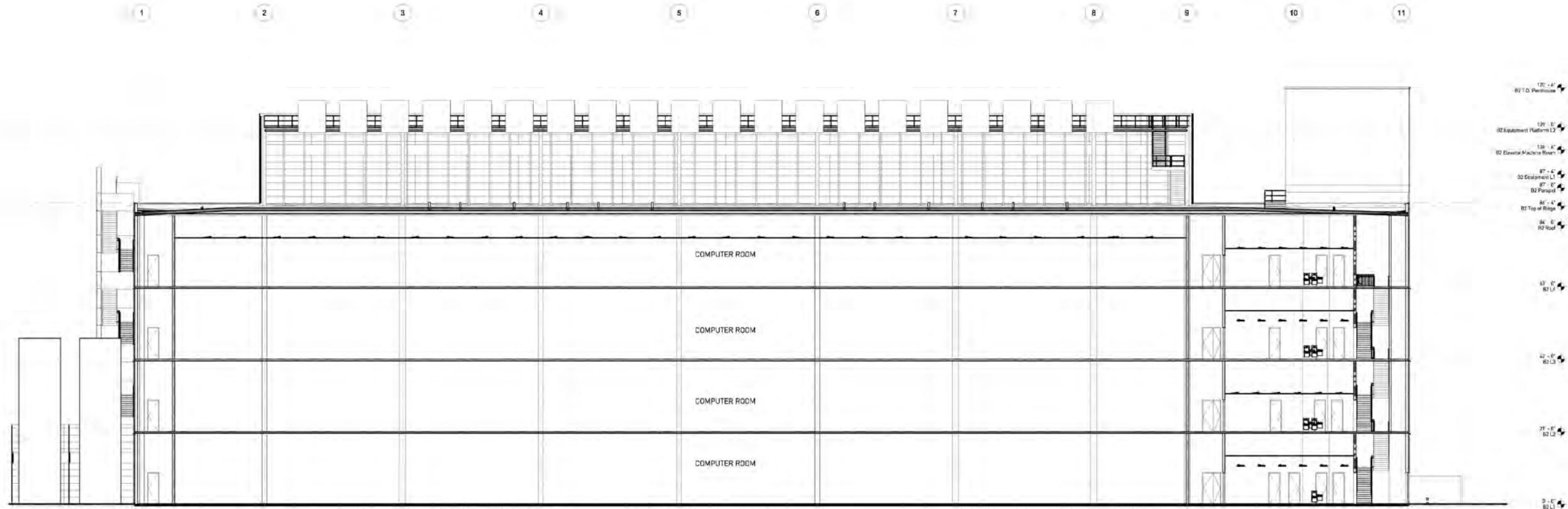
LAURELWOOD

2201 Laurelwood Santa Clara, CA 95054

PROJECT NUMBER: 18-0014

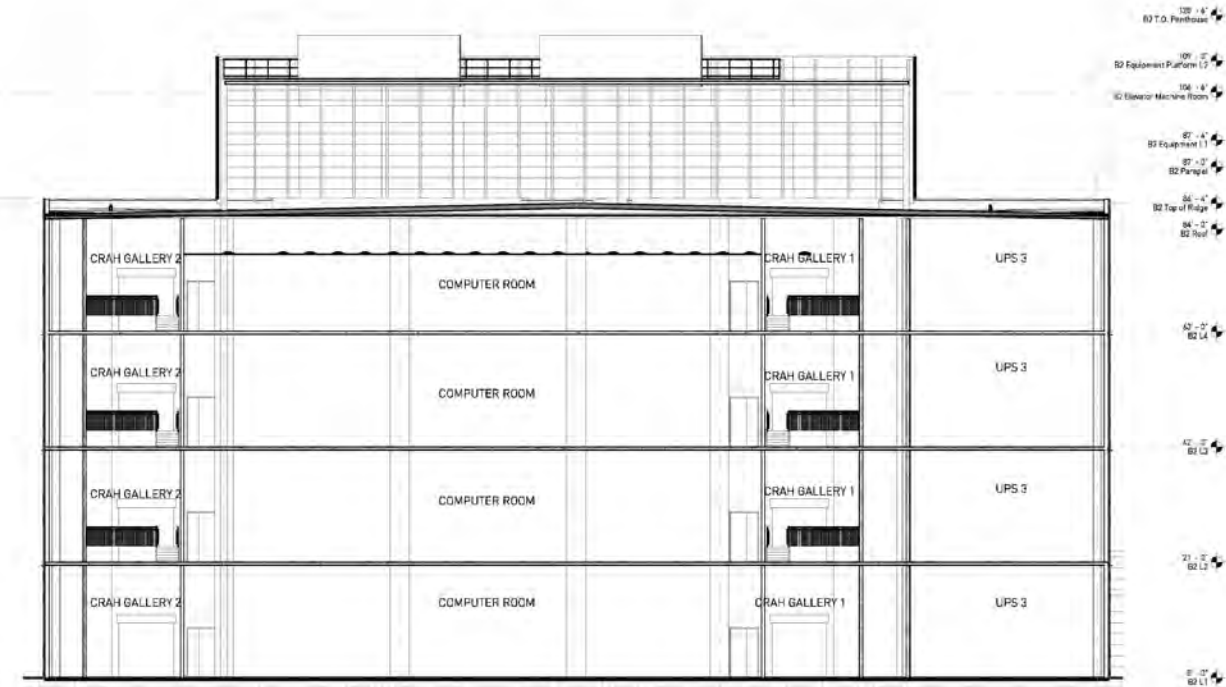
EXTERIOR DETAILS - METAL SCREENWALL

**A205**



1 Section A-A  
1/16" = 1'-0"

H G F E D C B A A.1



2 Section B-B  
1/16" = 1'-0"

REV	DATE	DESCRIPTION
1	04.14.14	ISSUE FOR PERMITS
2	04.22.14	ISSUE FOR PERMITS

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PROJECT: EDGECORE INTERNET REAL ESTATE

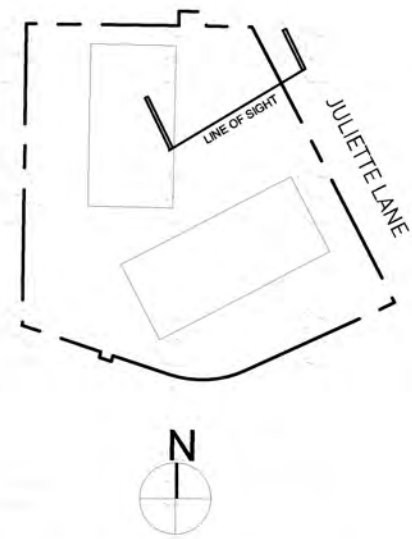
LAURELWOOD

2201 Laurelwood Santa Clara, CA 95054

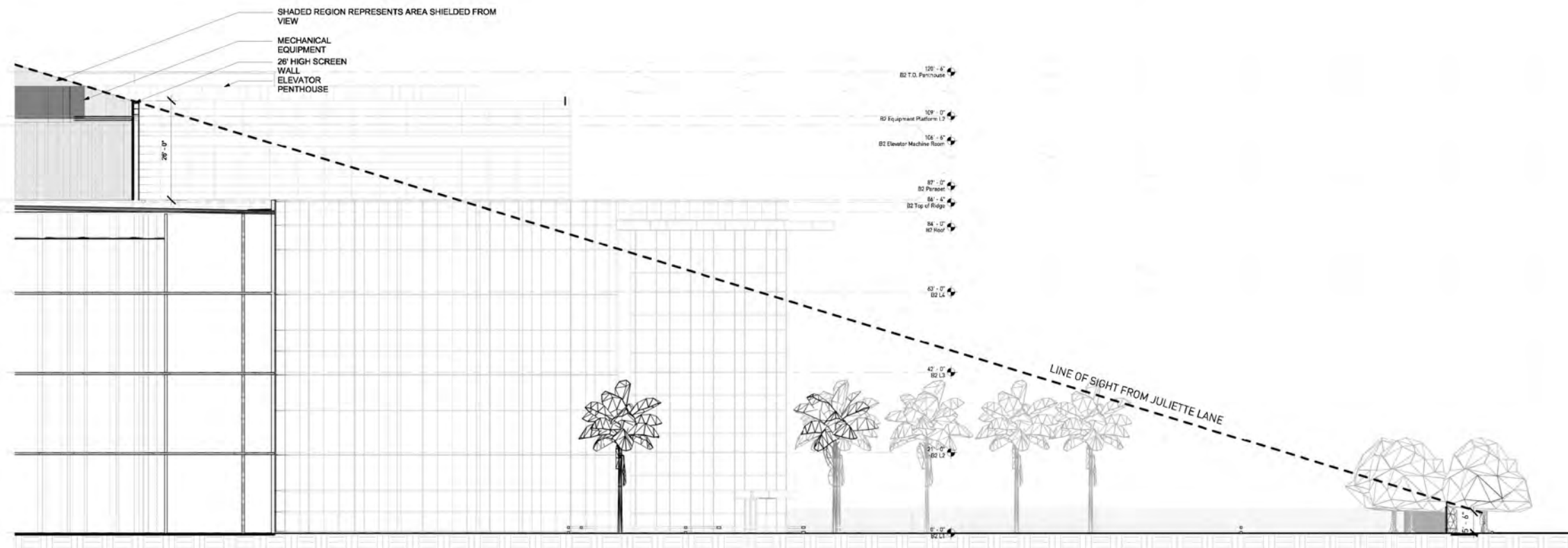
PROJECT NUMBER: 18-0014

BUILDING 2 SECTIONS





LINE OF SIGHT PLAN KEY



REV	DATE	DESCRIPTION
0	10/19/2018	ISSUE SUBMITTED

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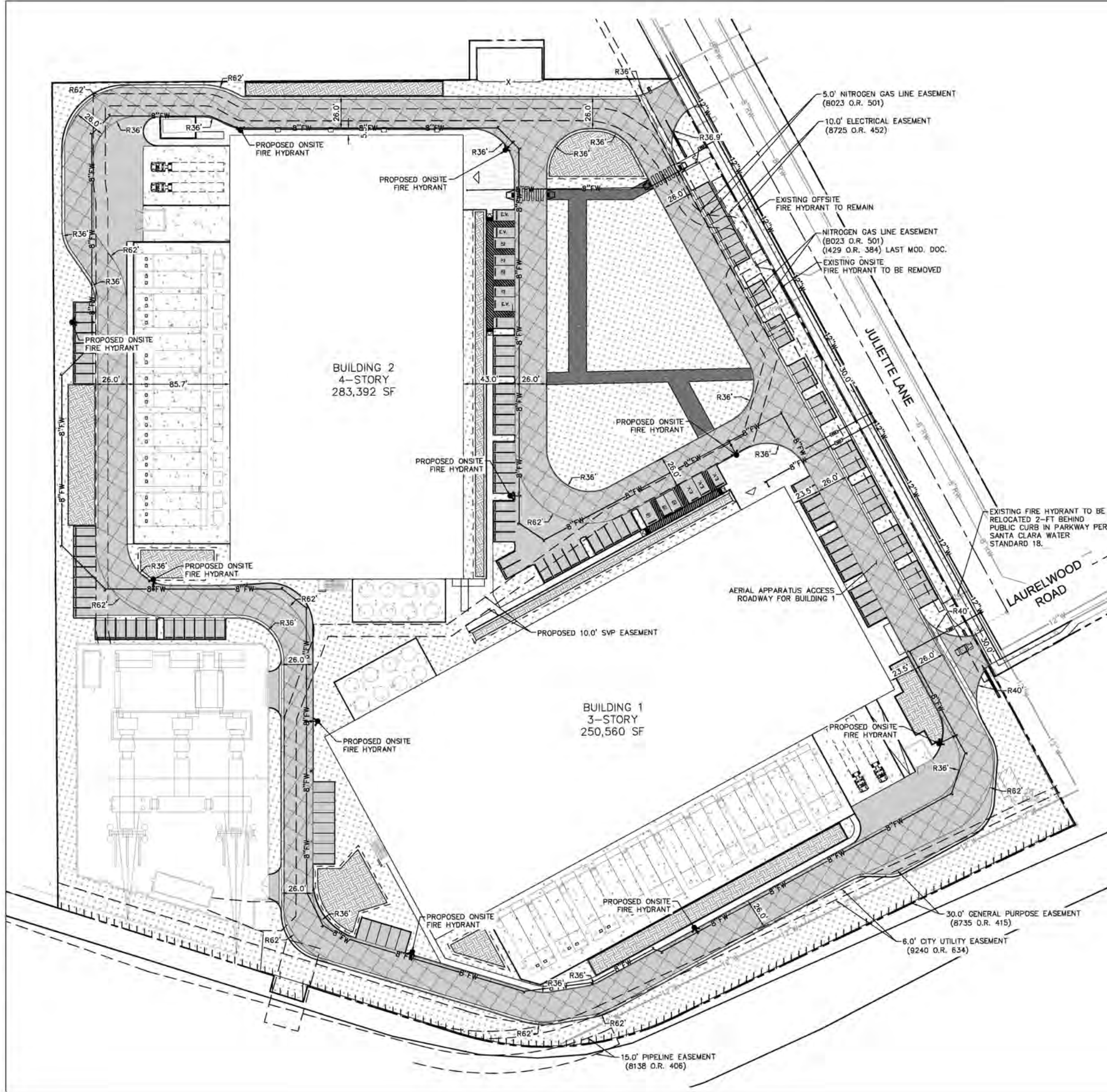


LAURELWOOD  
2201 Laurelwood Santa Clara, CA 95054

PROJECT NUMBER: 18-0014  
SCREENWALL LINE OF SIGHT DIAGRAM



K:\WAY\JOB\19721001 - EDGECORE DATA CENTER\DWG\EXHIBITS\ENTITLEMENT DRAWINGS\C1.0 FIRE HYDRANT AND ACCESS PLAN.DWG 2/11/2020 4:00 PM NELSON, KARI



**LEGEND**

- PROPERTY LINE
- PROPOSED FIRE WATER LINE
- EXISTING WATER LINE
- LANDSCAPE/PLANTER AREA
- BIORETENTION AREA
- DECOMPOSED GRANITE
- FIRE ACCESS LANE / EMERGENCY VEHICLE ACCESS EASEMENT (EVAE)
- ASPHALT CONCRETE PAVEMENT
- STANDARD DUTY CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT

**SITE DATA**

BUILDING CONSTRUCTION TYPE:	IIA
TOTAL BUILDING SQUARE FOOTAGE:	533,952 SF
REQUIRED FIRE FLOW (PER CFC TABLE B105.1, BEFORE REDUCTION):	6,000 GPM
MINIMUM REQUIRED HYDRANTS (PER CFC TABLE C102.1):	6 HYDRANTS
HYDRANTS PROVIDED:	10 HYDRANTS

**GENERAL NOTES**

- FIRE ACCESS ROADWAYS SHALL HAVE A "MINIMUM" UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET 6 INCHES. AERIAL APPARATUS ACCESS ROADS MAY REQUIRE ADDITIONAL VERTICAL CLEARANCE.
- ALL FIRE ACCESS ROADWAYS SHALL BE AN ALL-WEATHER SURFACE DESIGNED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS WITH A GROSS VEHICLE WEIGHT OF 75,000 POUNDS.
- FIRE APPARATUS ACCESS ROADWAYS SHALL HAVE A "MINIMUM" INSIDE TURNING RADIUS OF 36 FEET.
- THE GRADE FOR EMERGENCY APPARATUS ACCESS ROADWAYS SHALL NOT EXCEED 10% TO FACILITATE FIRE-GROUND OPERATIONS. SEE SHEET C3.0, PRELIMINARY GRADING AND DRAINAGE PLAN, FOR PROPOSED GRADING INFORMATION.
- TRAFFIC CALMING DEVICES ARE NOT PERMITTED ON ANY DESIGNATED FIRE ACCESS ROADWAY, UNLESS APPROVED BY THE FIRE PREVENTION & HAZARDOUS MATERIALS DIVISION.
- FIRE APPARATUS ACCESS ROADWAYS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING HEREAFTER CONSTRUCTED OR MOVED WHEN ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED MORE THAN 150 FEET FROM FIRE APPARATUS ACCESS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING.



**Kimley-Horn**  
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 100 WEST SAN FERNANDO STREET, SUITE 250  
 SAN JOSE, CA 95113  
 PHONE: 669-800-4130 FAX: 714-938-9488  
 WWW.KIMLEY-HORN.COM

ENGINEER OF RECORD  
 SEAL



**EDGECORE**  
 INTERNET REAL ESTATE  
 2201 LAURELWOOD ROAD,  
 SANTA CLARA, CA 95054

JOB NO.:	094861004
PRINT DATE:	02/14/2020
DESIGNED BY:	KN
CHECKED BY:	MAJ
SET ISSUED:	
06/14/2019	PCC #2
08/28/2019	PCC #3
10/21/2019	PCC #4
11/08/2019	DD SUBMITTAL
02/14/2020	PCC #5

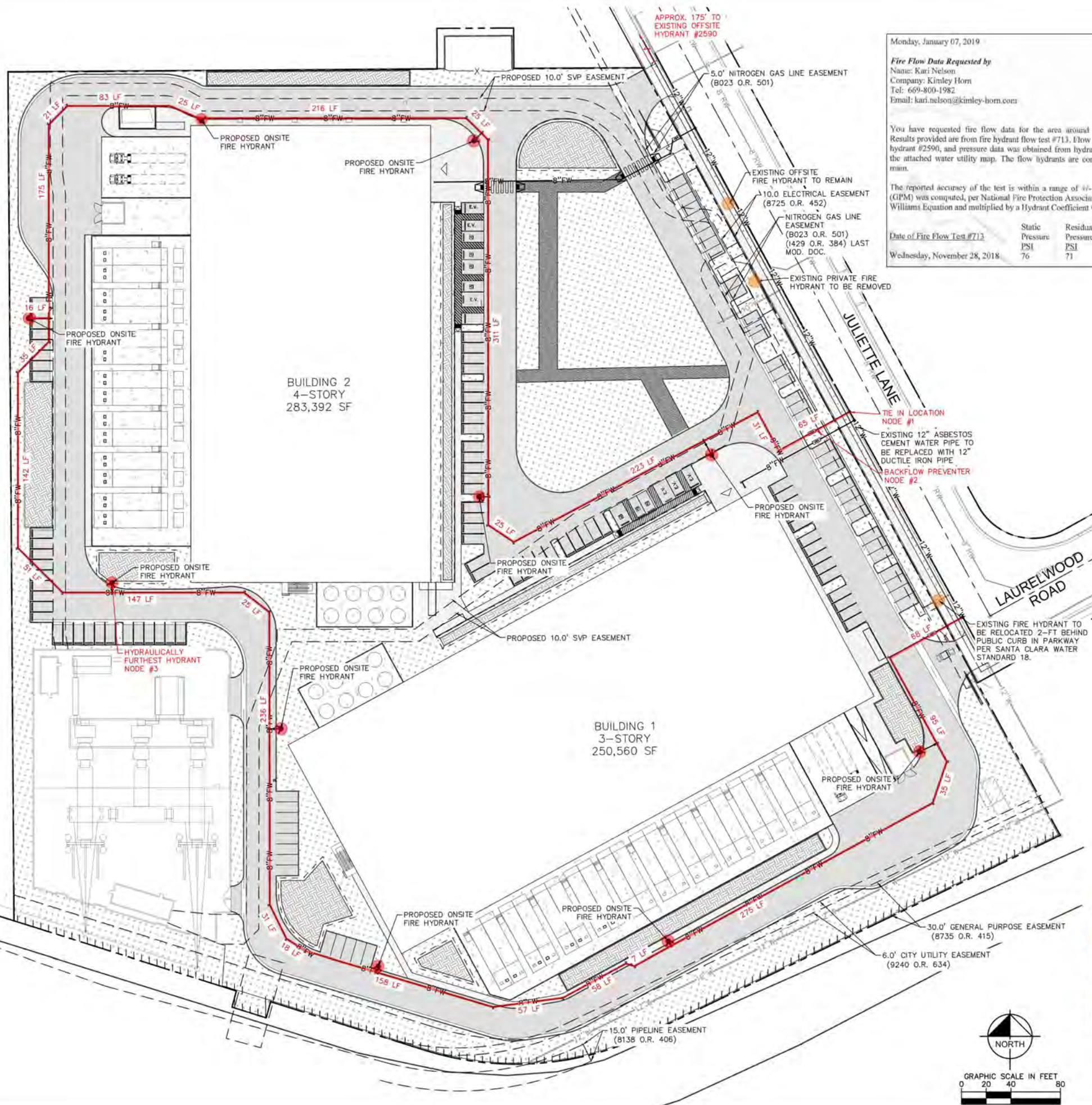
SHEET NAME:  
**FIRE TRUCK ACCESS PLAN**

SHEET NO.:  
**C1.0**

A.P.N.: 104-39-023



R:\VBA\JOB\197221001 - EDGECORE DATA CENTER\EXHIBITS\ENTITLEMENT DRAWINGS\2.0 FIRE WATER SUPPLY ASSESSMENT PLAN.DWG 2/14/2020 4:00 PM NELSON, KARI



Monday, January 07, 2019  
**Fire Flow Data Requested by**  
Name: Kari Nelson  
Company: Kimley Horn  
Tel: 669-800-1982  
Email: kari.nelson@kimley-horn.com  
  
You have requested fire flow data for the area around 2201 Laurelwood Rd. Results provided are from fire hydrant flow test #713. Flow data was obtained from hydrant #2590, and pressure data was obtained from hydrant #2589, as shown on the attached water utility map. The flow hydrants are connected to a 12" water main.  
  
The reported accuracy of the test is within a range of +/- 10 percent. Test Flow (GPM) was computed, per National Fire Protection Association 291, by the Hazen-Williams Equation and multiplied by a Hydrant Coefficient value of 0.83.  
  
Date of Fire Flow Test #713: Wednesday, November 28, 2018  
Static Pressure: 76 PSI  
Residual Pressure: 71 PSI  
Opening Size: 4 Inches  
Test Flow: 2,134 GPM

### LEGEND

- PROPERTY LINE
- EXISTING WATER LINE
- PROPOSED FIRE WATER LINE (SIZE PER PLAN)
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- LANDSCAPE/PLANTER AREA
- BIORETENTION AREA
- DECOMPOSED GRANITE
- ASPHALT CONCRETE PAVEMENT
- STANDARD DUTY CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT

### EXISTING UTILITY NOTE

THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. THE CONTRACTOR MUST FIELD DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND POTENTIAL CONFLICTS WITH PROPOSED UTILITIES TO ENGINEER PRIOR TO INSTALLATION OF ANY PIPING.

### SITE DATA

BUILDING CONSTRUCTION TYPE: TYPE 2-A

### GENERAL NOTES

- DOMESTIC WATER TO MAINTAIN 5' HORIZONTAL CLEARANCE FROM BIORETENTION AREAS.
- CONTRACTOR TO FIELD VERIFY INVERTS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
- PRIOR TO THE START OF CONSTRUCTION, FIRE PROTECTION WATER SUPPLIES SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO THE TIME OF CONSTRUCTION OR PRIOR TO COMBUSTIBLE MATERIALS BEING MOVED ONSITE, UNLESS AN APPROVED ALTERNATIVE METHOD OF PROTECTION IS APPROVED BY THE FIRE PREVENTION AND HAZARDOUS MATERIALS DIVISION.

#### Water Supply Pressure Calculations

Assumptions and References:  
1. Available static pressure at existing water main (Node #1), P<sub>1</sub>: 76 PSI  
2. Water Demand:  
Building Sprinklers: 0 GPM  
Fire Hydrants: 2000 GPM  
Demand: 2000 GPM  
3. Use Hazen-Williams formula to compute friction loss in pipe:  
 $h_f = 10.44 P^{1.85} L / (C^{1.85} D^{4.87})$   
where:  
h<sub>f</sub>: Friction loss over length of pipe (FT)  
L: Length of Pipe (FT)  
C: Hazen-Williams Friction Loss Coefficient  
D: Diameter (Inches)  
Note: 30% of friction loss will be added to h<sub>f</sub> to account for losses through bends.  
4. Determine the Pressure at downstream Nodes by subtracting friction losses in pipes & bends, and any loss due to elevation change between nodes and any losses at backflow preventer:  
 $P_2 = P_1 - h_{f1} - h_{b1}$   
where:  
P<sub>2</sub>: Pressure at Node #2 (PSI)  
P<sub>1</sub>: Pressure at Node #1 (PSI)  
h<sub>f1</sub>: Friction loss over length of pipe (FT)  
h<sub>b1</sub>: Elevation difference between two nodes (FT)  
P<sub>2</sub>: Pressure loss across Backflow Preventer: 35 PSI  
Notes:  
1. See attached BP P out sheet for characteristics graph.  
2. Located at Node #2.  
Note: 3 FT H<sub>2</sub>O = 2.31 PSI  
5. Refer to the attached Schematic Plan for more information.  
6. Calculations:  
Site Fire Hydrant Calculations:  

Flow Demand (GPM)	Flow Demand (MGD)	C	L (FT)	h <sub>f</sub> (FT)	h <sub>b</sub> (FT)	h <sub>total</sub> (FT)	P <sub>2</sub> (PSI)
2000	0.028	100	1400	89.8	0	89.8	71.5

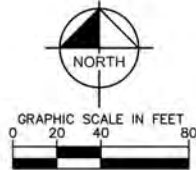
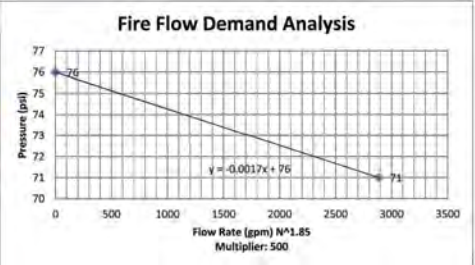
#### Fire Flow Graphical Analysis

Manual Input  
Calculated Demand

	Pressure	Flow Rate
Static	76	0
Observed	71	2134
Demand	73.4	1500

	Pressure	Flow Rate
76	0	0
71	1442147	2884
X	751223	1502



**Kimley Horn**  
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SAN JOSE, CA 95113  
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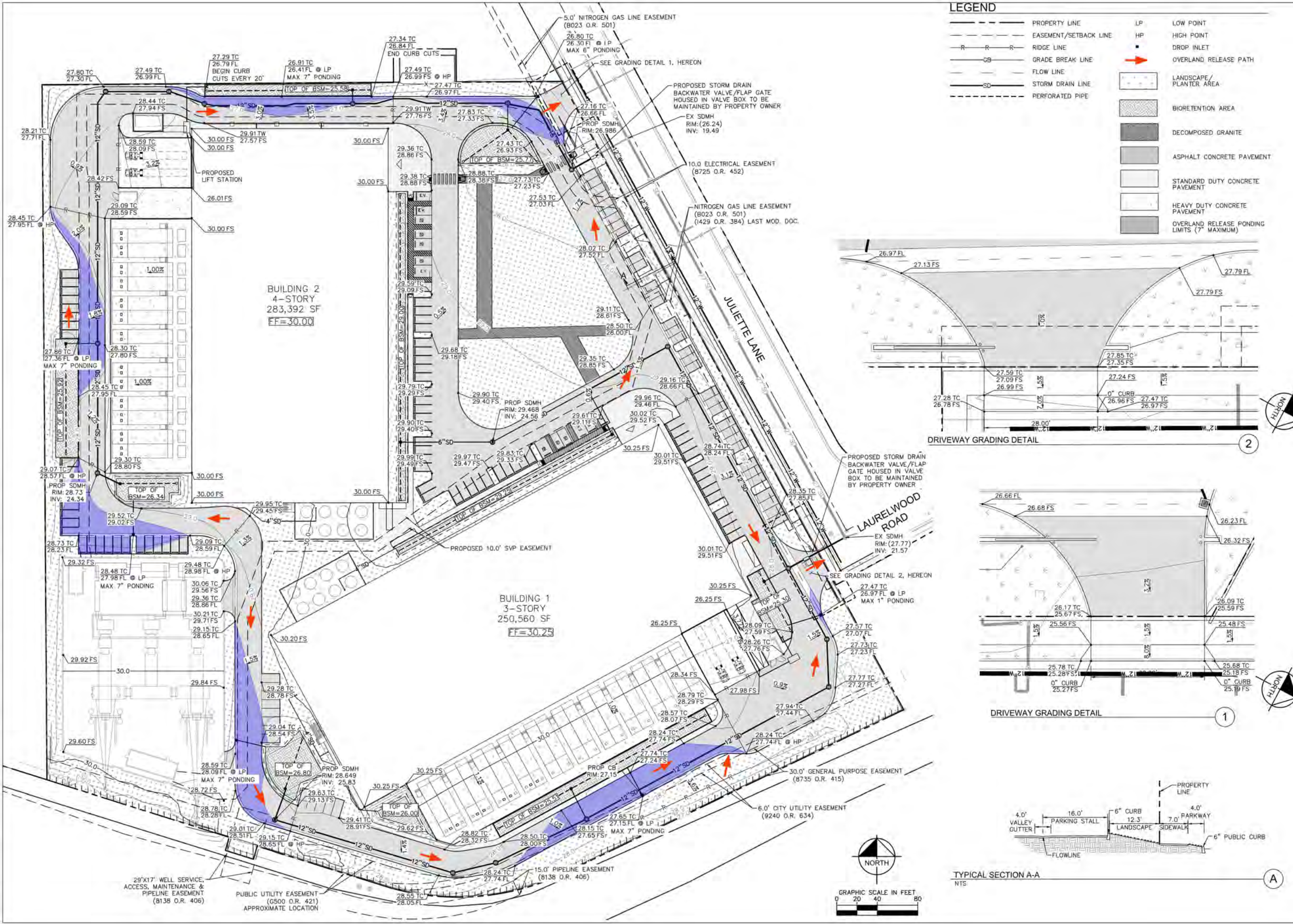


**EDGECORE**  
INTERNET REAL ESTATE  
2201 LAURELWOOD ROAD,  
SANTA CLARA, CA 95064

JOB NO.: 094861004  
PRINT DATE: 02/14/2020  
DESIGNED BY: KN  
CHECKED BY: MJ  
SET ISSUED: 06/14/2019 PCC #2  
08/26/2019 PCC #3  
10/21/2019 PCC #4  
11/08/2019 DD SUBMITTAL  
02/14/2020 PCC #5  
SHEET NAME:  
FIRE DEPARTMENT  
WATER SUPPLY  
PLAN  
SHEET NO.:  
C2.0

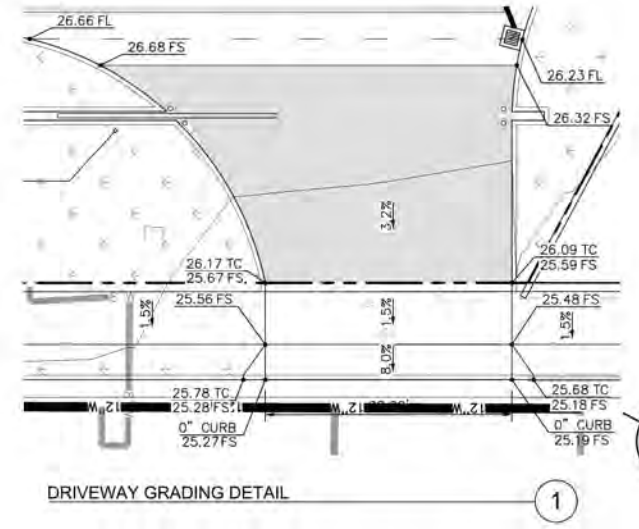
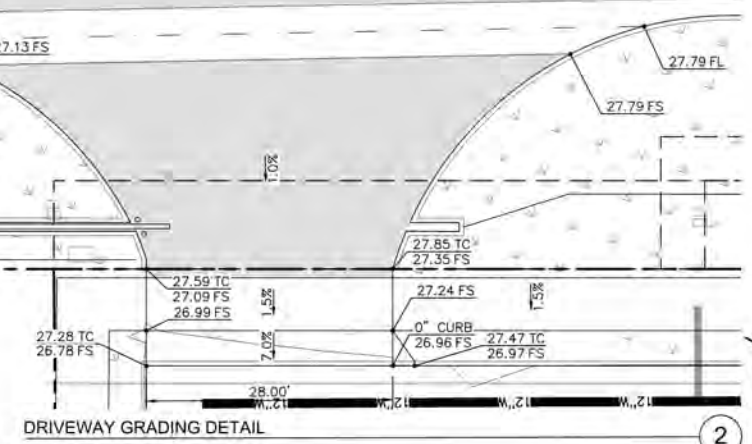


K:\BA\LD\EN\19221001 - EDGECORE DATA CENTER\AD\EXHIBITS\ENTIREMENT DRAWINGS\C3.0 PRELIM GRADING AND DRAINAGE PLAN.DWG 2/14/2020 4:11 PM NELSON, KMB

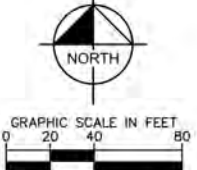
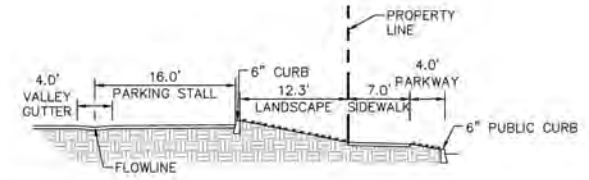


**LEGEND**

- |             |                       |    |  |
|-------------|-----------------------|----|--|
| —           | PROPERTY LINE         | LP | LOW POINT                                    |
| - - -       | EASEMENT/SETBACK LINE | HP | HIGH POINT                                   |
| - R - R - R | RIDGE LINE            | ■  | DROP INLET                                   |
| - CB -      | GRADE BREAK LINE      | →  | OVERLAND RELEASE PATH                        |
| - F -       | FLOW LINE             | □  | LANDSCAPE/PLANTER AREA                       |
| - SD -      | STORM DRAIN LINE      | ■  | BIORETENTION AREA                            |
| - - -       | PERFORATED PIPE       | ■  | DECOMPOSED GRANITE                           |
|             |                       | ■  | ASPHALT CONCRETE PAVEMENT                    |
|             |                       | ■  | STANDARD DUTY CONCRETE PAVEMENT              |
|             |                       | ■  | HEAVY DUTY CONCRETE PAVEMENT                 |
|             |                       | ■  | OVERLAND RELEASE PONDING LIMITS (7" MAXIMUM) |



TYPICAL SECTION A-A  
NTS



**dc**m  
dotterweich  
carlson  
meihner design, inc.

**Kimley»Horn**  
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STATE OF CALIFORNIA  
REG. NO. 8487

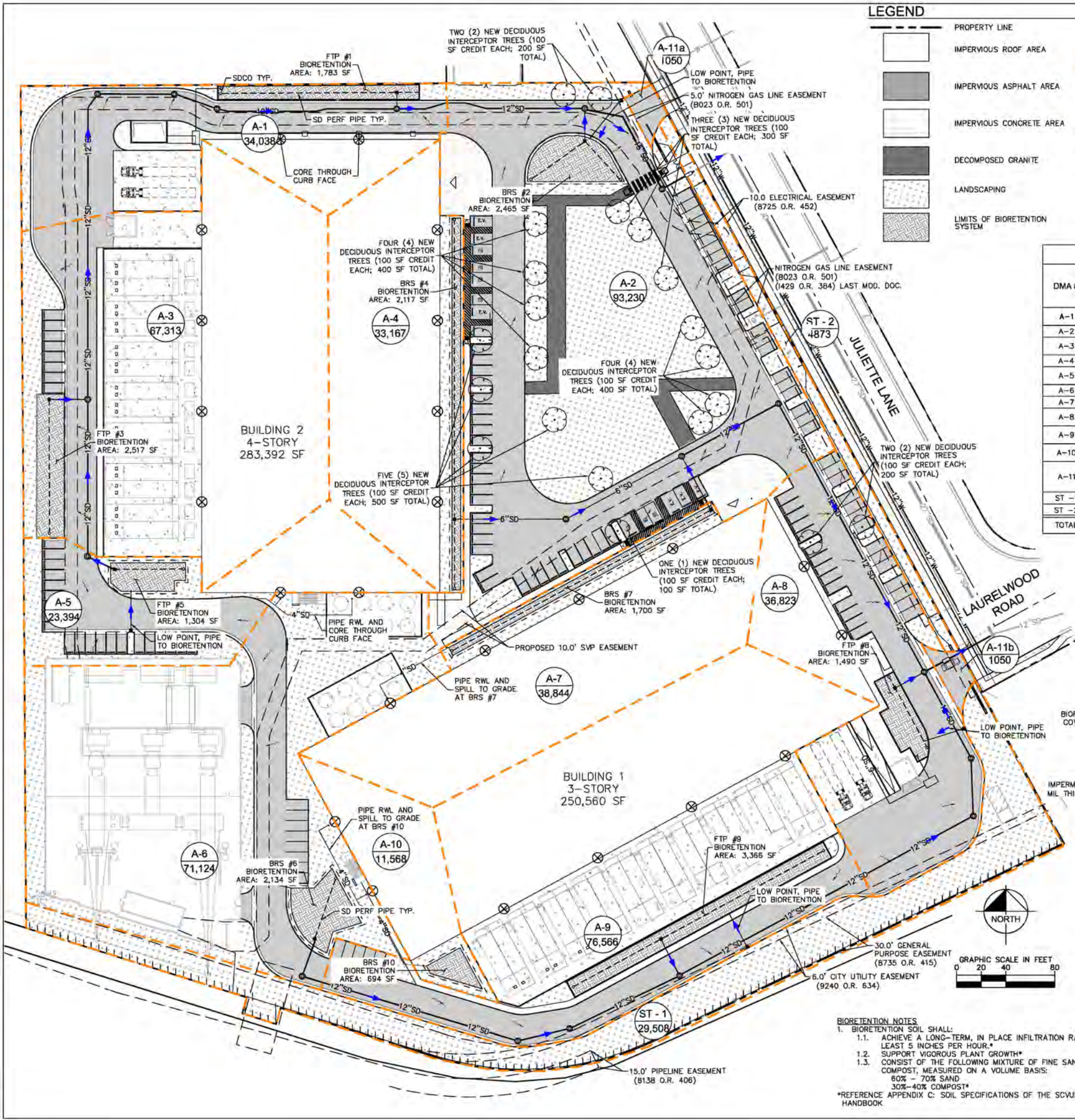
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2201 LAURELWOOD ROAD,  
SANTA CLARA, CA 95054  
A.P.N.: 104-39-023

JOB NO.: 094861004  
PRINT DATE: 02/14/2020  
DESIGNED BY: KN  
CHECKED BY: MJ  
SET ISSUED:  
06/14/2019 PCC #2  
08/26/2019 PCC #3  
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GRADING AND DRAINAGE PLAN  
SHEET NO.: C3.0



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**LEGEND**

- PROPERTY LINE
- IMPERVIOUS ROOF AREA
- IMPERVIOUS ASPHALT AREA
- IMPERVIOUS CONCRETE AREA
- DECOMPOSED GRANITE
- LANDSCAPING
- LIMITS OF BIORETENTION SYSTEM
- (A-1/100) DENOTES DMA DESIGNATION
- (A-1/100) DENOTES DRAINAGE AREA IN S.F.
- (A-1/100) DENOTES DRAINAGE MANAGEMENT AREA (DMA) BOUNDARY
- PROPOSED PIPE SLOPE DIRECTION
- EXISTING EASEMENT LINE
- PROPOSED STORM DRAIN LINE
- EXISTING STORM DRAIN LINE
- SELF TREATING
- APPROXIMATE ROOF DOWNSPOUT LOCATION
- SURFACE FLOW DIRECTION

**EARTHWORK**

CUT: 8,000 CY  
 FILL: 29,000 CY  
 NET: 21,000 CY (FILL)

THE ABOVE QUANTITIES ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE CONTOURS AND SPOT GRADES ON THE BASE SURVEY. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN(S).

THE EARTHWORK QUANTITIES ABOVE ARE FOR PERMIT PURPOSES ONLY. THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND GRUBBING, SHRINKAGE, OVER-EXCAVATION AND RE-COMPACTING, AND CONSTRUCTION METHODS. NOR DO THEY ACCOUNT FOR THE THICKNESS OF PAVEMENT SECTIONS, FOOTINGS, SLABS, REUSE OF PULVERIZED MATERIALS THAT WILL UNDERLIE NEW PAVEMENTS, ETC. THE CONTRACTOR SHALL RELY ON THEIR OWN EARTHWORK ESTIMATES FOR BIDDING PURPOSES.

**HYDROMODIFICATION APPLICABILITY**

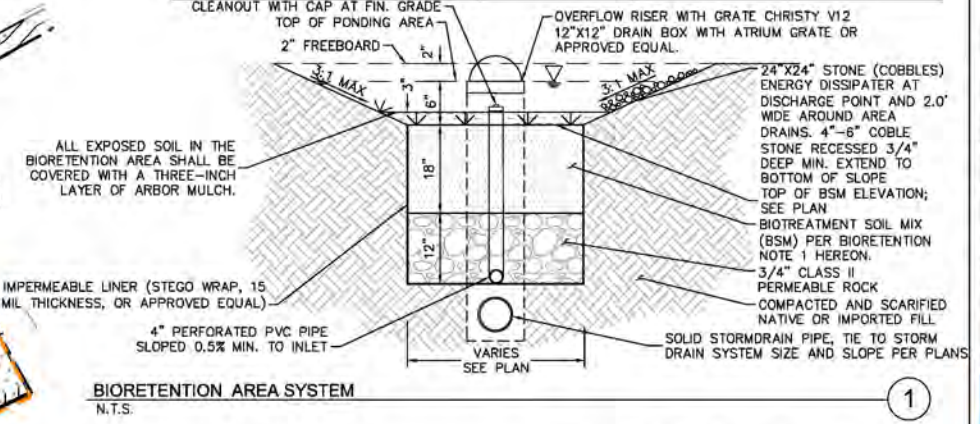
1. PER THE HYDROMODIFICATION MANAGEMENT PLAN (HMP) APPLICABILITY MAP FOR THE CITY OF SANTA CLARA, THIS PROJECT IS IN THE AREA CONSIDERED "CATCHMENTS DRAINING TO HARDENED CHANNEL AND/OR TIDAL AREAS," THEREFORE HM IS NOT REQUIRED FOR THIS PROJECT.

**STORMWATER TREATMENT SUMMARY TABLE**

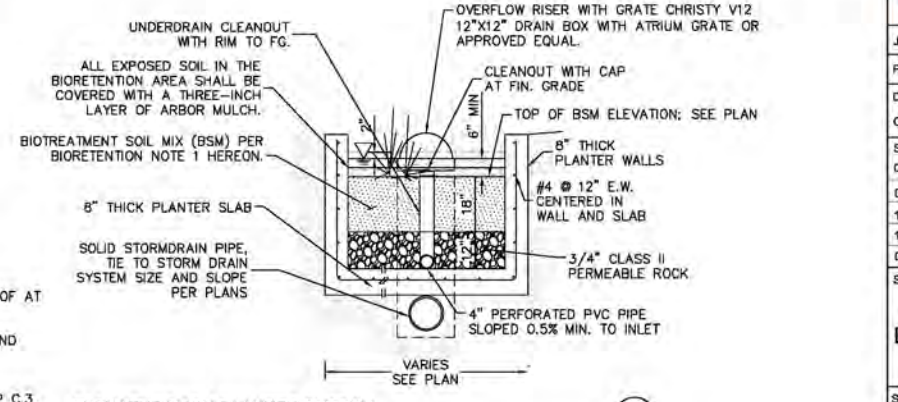
DMA #	TOTAL AREA (SF)	PERVIOUS AREA (SF)	IMPERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	REQUIRED TREATMENT AREA (SF) - 4% OF AREA	PROVIDED TREATMENT AREA (SF)	TREATMENT FACILITY #	BMP TYPE
A-1	34,038	3,938	30,100	30,494	1,220	1,783	FTP #1	FLOW-THROUGH PLANTER
A-2	92,480	41,637	50,843	55,757	2,230	2,465	BRS #2	BIORETENTION
A-3	67,313	6,098	61,215	61,825	2,473	2,517	FTP #3	FLOW-THROUGH PLANTER
A-4	33,167	6,116	27,051	27,663	1,107	2,117	BRS #4	BIORETENTION
A-5	23,394	5,876	17,518	18,106	724	1,304	FTP #5	FLOW-THROUGH PLANTER
A-6	71,124	20,418	50,706	52,748	2,110	2,134	BRS #6	BIORETENTION
A-7	38,844	4,853	33,991	34,476	1,379	1,700	BRS #7	BIORETENTION
A-8	36,823	2,002	34,821	35,588	1,424	1,490	FTP #8	FLOW-THROUGH PLANTER
A-9	76,566	2,528	74,038	73,031	2,921	3,366	FTP #9	FLOW-THROUGH PLANTER
A-10	11,568	1,869	9,699	9,845	394	694	BRS #10	BIORETENTION
A-11	2,100	0	2,100	2,100	2,100	2,100	SEE PLAN FOR INTERCEPTOR TREES	TREE CREDIT
ST -1	29,508	29,508	0	N/A	N/A	N/A	N/A	SELF TREATING
ST -2	4,873	4,873	0	N/A	N/A	N/A	N/A	SELF TREATING
TOTAL	521,798	129,516	392,282	389,686	18,081	21,670		

**IMPERVIOUS VS PERVIOUS AREA**

	TOTAL PROPERTY AREA (SF)	PERVIOUS AREA (SF)	IMPERVIOUS AREA (SF)	PERCENT PERVIOUS
EXISTING	521,798	43,450	478,348	8%
PROPOSED	521,798	129,516	392,282	25%



**BIORETENTION AREA SYSTEM**  
N.T.S.



**FLOW-THROUGH PLANTER SYSTEM**  
N.T.S.

**BIORETENTION NOTES**

- BIORETENTION SOIL SHALL:
  - ACHIEVE A LONG-TERM, IN PLACE INFILTRATION RATE OF AT LEAST 5 INCHES PER HOUR.\*
  - SUPPORT VIGOROUS PLANT GROWTH\*
  - CONSIST OF THE FOLLOWING MIXTURE OF FINE SAND AND COMPOST, MEASURED ON A VOLUME BASIS:
    - 60% - 70% SAND
    - 30%-40% COMPOST\*

\*REFERENCE APPENDIX C: SOIL SPECIFICATIONS OF THE SCVURPPP C.3 HANDBOOK



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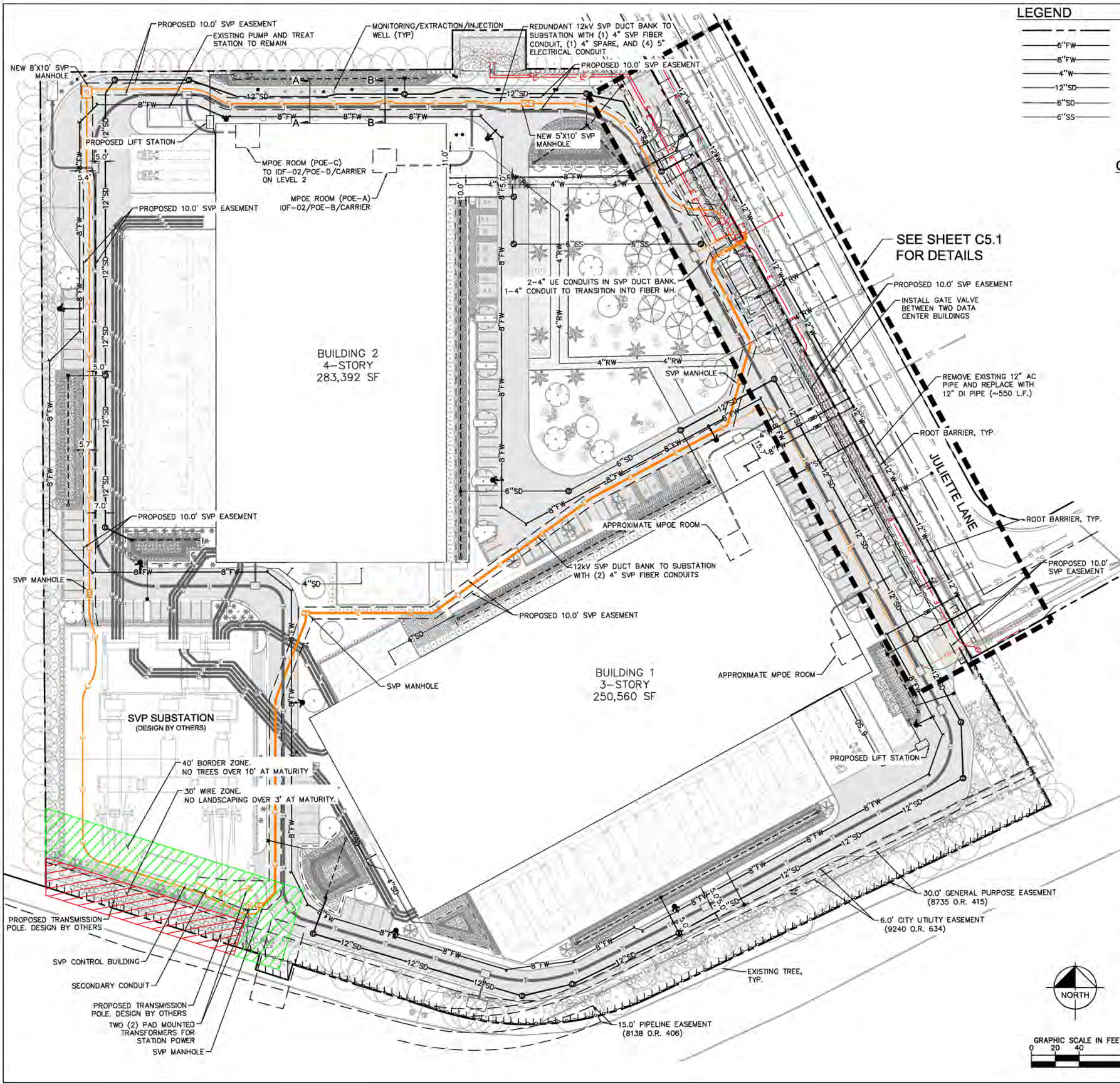


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**PRELIMINARY DRAINAGE AREA MAP**  
 SHEET NO.: **C4.0**



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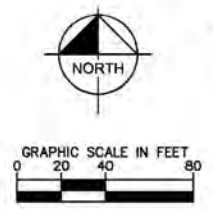
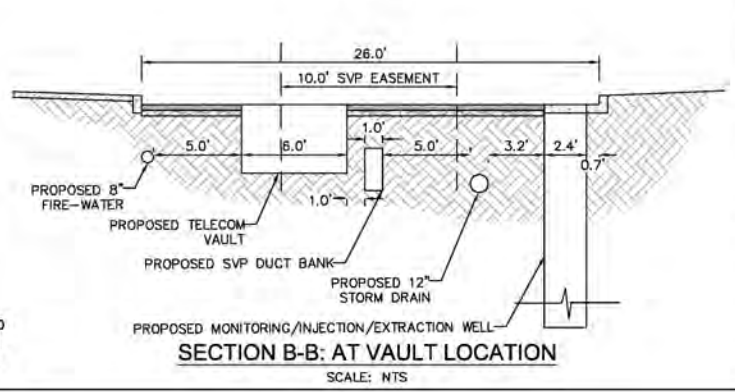
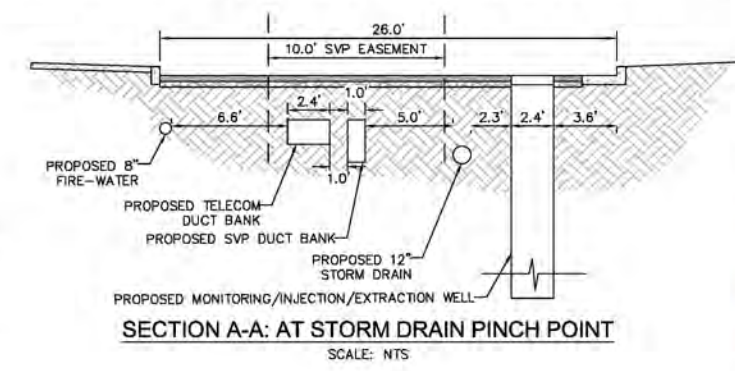


**LEGEND**

---	PROPERTY LINE	---	PROPOSED TELECOM/FIBER ROUTE (DESIGN BY OTHERS)
---	PROPOSED 6" PVC FIRE WATER PIPE	---	PROPOSED ELECTRICAL ROUTE (DESIGN BY OTHERS)
---	PROPOSED 8" PVC FIRE WATER PIPE	---	PROPOSED 2" IRRIGATION PIPE
---	PROPOSED 4" WATER PIPE	---	FIRE HYDRANT
---	PROPOSED 12" STORM DRAIN PIPE	---	STORM DRAIN MANHOLE
---	PROPOSED 6" STORM DRAIN PIPE	---	SANITARY SEWER MANHOLE
---	PROPOSED 6" SANITARY SEWER PIPE	---	MONITORING/EXTRACTION/INJECTION WELL
---		---	STORM DRAIN OVERFLOW INLET

**GENERAL NOTES**

- A MINIMUM 12" VERTICAL CLEARANCE MUST BE MAINTAINED AT WATER SERVICE CROSSINGS WITH OTHER UTILITIES.
- THE FOLLOWING MINIMUM HORIZONTAL CLEARANCES MUST BE MAINTAINED BETWEEN WATER SERVICES AND OTHER UTILITIES:
  - 10' FROM SANITARY SEWER UTILITIES
  - 10' FROM RECYCLED WATER UTILITIES
  - 8' FROM STORM DRAIN UTILITIES
  - 5' FROM FIRE AND OTHER WATER UTILITIES
  - 3' FROM ABANDONED WATER SERVICES
  - 5' FROM GAS UTILITIES
  - 5' FROM THE EDGE OF THE PROPOSED OF EXISTING DRIVEWAY
- A MINIMUM 10' HORIZONTAL CLEARANCE MUST BE MAINTAINED BETWEEN SANITARY SEWER, WATER AND RECYCLED WATER UTILITIES FROM EXISTING AND PROPOSED TREES. IF TREE ROOT BARRIERS ARE INSTALLED, THE CLEARANCE FROM THE TREE REDUCES TO 5'. THE CLEARANCE MUST BE FROM THE EDGE OF THE TREE ROOT BARRIER TO THE EDGE OF THE NAMED UTILITIES.
- THE BELOW MINIMUM HORIZONTAL CLEARANCES MUST BE MAINTAINED BETWEEN NEW CONDUITS OR PIPING SYSTEMS AND THE FOLLOWING:
  - 5' FROM ANY EXISTING OR PROPOSED SVP CONDUIT SYSTEM
  - 3.5' FROM POLES AND OPEN TRENCH INSTALLATION. EXCEPTIONS ARE FOR RISER CONDUIT
  - 3' FROM SIGN POSTS, BARRIER PIPES OR BOLLARDS, FENCE POSTS AND SIMILAR STRUCTURES
  - 5' FROM NEW SPLICE BOXES, PULL BOXES, MANHOLES, VAULTS OR SIMILAR SUBSURFACE FACILITIES
  - 5' FROM WALLS, FOOTINGS, RETAINING WALLS, LANDSCAPE PLANTERS, TREE ROOT BARRIERS OR OTHER SUBSURFACE WALL OR STRUCTURE
  - 5' FROM FIRE HYDRANT THRUST BLOCK. THE THRUST BLOCK EXTENDS 5' ON EITHER SIDE OF THE FIRE HYDRANT IN LINE WITH THE RADIAL WATER PIPE CONNECTED TO THE HYDRANT.
- A MINIMUM 12" VERTICAL CLEARANCE MUST BE MAINTAINED BETWEEN NEW CONDUIT AND PIPE SYSTEMS INSTALLED PERPENDICULAR TO EXISTING SVP CONDUITS FOR OPEN TRENCH INSTALLATIONS.
- THE BELOW MINIMUM HORIZONTAL CLEARANCES MUST BE MAINTAINED BETWEEN VAULTS/MANHOLES AND THE FOLLOWING:
  - 10' FOOT FROM ADJACENT VAULTS OR MANHOLES
  - 5' FROM ADJACENT CONDUITS
  - 36" FROM FACE OF CURB OR BOLLARDS REQUIRED
- A MINIMUM 5' HORIZONTAL CLEARANCE IS REQUIRED BETWEEN THE CENTER OF AN ANCHOR LINE AND ANY EXCAVATION AREA.
- A MINIMUM OF 3.5' HORIZONTAL CLEARANCE IS REQUIRED FROM POLES (ELECTRICAL, GUY STUB POLES, SERVICE CLEARANCE POLES, SELF SUPPORTING STEEL POLES AND LIGHTING POLES) AND OPEN TRENCH INSTALLATION. EXCEPTIONS ARE FOR RISER CONDUIT.
- EXISTING SVP VAULTS AND CONDUIT ARE SHOWN PER CITY OF SANTA CLARA ELECTRICAL UNDERGROUND MAP DRAWING UG75. EXACT AS BUILT LOCATIONS TO BE FIELD VERIFIED BY THE CONTRACTOR AT THE TIME OF CONSTRUCTION.
- THE PROPERTY SHALL BE FENCED OFF DURING DEMOLITION AND CONSTRUCTION.
- TREES MUST MEET THE CLEARANCE REQUIREMENTS LISTED IN SVP STANDARDS OH 1230 FOR OVERHEAD LINES AND SD 1235 FOR TREE PLANTING REQUIREMENTS NEAR UG ELECTRIC FACILITIES.
- CONTRACTOR TO CONDUCT OCTV SCAN OF EXISTING SANITARY SEWER LATERAL TO CONFIRM EXISTING LATERAL IS IN GOOD CONDITION FOR REUSE. LATERAL TO BE REPLACED IF DETERMINED TO NOT BE IN GOOD CONDITION.
- PLANS SHALL CONFORM TO THE FOLLOWING SVP STANDARDS:
  - a. INSTALLATION OF UNDERGROUND SUBSTRUCTURES BY DEVELOPERS
  - b. UG1250 - ENCROACHMENT PERMIT CLEARANCES FROM ELECTRIC FACILITIES
  - c. UG0339 - REMOTE SWITCH PAD
  - d. OH1230 - TREE CLEARANCES FROM OVERHEAD ELECTRIC LINES
  - e. SD1235 - TREE PLANTING REQUIREMENTS NEAR UNDERGROUND ELECTRIC FACILITIES
- ROOT BARRIER TO BE UTILIZED WHEN PROPOSED TREES ARE LOCATED WITHIN 10' OF AN EXISTING OR PROPOSED UTILITY. MAINTAIN 5' CLEARANCE BETWEEN ROOT BARRIER AND UTILITY.



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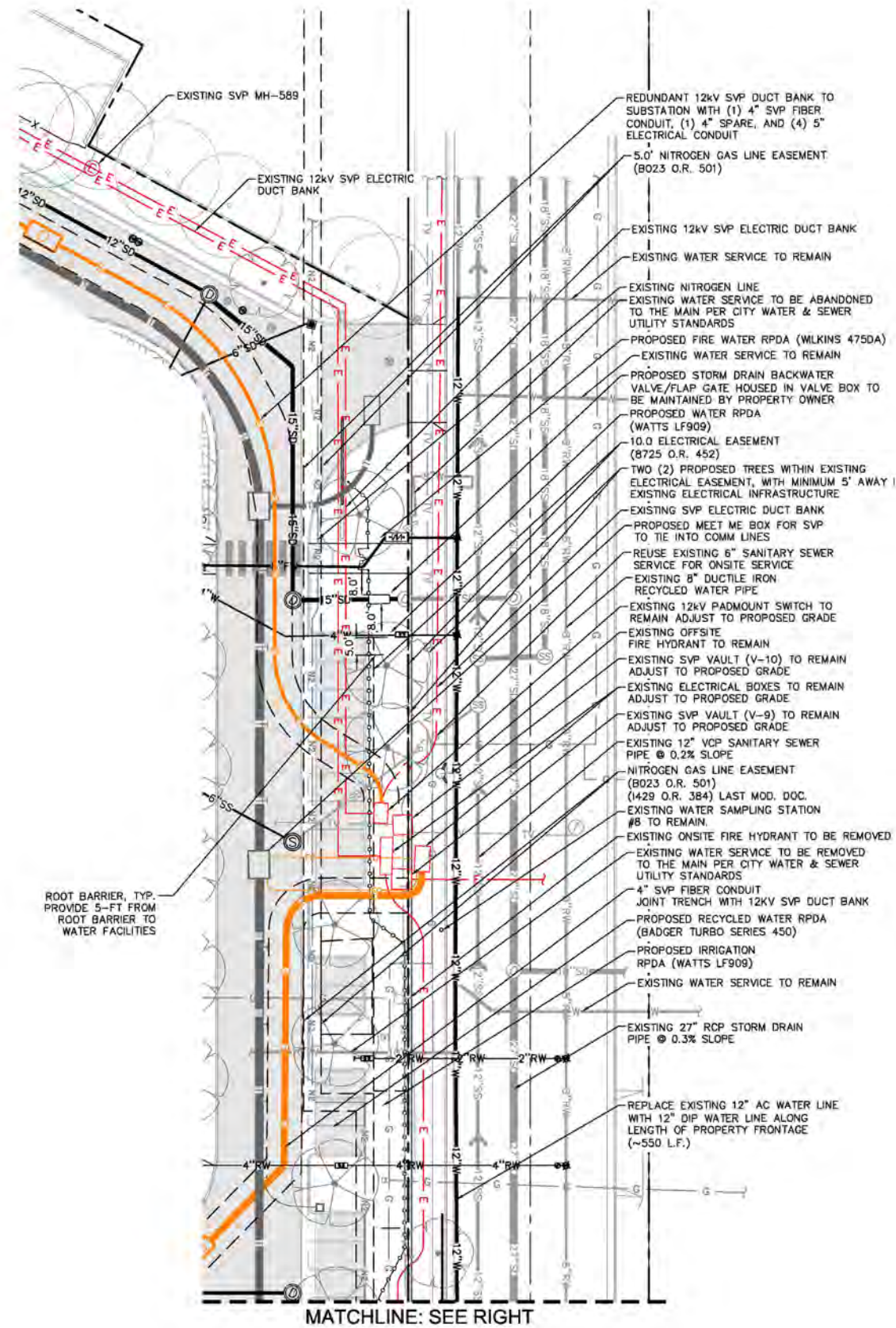
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02/14/2020	PCC #5
SHEET NAME:	COMPOSITE LANDSCAPE AND UTILITY PLAN
SHEET NO.:	C5.0

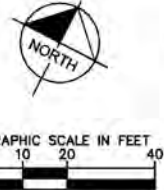
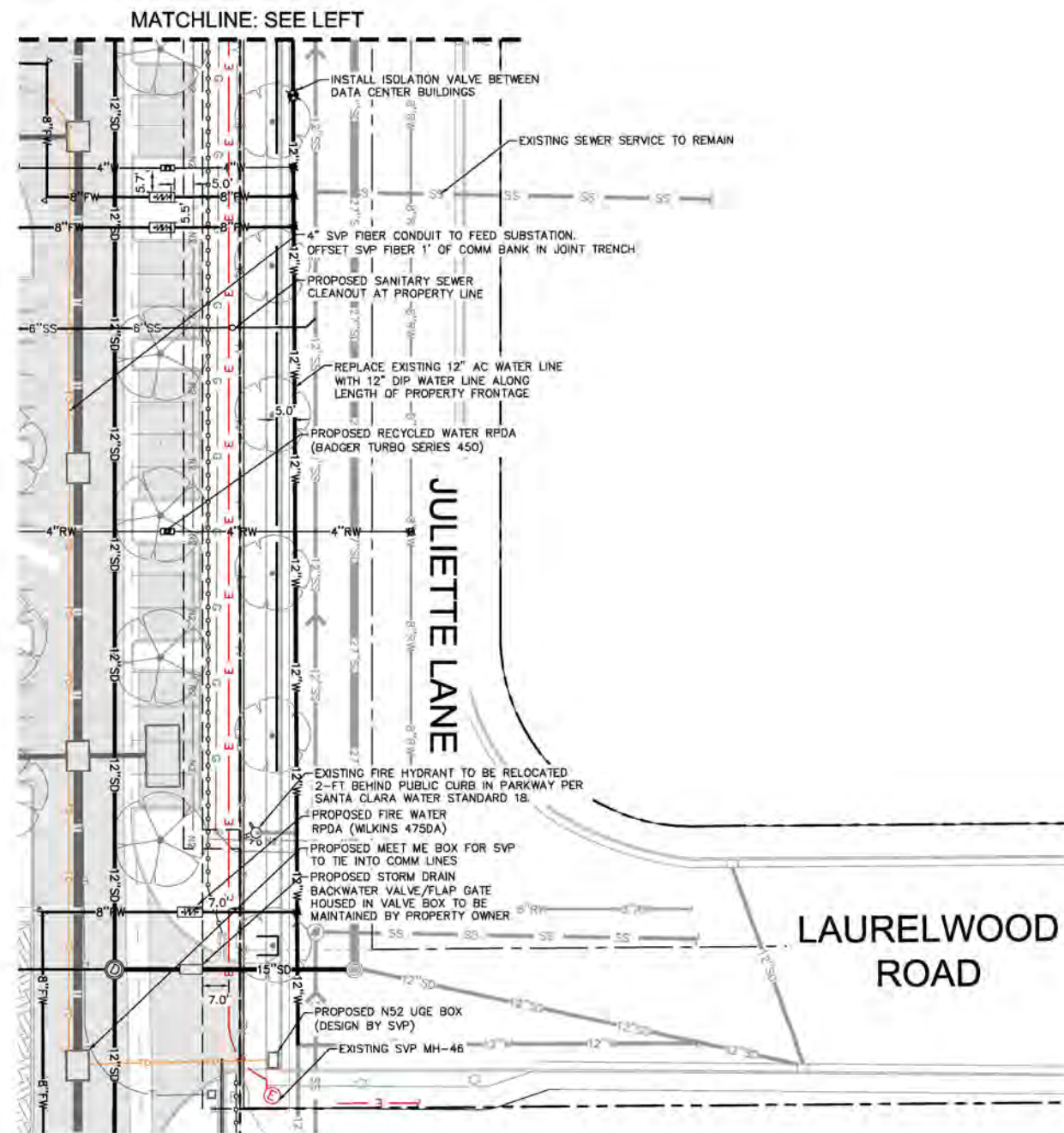
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MATCHLINE: SEE RIGHT



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dotterweich  
catlson  
meher design, inc.

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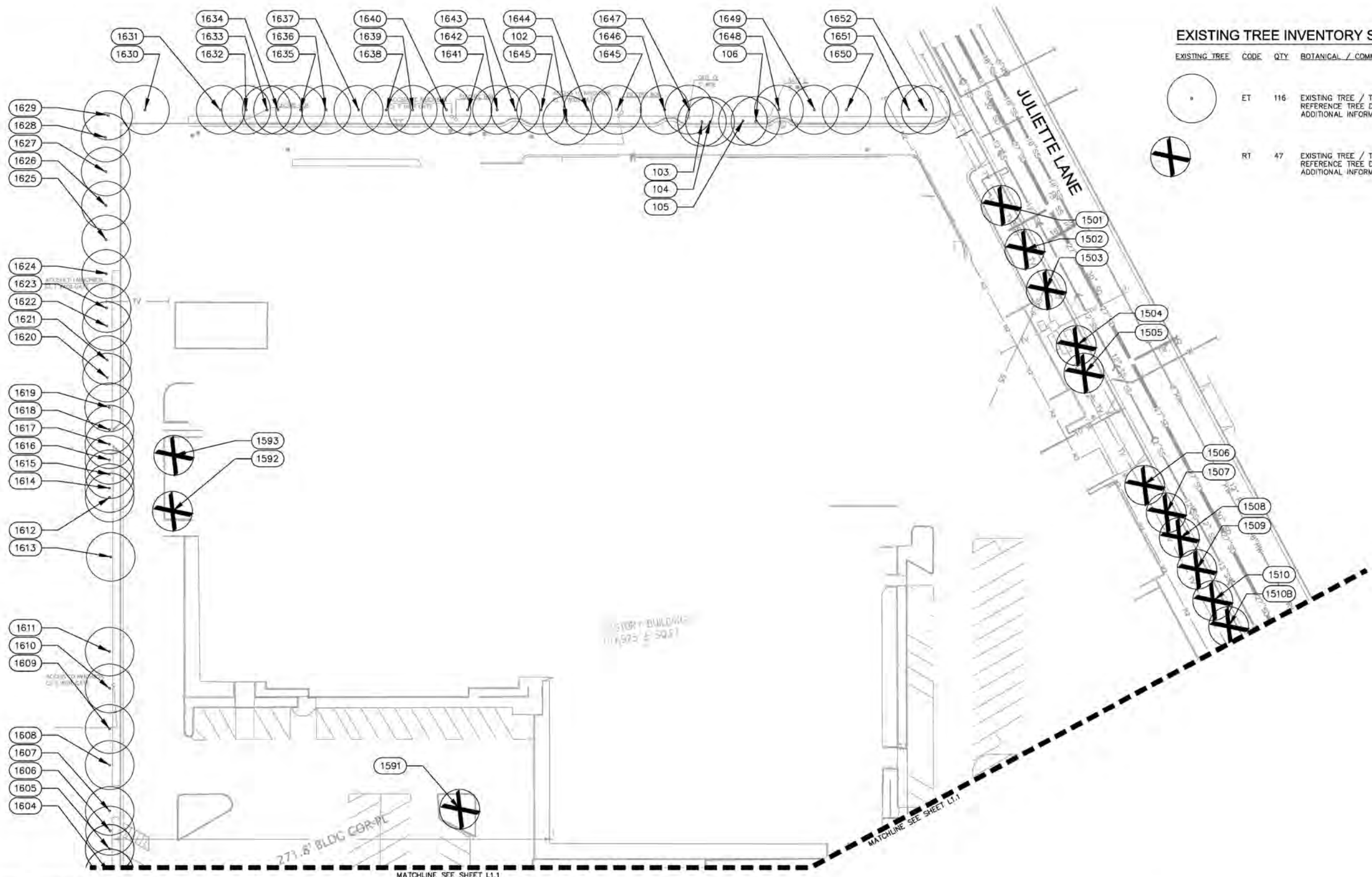
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SHEET NAME:  
COMPOSITE  
LANDSCAPE AND  
UTILITY PLAN  
SHEET NO.: C5.1

A.P.N.: 104-39-023



\\spp01\cal\_sap\project\bay\_l1\1\17221001 - EDGECORE DATA CENTER\CAD\DWG\ENVIRONMENT DRAWINGS\L1.0 TREE DISPOSITION.DWG 2/14/2020 4:04 PM NELSON, KAB



**EXISTING TREE INVENTORY SCHEDULE**

EXISTING TREE	CODE	QTY	BOTANICAL / COMMON NAME
(Symbol: Circle with dot)	ET	116	EXISTING TREE / TO REMAIN, PROTECT IN PLACE REFERENCE TREE DISPOSITION TABLE FOR ADDITIONAL INFORMATION
(Symbol: Circle with cross)	RT	47	EXISTING TREE / TO BE REMOVED REFERENCE TREE DISPOSITION TABLE FOR ADDITIONAL INFORMATION

**SITE PREPARATION NOTES**

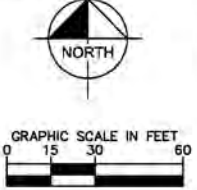
1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MEET THE OWNER OR OWNER'S REPRESENTATIVE AND IDENTIFY TREES WHICH ARE TO BE REMOVED. DO NO CLEARING WITHOUT A CLEAR UNDERSTANDING OF EXISTING CONDITIONS TO BE PRESERVED.
2. IF, IN ORDER TO PERFORM EXCAVATION WORK, IT BECOMES NECESSARY TO CUT ROOTS OF PLANTS TO BE SAVED WITHIN THE PROPERTY LIMITS OR LOCATED ON ADJACENT PROPERTY, SUCH ROOTS SHOULD BE CUT NEATLY, COVERED WITH BURLAP AND KEPT MOIST UNTIL ROOTS ARE BACK FILLED.
3. TREE REMOVAL SHALL INCLUDE THE FILLING, CUTTING, GRUBBING OUT OF ENTIRE ROOTBALLS AND SATISFACTORY OFF-SITE DISPOSAL OF ALL TREES, SHRUBS, STUMPS, VEGETATIVE AND EXTRANEOUS DEBRIS PRODUCED BY THE REMOVAL OPERATIONS.
4. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE INSIDE AND OUTSIDE THE LIMITS OF WORK DUE TO HIS CONTRACT OPERATIONS.
5. ALL REFUSE, DEBRIS, UNSUITABLE MATERIALS AND MISCELLANEOUS MATERIALS TO BE REMOVED SHALL BE LEGALLY DISPOSED OF OFF-SITE BY CONTRACTOR.
6. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES IN THE SITE SURVEY TO THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.

**NOTE TO CONTRACTOR**

1. PER COUNTY OF SANTA CLARA TREE PRESERVATION AND REMOVAL GUIDELINES, TREES OF SIGNIFICANT STATUS OR CIRCUMFERENCE (37.7") WITHIN PROJECT LIMITS THAT ARE TO BE REMOVED SHALL REQUIRE A TREE REMOVAL PERMIT. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS, PRIOR TO BEGINNING ANY CONSTRUCTION WORK.
2. ALL TREES WITHIN THE PROJECT LIMITS ARE CALLED OUT FOR REMOVAL. PER PLANS, CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL TREES NOT CALLED OUT FOR REMOVAL AND NOT SPECIFICALLY SHOWN ON THESE PLANS IN THE NEARBY VICINITY OF THIS PROJECT. IF THE LIMITS OF DISTURBANCE AFFECT NEARBY TREES TO REMAIN, THE CONTRACTOR SHALL IMPLEMENT TREE PROTECTION MEASURES TO ENSURE EXISTING TREES TO REMAIN ARE PRESERVED THROUGH CONSTRUCTION. REFER TO SHEET L1.1 FOR TREE DISPOSITION DETAILS.
3. AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR A 90-DAY MAINTENANCE PERIOD FOR ALL PROPOSED AND EXISTING PLANT MATERIAL TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DEAD OR IN-DECLINE PLANT MATERIAL AFFECTED BY CONSTRUCTION OR INSTALLED DURING THIS PROJECT FOR AN ADDITIONAL ONE-YEAR GUARANTEE PERIOD. PLANTS THAT DIE DURING THE ONE-YEAR PERIOD SHALL BE REPLACED PROMPTLY IN-KIND AND OF A COMPARABLE SIZE.

- FENCING:**
1. ALL TREES TO BE RETAINED SHALL BE PROTECTED WITH CHAIN LINK FENCING OR OTHER RIGID FENCE ENCLOSURE ACCEPTABLE BY THE PLANNING OFFICE. FENCED ENCLOSURES FOR TREES TO BE PROTECTED SHALL BE ERRECTED AT THE DRIPLINE OF TREES OR AS ESTABLISHED BY THE ARBORIST TO ESTABLISH THE TREE PROTECTIVE ZONE (TPZ) IN WHICH NO SOIL DISTURBANCE IS PERMITTED AND ACTIVITIES ARE RESTRICTED.
  2. ALL TREES TO BE PRESERVED SHALL BE PROTECTED WITH MINIMUM 5-FOOT HIGH FENCES ARE TO BE MOUNTED ON 2-INCH DIAMETER GALVANIZED IRON POSTS, DRIVEN INTO THE GROUND TO A DEPTH OF AT LEAST 2 FEET, AT NO MORE THAN 10-FOOT SPACING (SEE DETAIL, AVAILABLE AT WWW.SCCPLANNING.ORG). THIS DETAIL SHALL APPEAR ON GRADING, DEMOLITION AND BUILDING PERMIT PLANS.
  3. TREE FENCING SHALL BE ERRECTED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
  4. "WARNING" SIGNS  
A WARNING SIGN SHALL BE PROMINENTLY DISPLAYED ON EACH TREE PROTECTIVE FENCE PER THE REQUIREMENTS OF DEVELOPMENT PURSUANT TO THE SANTA CLARA COUNTY PLANNING OFFICE. (SEE ATTACHED EXAMPLE). THE SIGNS ARE AVAILABLE AT THE PLANNING AND BUILDING INSPECTION OFFICES OR AT

3. WWW.SCCPLANNING.ORG. IRRIGATION PROGRAM  
IRRIGATED TO WET THE SOIL WITHIN THE TPZ DURING THE DRY SEASON AS SPECIFIED BY THE PROJECT ARBORIST.
4. DUST CONTROL PROGRAM  
DURING PERIODS OF EXTENDED DROUGHT, OR GRADING, SPRAY TRUNK, LIMBS AND FOLIAGE TO REMOVE ACCUMULATED CONSTRUCTION DUST.



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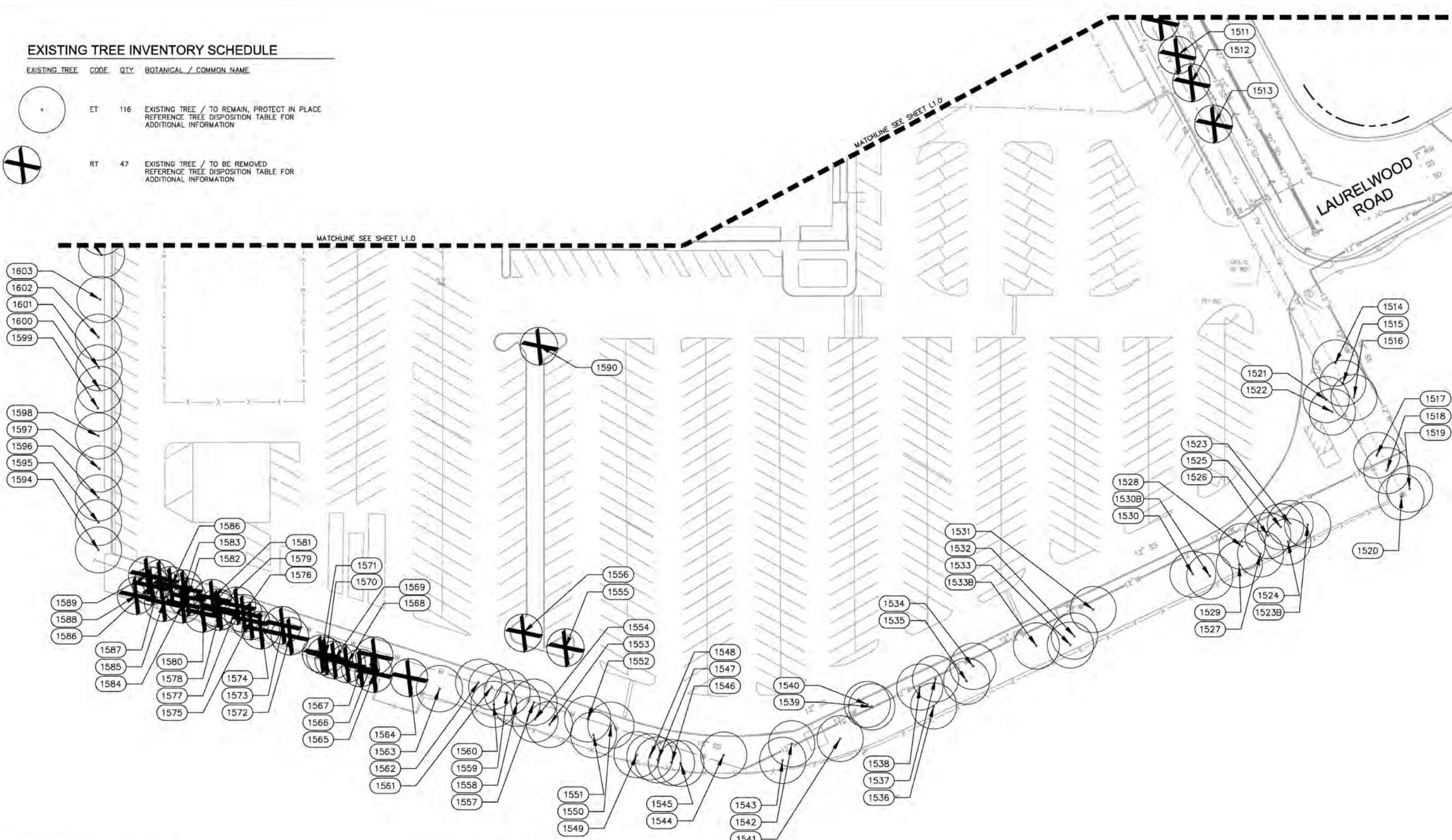
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02/14/2020	PCC #5
SHEET NAME:	<b>TREE DISPOSITION PLAN</b>
SHEET NO.:	<b>L1.0</b>



**EXISTING TREE INVENTORY SCHEDULE**

EXISTING TREE CODE QTY BOTANICAL / COMMON NAME

- 
ET 116
EXISTING TREE / TO REMAIN, PROTECT IN PLACE  
REFERENCE TREE DISPOSITION TABLE FOR  
ADDITIONAL INFORMATION
- 
RT 47
EXISTING TREE / TO BE REMOVED  
REFERENCE TREE DISPOSITION TABLE FOR  
ADDITIONAL INFORMATION



**SITE PREPARATION NOTES**

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2. IF, IN ORDER TO PERFORM EXCAVATION WORK, IT BECOMES NECESSARY TO CUT ROOTS OF PLANTS TO BE SAVED WITHIN THE PROPERTY LIMITS OR LOCATED ON ADJACENT PROPERTY, SUCH ROOTS SHOULD BE CUT NEATLY, COVERED WITH BURLAP AND KEPT MOIST UNTIL ROOTS ARE BACK FILLED.
3. TREE REMOVAL SHALL INCLUDE THE FILLING, CUTTING, GRUBBING OUT OF ENTIRE ROOTBALLS AND SATISFACTORY OFF-SITE DISPOSAL OF ALL TREES, SHRUBS, STUMPS, VEGETATIVE AND EXTRANEOUS DEBRIS PRODUCED BY THE REMOVAL OPERATIONS.
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5. ALL REFUSE, DEBRIS, UNSUITABLE MATERIALS AND MISCELLANEOUS MATERIALS TO BE REMOVED SHALL BE LEGALLY DISPOSED OF OFF-SITE BY CONTRACTOR.
6. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES IN THE SITE SURVEY TO THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.

**NOTE TO CONTRACTOR**

1. PER COUNTY OF SANTA CLARA TREE PRESERVATION AND REMOVAL GUIDELINES, TREES OF SIGNIFICANT STATUS OR CIRCUMFERENCE (37.7") WITHIN PROJECT LIMITS THAT ARE TO BE REMOVED SHALL REQUIRE A TREE REMOVAL PERMIT. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS, PRIOR TO BEGINNING ANY CONSTRUCTION WORK.
2. ALL TREES WITHIN THE PROJECT LIMITS ARE CALLED OUT FOR REMOVAL, PER PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL TREES NOT CALLED OUT FOR REMOVAL AND NOT SPECIFICALLY SHOWN ON THESE PLANS IN THE NEARBY VICINITY OF THIS PROJECT. IF THE LIMITS OF DISTURBANCE AFFECT NEARBY TREES TO REMAIN, THE CONTRACTOR SHALL IMPLEMENT TREE PROTECTION MEASURES TO ENSURE EXISTING TREES TO REMAIN ARE PRESERVED THROUGH CONSTRUCTION. REFER TO SHEET L1.1 FOR TREE DISPOSITION DETAILS.
3. AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR A 90-DAY MAINTENANCE PERIOD FOR ALL PROPOSED AND EXISTING PLANT MATERIAL TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY DEAD OR IN-DECLINE PLANT MATERIAL AFFECTED BY CONSTRUCTION OR INSTALLED DURING THIS PROJECT FOR AN ADDITIONAL ONE-YEAR GUARANTEE PERIOD. PLANTS THAT DIE DURING THE ONE-YEAR PERIOD SHALL BE REPLACED PROMPTLY IN-KIND AND OF A COMPARABLE SIZE.

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**EDGECORE**  
 INTERNET REAL ESTATE  
 2201 LAURELWOOD ROAD,  
 SANTA CLARA, CA 95054

JOB NO.:	094861004
PRINT DATE:	02/14/2020
DESIGNED BY:	CC
CHECKED BY:	MM
SET ISSUED:	
06/14/2019	PCC #2
08/26/2019	PCC #3
10/21/2019	PCC #4
11/08/2019	DD SUBMITTAL
02/14/2020	PCC #5
SHEET NAME:	TREE DISPOSITION PLAN (2)
SHEET NO.:	L1.1

A.P.N.: 104-39-023



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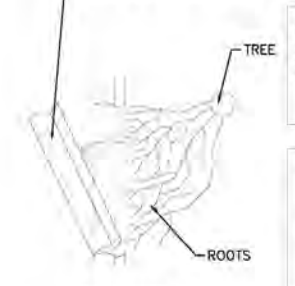
TREE DISPOSITION TABLE

Table with columns: TREE NUMBER, SCIENTIFIC NAME, COMMON NAME, DBH (Inches), REMARKS/CONDITION, X = REMOVE, R = RELOCATE. Lists various trees like Melaleuca, Fraxinus, and others with their respective details.

TREE DISPOSITION TABLE

Table with columns: TREE NUMBER, SCIENTIFIC NAME, COMMON NAME, DBH (Inches), REMARKS/CONDITION, X = REMOVE, R = RELOCATE. Lists various trees like Sequoia, Ulmus, and others with their respective details.

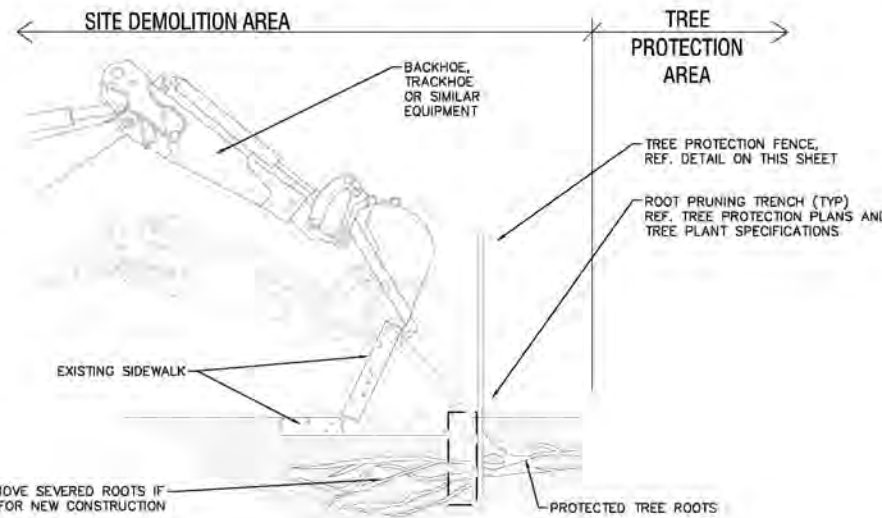
ROTATE CURB AWAY FROM TREE



- DEMOLITION SEQUENCE:
1. PERFORM ANY ROOT PRUNING.
2. INSTALL TREE PROTECTION FENCING.
3. CAREFULLY REMOVE SIDEWALK AND BASE MATERIAL, COORDINATE ALL DEMOLITION OPERATIONS AROUND PROTECTED TREES WITH ENGINEER AND PROJECT ARBORIST.

- NOTES:
1. PRIOR TO DEMOLITION ACTIVITIES, COORDINATE WITH OWNER'S REPRESENTATIVE.
2. ALL TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION ACTIVITIES.
3. OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR DEMOLITION ACTIVITIES PRIOR TO CONSTRUCTION.

PLAN VIEW



A CURB AND SIDEWALK DEMOLITION W/ LANDSCAPE PROTECTION SECTION

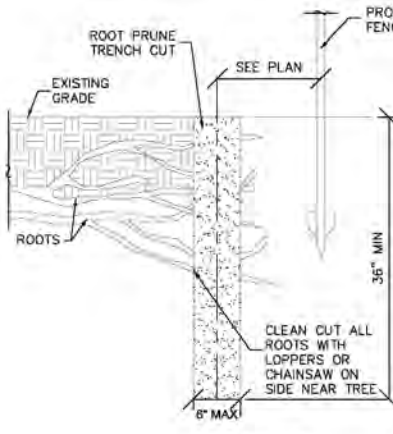
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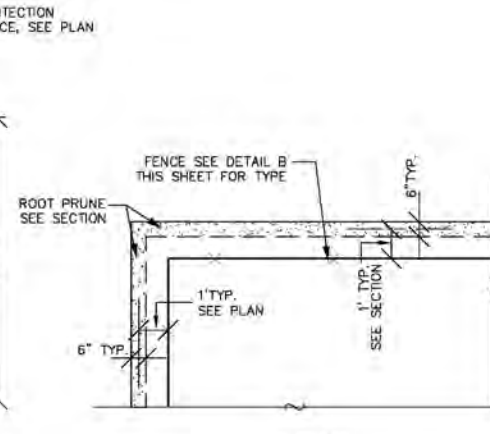
B TREE PROTECTOR BARRIER DETAIL

- 1. ALL PROTECTIVE BARRIER CONSTRUCTION SHALL BE COMPLETED PRIOR TO DEMOLITION WORK.
2. ALL PROTECTIVE BARRIER SHALL BE CONSTRUCTED WITH 4" X 4" POSTS AND 2" X 4" RAILS.
3. ALL PROTECTIVE BARRIER SHALL BE CONSTRUCTED WITH 1/2" GALVANIZED STEEL OR EQUIVALENT.
4. ALL PROTECTIVE BARRIER SHALL BE CONSTRUCTED WITH 1/2" GALVANIZED STEEL OR EQUIVALENT.
5. ALL PROTECTIVE BARRIER SHALL BE CONSTRUCTED WITH 1/2" GALVANIZED STEEL OR EQUIVALENT.

NTS



C ROOT PRUNING SECTION



NTS



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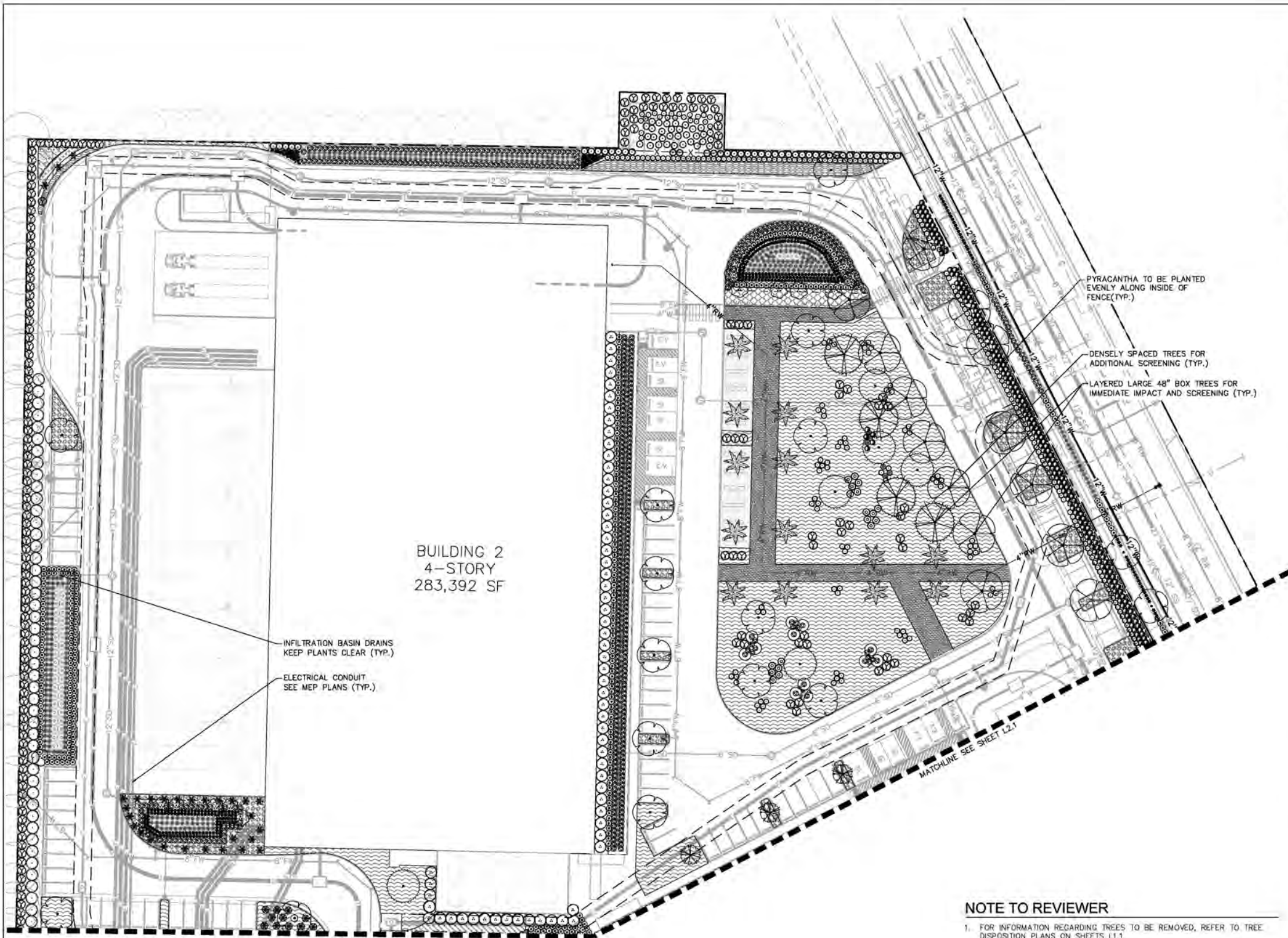
SHEET NAME: TREE DISPOSITION DETAILS

SHEET NO.: L1.2

A.P.N.: 104-39-023



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**BUILDING 2**  
4-STORY  
283,392 SF

INFILTRATION BASIN DRAINS  
KEEP PLANTS CLEAR (TYP.)

ELECTRICAL CONDUIT  
SEE MEP PLANS (TYP.)

PYRACANTHA TO BE PLANTED  
EVENLY ALONG INSIDE OF  
FENCE (TYP.)

DENSELY SPACED TREES FOR  
ADDITIONAL SCREENING (TYP.)

LAYERED LARGE 48" BOX TREES FOR  
IMMEDIATE IMPACT AND SCREENING (TYP.)

MATCHLINE SEE SHEET L2.1

MATCHLINE SEE SHEET L2.1

**CONCEPTUAL PLANT LEGEND** SEE SHEET L2.2 FOR FULL PLANT SCHEDULE AND NOTES

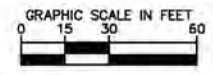
TREES	CODE	BOTANICAL / COMMON NAME
	CD	CEDRUS DEODARA DEODAR CEDAR
	CD2	CEDRUS DEODARA DEODAR CEDAR
	CW	CERCIS OCCIDENTALIS WESTERN REDBUD MULTI-TRUNK
	GT	GLEDTISIA TRIACANTHOS INERMIS COMMON HONEYLOCUST FRUITLESS VARIETY
	KP	KOELREUTERIA PANICULATA GOLDEN RAIN TREE
	KP2	KOELREUTERIA PANICULATA GOLDEN RAIN TREE
	WA	WASHINGTONIA FILIFERA CALIFORNIA FAN PALM
EXISTING TREE	CODE	BOTANICAL / COMMON NAME
	ET	EXISTING TREE TO REMAIN, PROTECT IN PLACE REFERENCE TREE DISPOSITION TABLE FOR ADDITIONAL INFORMATION
SHRUBS	CODE	BOTANICAL / COMMON NAME
	AH	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' HOWARD MCMINN MANZANITA
	CT	CAREX TUMULICOLA BERKELEY SEDGE
	CE	CHONDROPETALUM ELEPHANTINUM LARGE CAPE RUSH
	JP	JUNCUS PATENS CALIFORNIA GRAY RUSH
	MS	MISCANTHUS SINENSIS 'ADAGIO' ADAGIO EULALIA GRASS
	MC	MUHLENBERGIA CAPILLARIS PINK MUHLY
	MR	MUHLENBERGIA RIGENS DEER GRASS
	OL	OLEA EUROPAEA 'LITTLE OLLIE' TM LITTLE OLLIE OLIVE
	PN	PHORMIUM TENAX 'DUSKY MAIDEN' DUSKY MAIDEN FLAX
	PC	PYRACANTHA COCCINEA SCARLET PYRACANTHA
	RC	RHAMNUS CALIFORNICA CALIFORNIA COFFEE BERRY
	RE	RHAMNUS CALIFORNICA 'EVE CASE' CALIFORNIA COFFEEBERRY
	RM	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO' CALIFORNIA COFFEEBERRY
	RI	RHUS INTEGRIFOLIA LEMONADE BERRY
	RV	RIBES VIBURNIFOLIUM EVERGREEN CURRANT
	WF	WESTRINGIA FRUTICOSA DWARF COAST ROSEMARY
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	AM2	ARCTOSTAPHYLOS X 'EMERALD CARPET' EMERALD CARPET MANZANITA
	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' BLUE GRAMA
	CG	CARISSA MACROCARPA 'GREEN CARPET' GREEN CARPET NATAL PLUM
	CP	CARISSA MACROCARPA 'PROSTRATA' PROSTRATE NATAL PLUM
	CA	CEANOTHUS GLORIOSUS 'ANCHOR BAY' ANCHOR BAY LILAC
	FI	FESTUCA IDAHOENSIS IDAHO FESCUE
	HS	HELICTOTRICHON SEMPERVIRENS BLUE OAT GRASS
	LP	LANTANA MONTEVIDENSIS TRAILING LANTANA

**NOTE TO REVIEWER**

- FOR INFORMATION REGARDING TREES TO BE REMOVED, REFER TO TREE DISPOSITION PLANS ON SHEETS L1.1.
- FOR FULL PLANT SCHEDULE AND ADDITIONAL INFORMATION ON PROPOSED PLANT MATERIAL SEE SHEET L2.2.
- ALL LANDSCAPING SHALL FOLLOW THE NATIONAL INSTITUTE OF CRIME PREVENTION STANDARDS. ALL SHRUBS SHALL BE MAINTAINED AT 2' HT AND TREES SHALL HAVE CANOPIES NO LOWER THAN 6' IN HEIGHT.
- ALL PROPOSED TREES SHALL MEET THE REQUIRED SPACING REQUIREMENTS FROM ELECTRICAL CONDUIT AS SPECIFIED BY SD1235 TREE PLANTING REQUIREMENTS.
- ALL PROPOSED STORMWATER TREATMENT LANDSCAPE SHALL BE FROM THE APPROVED PLANT SPECIES LIST IN APPENDIX D OF SCVURPP C.3 STORMWATER HANDBOOK.

**ALERT TO CONTRACTOR:**

- WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
- ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.



THE USE OF THIS PLAN AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL JOB FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. NO REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PERMITTED WITHOUT THE WRITTEN CONSENT AND VISUAL CONTACT WITH THE ORIGINAL DRAWING. THESE TERMS AND CONDITIONS REMAIN WITH THE ARCHITECT AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.

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11/08/2019	DD SUBMITTAL
02/14/2020	PCC #5

SHEET NAME:  
**LANDSCAPE PLAN**

SHEET NO.:  
**L2.0**



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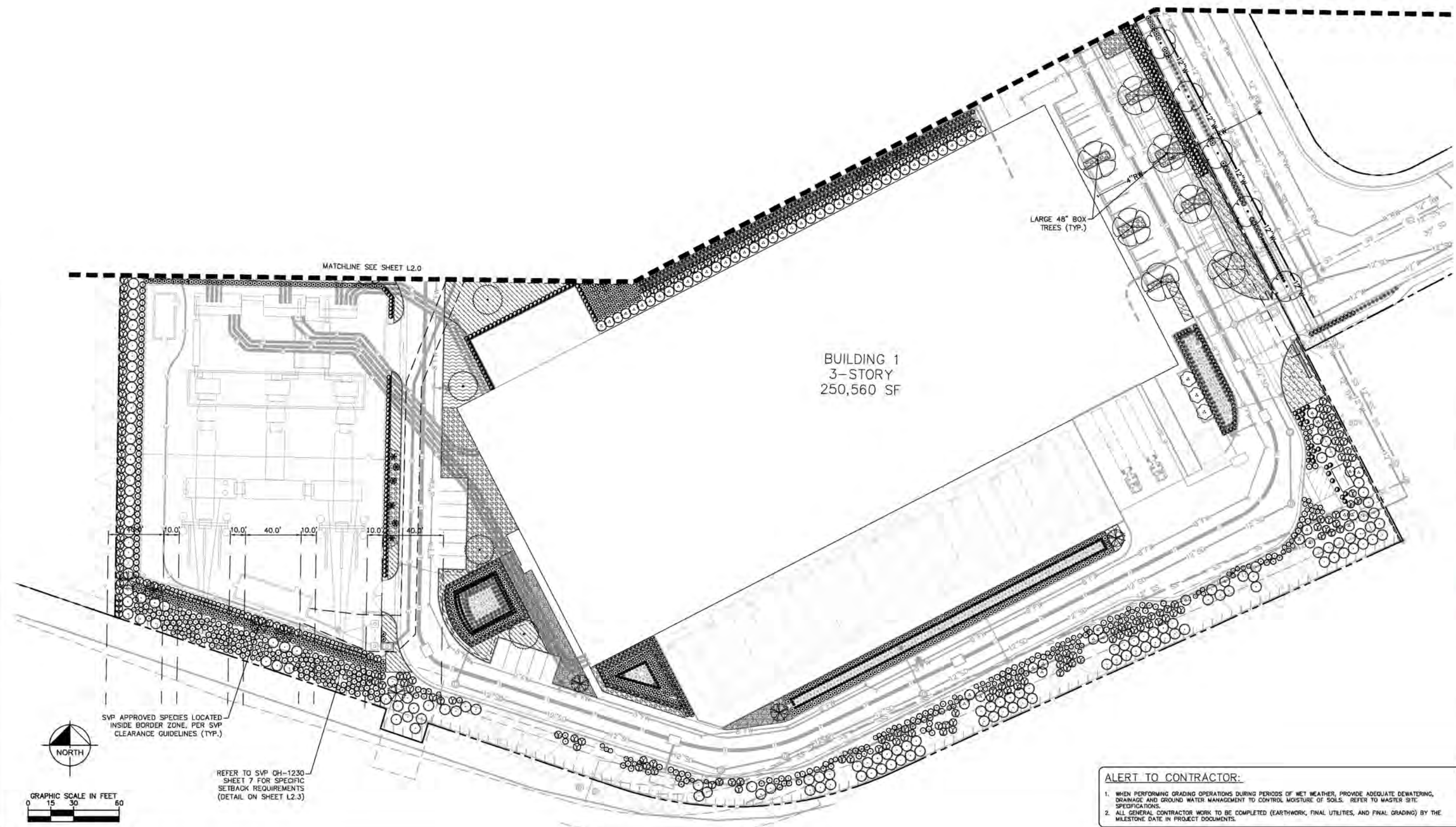
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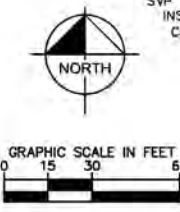
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08/26/2019	PCC #3
10/21/2019	PCC #4
11/08/2019	DD SUBMITTAL
02/14/2020	PCC #5

SHEET NAME:  
**LANDSCAPE PLAN (2)**  
 SHEET NO.: **L2.1**



**ALERT TO CONTRACTOR:**

1. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
2. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.



SVP APPROVED SPECIES LOCATED INSIDE BORDER ZONE, PER SVP CLEARANCE GUIDELINES (TYP.)

REFER TO SVP OH-1230 SHEET 7 FOR SPECIFIC SETBACK REQUIREMENTS (DETAIL ON SHEET L2.3)



CONCEPTUAL LANDSCAPE SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT/SPREAD	CAL.	WUCOLS
	CD	10	CEDRUS DEODARA / DEODAR CEDAR	24" BOX	8'-10' HT. X 4'-5' SPR.	1.5" CAL.	LOW
	CD2	4	CEDRUS DEODARA / DEODAR CEDAR	48" BOX	16'-18' SPR. X 7'-8' SPR.	2.5" CAL.	LOW
	CW	17	CERCIS OCCIDENTALIS / WESTERN REDBUD MULTI-TRUNK	24" BOX	4'-5' HT. X 3'-4' SPR.	1" CAL.	VERY LOW
	GT	11	CLEDITSIA TRIACANTHOS INERMIS / COMMON HONEYLOCUST FRUITLESS VARIETY	24" BOX	9'-11' HT. X 4'-5' SPR.	1.5" CAL.	LOW
	KP	20	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	24" BOX	9'-10' HT. X 3'-4' SPR.	1.5" CAL.	LOW
	KP2	19	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	48" BOX	14'-16' HT. X 7'-8' SPR.	2" CAL.	LOW
	WA	14	WASHINGTONIA FILIFERA / CALIFORNIA FAN PALM	16" B.T.H. MIN.			LOW
EXISTING TREE	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	HEIGHT/SPREAD	CAL.	WUCOLS
	ET	116	EXISTING TREE / TO REMAIN, PROTECT IN PLACE REFERENCE TREE DISPOSITION TABLE FOR ADDITIONAL INFORMATION	-			
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	CAL.	WUCOLS
	AH	127	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' / HOWARD MCMINN MANZANITA	5 GAL.	84" O.C.		LOW
	CT	790	CAREX TUMULICOLA / BERKELEY SEDGE	1 GAL.	18" O.C.		LOW
	CE	132	CHONDROPETALUM ELEPHANTINUM / LARGE CAPE RUSH	5 GAL.	60" O.C.		LOW
	JP	763	JUNCUS PATENS / CALIFORNIA GRAY RUSH	5 GAL.	24" O.C.		LOW
	MS	20	MISCANTHUS SINENSIS 'ADAGIO' / ADAGIO EULALIA GRASS	5 GAL.	36" O.C.		LOW
	MC	893	MUHLENBERGIA CAPILLARIS / PINK MUHLY	1 GAL.	36" O.C.		LOW
	MR	903	MUHLENBERGIA RIGENS / DEER GRASS	1 GAL.	36" O.C.		LOW
	DL	44	OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE	15 GAL.	48" O.C.		LOW
	PN	52	PHORMIUM TENAX 'DUSKY MAIDEN' / DUSKY MAIDEN FLAX	15 GAL.	42" O.C.		LOW
	PC	108	PYRACANTHA COCCINEA / SCARLET PYRACANTHA	15 GAL.	60" O.C.		LOW
	RC	390	RHAMNUS CALIFORNICA / CALIFORNIA COFFEE BERRY	15 GAL.	60" O.C.		LOW
	RE	18	RHAMNUS CALIFORNICA 'EVE CASE' / CALIFORNIA COFFEEBERRY	15 GAL.	48" O.C.		LOW
	RM	563	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO' / CALIFORNIA COFFEEBERRY	5 GAL.	36" O.C.		LOW
	RI	189	RHUS INTEGRIFOLIA / LEMONADE BERRY	15 GAL.	84" O.C.		LOW
	RV	285	RIBES VIBURNIFOLIUM / EVERGREEN CURRANT	5 GAL.	48" O.C.		LOW
	WF	394	WESTRINGIA FRUTICOSA / DWARF COAST ROSEMARY	15 GAL.	36" O.C.		LOW
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	CAL.	WUCOLS
	AMZ	1,771	ARCTOSTAPHYLOS X 'EMERALD CARPET' / EMERALD CARPET MANZANITA	5 GAL.	48" O.C.		LOW
	BB	670	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA	5 GAL.	24" O.C.		LOW
	CG	149	CARISSA MACROCARPA 'GREEN CARPET' / GREEN CARPET NATAL PLUM	5 GAL.	36" O.C.		LOW
	CP	1,003	CARISSA MACROCARPA 'PROSTRATA' / PROSTRATE NATAL PLUM	5 GAL.	36" O.C.		LOW
	CA	437	CEANOTHUS GLORIOSUS 'ANCHOR BAY' / ANCHOR BAY LILAC	5 GAL.	36" O.C.		LOW
	FI	35	FESTUCA IDAHOENSIS / IDAHO FESCUE	1 GAL.	24" O.C.		LOW
	HS	496	HELIOTRICHON SEMPERVIRENS / BLUE OAT GRASS	5 GAL.	24" O.C.		LOW
	LP	119	LANTANA MONTEVIDENSIS / TRAILING LANTANA	5 GAL.	36" O.C.		LOW

LANDSCAPE NOTES

- THE SELECTION OF PLANT MATERIAL IS BASED ON CLIMATIC, AESTHETIC, AND MAINTENANCE CONSIDERATIONS.
- GROUND COVER SHALL BE PLANTED AT A MAX SPACING OF 12" ON CENTER TO RESULT IN MAX COVERAGE WITHIN ONE YEAR OF INITIAL PLANTING.
- ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE.
- GROUNDCOVERS OR ORGANIC SHREDDED BARK MULCH SHALL FILL IN BETWEEN SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION, AND RUN-OFF.
- ALL SHRUB BEDS SHALL BE MULCHED WITH ORGANIC SHREDDED BARK MULCH TO A 3" MINIMUM DEPTH TO HELP CONSERVE WATER, LOWER SOIL TEMPERATURE, AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS.
- ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE GUIDELINES SET FORTH BY THE CITY OF SANTA CLARA AND COUNTY OF SANTA CLARA.
- ALL VEGETATION SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE OR INJURY FROM LACK OF WATER, EXCESS CHEMICAL FERTILIZER OR OTHER TOXIC CHEMICAL, BLIGHT OR DISEASE. ANY VEGETATION WHICH SHOWS SIGNS OF SUCH DAMAGE OR INJURY AT ANY TIME SHALL BE REPLACED BY THE SAME, SIMILAR, OR SUBSTITUTE VEGETATION OF A SIZE, FORM, AND CHARACTER WHICH WILL BE COMPARABLE AT FULL GROWTH.
- ANY COMPACTED SOILS IN PLANTING AREAS SHALL BE RETURNED TO A "FRIABLE" CONDITIONS PRIOR TO THE INSTALLATION OF PLANT MATERIALS. FRIABLE CONDITION IS DEFINED AS AN EASILY CRUMBLED OR LOOSELY COMPACTED CONDITION WHEREBY THE ROOT STRUCTURE OF NEWLY PLANTED MATERIAL WILL BE ALLOWED TO SPREAD UNIMPEDED.
- APPROXIMATE PLANT QUANTITIES ARE PROVIDED IN THE LEGEND FOR CONVENIENCE ONLY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE CORRECT QUANTITY OF PLANT MATERIAL REGARDLESS OF THE QUANTITIES INDICATED IN THE LEGEND.
- PROVIDE WEED CONTROL PER SPECIFICATIONS.
- PROVIDE AGRICULTURAL SUITABILITY AND FERTILITY TESTS. LANDSCAPE CONTRACTOR SHALL INCORPORATE ALL SOILS LAB RECOMMENDATIONS. FOR BIDDING PURPOSES, ASSUME THE FOLLOWING:  
AMEND TOPSOIL TO 6" DEPTH WITH:  
A.) 4 CUBIC YARDS NITROGENIZED SOIL AMENDMENT  
B.) 15 LBS. 6-20-20 COMMERCIAL FERTILIZER  
C.) 15 LBS. AGRICULTURAL GYPSUM  
D.) 10 LBS. GRO POWER PLUS SOIL CONDITIONER OR APPROVED EQUAL  
PREPARE ALL BACKFILL SOIL AS RECOMMENDED BUT NO LESS PER CUBIC YARD THAN AS FOLLOWS:  
A.) 6-20-20 FERTILIZER  
B.) 4/5 CUBIC YARD SCREENED TOPSOIL  
C.) 1/5 CUBIC YARD NITROGENIZED SOIL AMENDMENT  
D.) 1 LBS ORGANIC GYPSUM  
E.) 2 LBS GRO POWER PLUS SOIL CONDITIONER OR APPROVED EQUAL
- FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL AND IRRIGATION SYSTEMS PROPOSED AND EXISTING-TO-REMAIN FOR A PERIOD OF 90-DAYS AFTER COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE EXISTING AND PROPOSED PLANT MATERIAL FOR A ONE-YEAR PERIOD STARTING AT FINAL ACCEPTANCE OF THE IMPROVEMENTS. DURING THIS PERIOD THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY DEAD OR IN-DECLINE PLANT MATERIAL OR DAMAGED IRRIGATION COMPONENTS IN-KIND.  
  
I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE CONCEPT DESIGN.

*Matthew J. Morgan*  
MATTHEW J. MORGAN, PLA 6256

CITY OF SANTA CLARA MUNICIPAL CODE	REQUIRED	PROVIDED
ZONE: LIGHT INDUSTRIAL		
TOTAL SITE AREA: 521,798 SF (11.98 ACRES)		
TOTAL LANDSCAPE AREA: 129,516 SF (2.97 ACRES)		
TOTAL BUILDING PAD AREA: 155,102 SF (3.56 ACRES)		
TOTAL VUA (VEHICULAR USE AREA): 116,697 (2.63 ACRES)		
DEVELOPMENT CRITERIA - LANDSCAPE PROVISIONS		
TOTAL LANDSCAPE AREA COVERAGE	10% (OF TOTAL VUA AREA SPREAD EVENLY ACROSS VUA AND BUILDING FRONTAGE) 208,374 SF X 0.10 = 20,837 SF LANDSCAPE AREA	129,516 SF LANDSCAPE AREA
TREE MITIGATION	47 TREES REMOVED REPLACE AT: 2.1 MIN. 24" BOX SIZE, OR 1.1 MIN. 48" BOX SIZE	REPLACED WITH: 58 TREES 24" BOX SIZE (REPLACES 29 TREES) 23 TREES 48" BOX SIZE (REPLACES 23 TREES) SURPLUS OF 11 TREES 24" BOX SIZE
DEVELOPMENT CRITERIA - VEHICULAR USE AREA (VUA)		
PARKING LOT SCREENING	30" HEIGHT MINIMUM LANDSCAPED BERM	LIMITED AREA FOR GRADING WITHIN THE BUILDING FOOTPRINT. A DENSIC LANDSCAPE SCREEN OF 24" HEIGHT MINIMUM WILL PROVIDE A BUFFER FROM THE STREET (OPTED REQUIRES MAX 24" HEIGHT SHRUBS)



THE USE OF THIS PLANS AND SPECIFICATIONS IS RESTRICTED TO THE ORIGINAL JOB FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT AND VISUAL CONTACT WITH THEM CONSTITUTES PRIMA FACIE EVIDENCE OF THEIR ACCEPTANCE OF THESE RESTRICTIONS.

**Kimley»Horn**  
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WWW.KIMLEY-HORN.COM



**EDGECORE**  
INTERNET REAL ESTATE  
2201 LAURELWOOD ROAD,  
SANTA CLARA, CA 95054

JOB NO.:	094861004
PRINT DATE:	02/14/2020
DESIGNED BY:	CC
CHECKED BY:	MM
SET ISSUED:	
06/14/2019	PCC #2
08/26/2019	PCC #3
10/21/2019	PCC #4
11/06/2019	DD SUBMITTAL
02/14/2020	PCC #5

SHEET NAME:  
**LANDSCAPE NOTES**  
SHEET NO.: **L2.2**



**Clearances Under and Near Transmission Overhead Lines**

**Wire Zone Transmission**

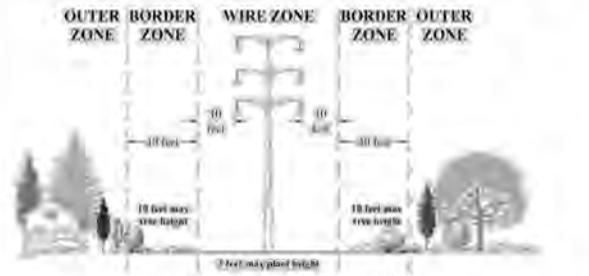
The Wire Zone under Transmission lines extends 10 feet out from conductors. Maximum vegetation height in this zone is 3 feet. In general, tree planting within the "wire zone" is not recommended by SVP, and should be avoided. Most SVP easements do not allow planting of trees within the easement area. If plantings are selected, it is important to recognize that removal may become necessary to ensure safe and reliable electric service, and also maintain compliance with Federal and State Laws.

**Border Zone Transmission**

The Border Zone extends 40 feet out from the Wire Zone (see above). Maximum vegetation height in this zone is 10 feet. Tree planting selections within the "border zone" should recognize proximity of utilities in relation to tree height, root structure and canopy width upon maturity. If tree plantings are selected, it is important to recognize that removal may eventually become necessary to ensure safe and reliable electric service, and also maintain compliance with Federal and State Laws. Planting trees that will become tall enough to target or "fall into" the power lines should always be avoided in this zone.

**Outer Zone Transmission**

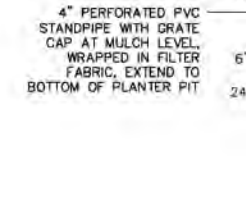
The Outer Zone begins 50 feet out from conductors. There is no stated maximum tree height in this zone, but failure of trees with the ability to reach energized conductors (utility wires) is of primary concern. Eventual topping or removal may be required to ensure safe and reliable electric service, and also maintain compliance with Federal and State Laws.



Dr. A. Biss	Tree Clearances From Overhead Electric Lines	Drawn By: AA
Approved: 07/09 August 2018	Station Valley Home	SHEET 7 OF 8
		OH 1230
		Rev. 1

**B TREE CLEARANCES FROM OVERHEAD ELECTRIC LINES**

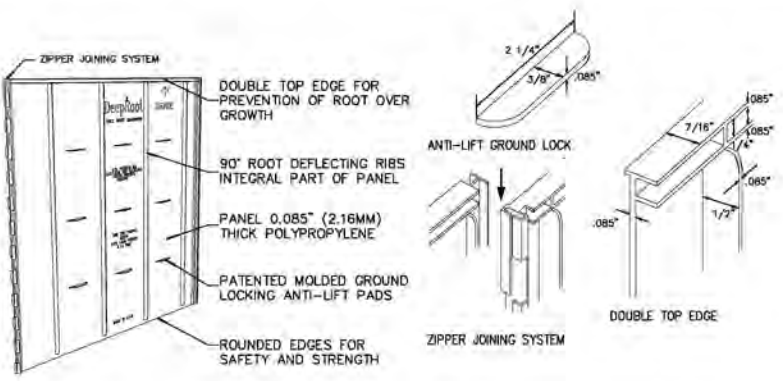
- NOTES:**
1. REFERENCE PLANTING SPECIFICATIONS/SPECIAL PROVISIONS FOR ADDITIONAL INFORMATION. TRIPLE STAKE ALL TREES #36" BOX SIZE AND LARGER.
  2. LOCATE ALL STAKES OUTSIDE OF ROOTBALL. DO NOT DRIVE STAKES INTO ROOTBALL. STAKE MUST BE DRIVEN MIN. 24" INTO NATIVE SOIL AT BOTTOM OF PLANTING PIT.
  3. REMOVE ANYTHING (IE BURLAP, WIRES, STRAPS, ETC.) THAT COULD GIRLIE TREE OR RESTRICT TREE GROWTH.



**E 36" AND LARGER BOX TREE PLANTING**

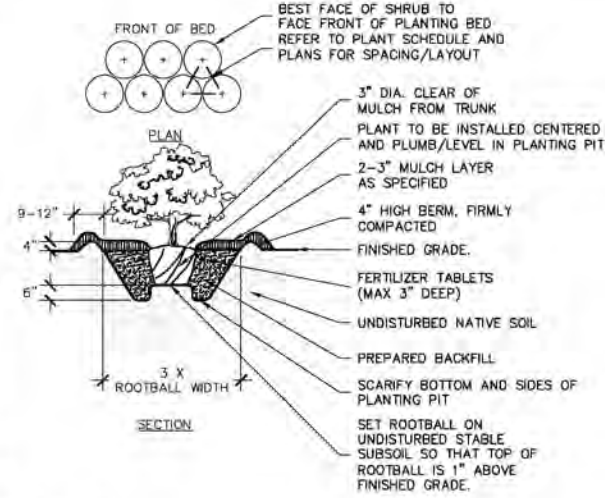
SPECIFIED TREE ROOT BARRIERS ARE A MECHANICAL BARRIER AND ROOT DEFLECTOR TO PREVENT TREE ROOTS FROM DAMAGING HARDSCAPES AND LANDSCAPES. ASSEMBLED IN 2' LONG MODULES LINEAR APPLICATIONS DIRECTLY BESIDE A HARDSCAPE ADJACENT TO ONE SIDE OF THE TREES (LINEAR PLANTING STYLE).

- A. MATERIALS**
1. THE CONTRACTOR SHALL FURNISH AND INSTALL TREE ROOT BARRIERS AS SPECIFIED. THE TREE ROOT BARRIERS SHALL BE PRODUCT # UB 48-2 AS MANUFACTURED BY DEEP ROOT PARTNERS, L.P. 530 WASHINGTON STREET, SAN FRANCISCO, CA 94111 (800-458-7668), OR APPROVED EQUAL. THE BARRIER SHALL BE BLACK, INJECTION MOLDED PANELS, OF 0.085" WALL THICKNESS IN MODULES 24" LONG BY 48" DEEP; MANUFACTURED WITH A MINIMUM 50% POST CONSUMER RECYCLED POLYPROPYLENE PLASTIC WITH ADDED ULTRAVIOLET INHIBITORS. RECYCLABLE. EACH PANEL SHALL HAVE:
- B. CONSTRUCTION AND INSTALLATION**
1. THE CONTRACTOR SHALL INSTALL THE TREE ROOT BARRIERS WITH THE REQUIRED NUMBER OF PANELS FOR THE LENGTH SHOWN AND IN THE MANNER SHOWN ON THE DRAWINGS. ROOT BARRIER SHALL EXTEND 10' IN EACH DIRECTION FROM THE TRUNK OF THE TREE. VERTICAL ROOT DEFLECTING RIBS SHALL BE FACING INWARDS TO THE ROOT BALL AND THE TOP OF THE DOUBLE EDGE SHALL BE 1/2" ABOVE GRADE. EACH OF THE REQUIRED NUMBER OF PANELS SHALL BE CONNECTED IN A LINEAR FASHION AND PLACED ALONG THE ADJACENT HARDSCAPE.
  2. EXCAVATION AND SOIL PREPARATION SHALL CONFORM TO THE DRAWINGS.
  3. THE TREE ROOT BARRIERS SHALL BE BACKFILLED ON THE OUTSIDE WITH 3/4" TO 1 1/2" GRAVEL OR CRUSHED ROCK AS SHOWN ON THE DRAWINGS. NO GRAVEL BACKFILL IS REQUIRED FOR A LINEAR PLANTING.

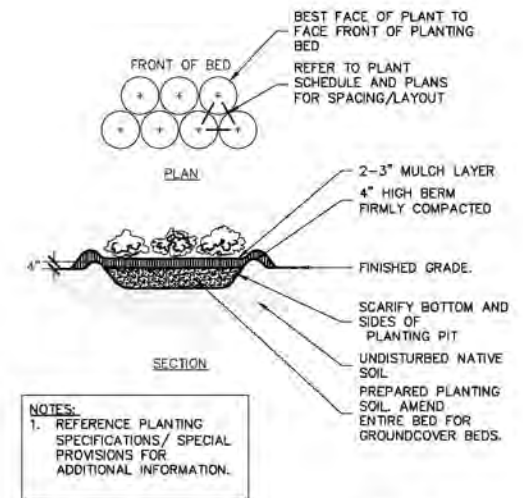


**A 24" DEEP ROOT TREE BARRIER**

- NOTES:**
1. REFERENCE PLANTING SPECIFICATIONS/SPECIAL PROVISIONS FOR ADDITIONAL INFORMATION.
  2. WHEN SHRUBS MASSED WITH GROUNDCOVER BEDS, ENTIRE BED TO BE AMENDED.
  3. WHEN SHRUBS ARE USED IN MASSES, PRUNE ALL SHRUBS TO ACHIEVE UNIFORM MASS/HEIGHT.

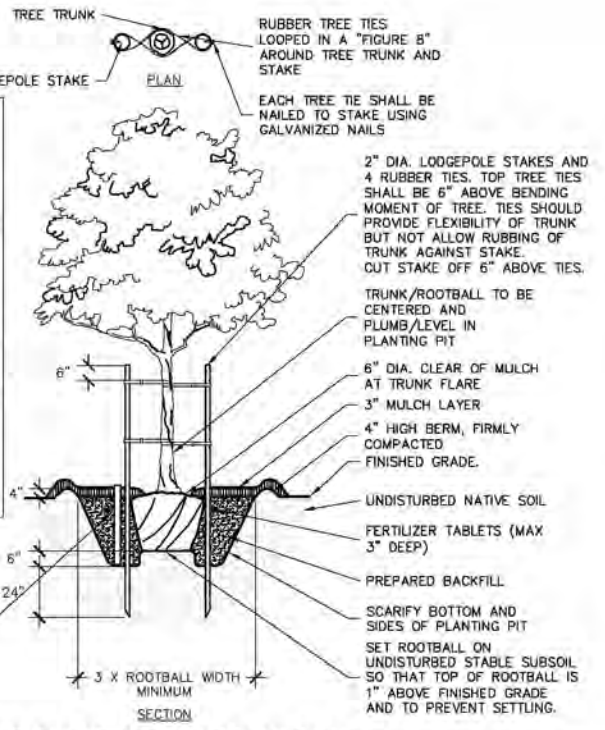


**C TYPICAL SHRUB PLANTING**

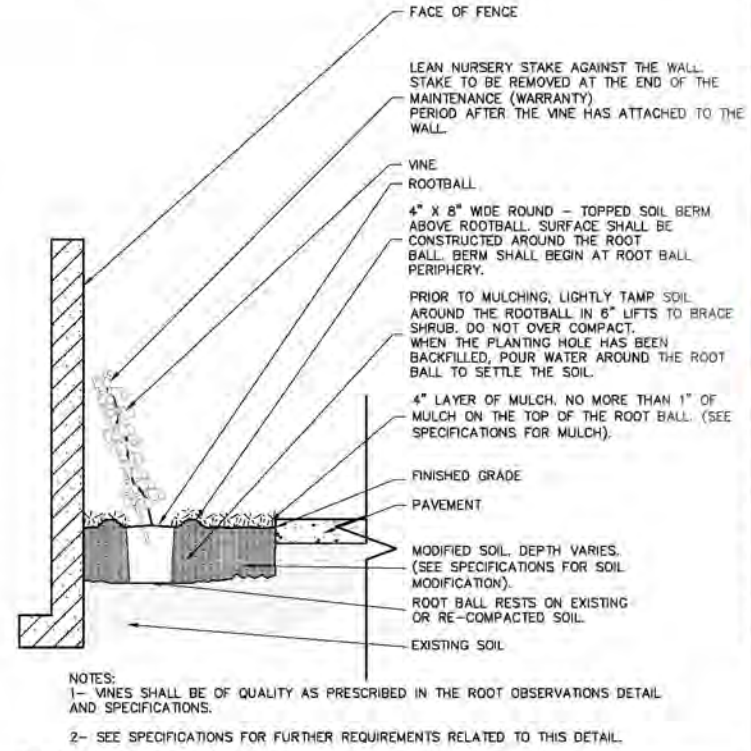


**D TYPICAL GROUNDCOVER PLANTING**

- NOTES:**
1. REFERENCE PLANTING NOTES FOR ADDITIONAL INFORMATION.
  2. DOUBLE STAKE ALL TREES #15 (15 GAL.) SIZE AND LARGER.
  3. FOR SINGLE STAKED TREES, PLACE STAKE ON WINDWARD SIDE OF TREE.
  4. FOR DOUBLE STAKED TREES, PLACE STAKES PERPENDICULAR TO WINDWARD SIDE OF TREE.
  5. LOCATE ALL STAKES OUTSIDE OF ROOTBALL. DO NOT DRIVE STAKES INTO ROOTBALL. STAKE SHALL BE DRIVEN MIN. 24" INTO NATIVE SOIL AT BOTTOM OF PLANTING PIT.
  6. REMOVE ANYTHING (IE BURLAP, WIRES, STRAPS, ETC.) THAT COULD GIRLIE TREE OR RESTRICT TREE GROWTH.



**F TYPICAL TREE PLANTING (UP TO 24" BOX)**



**G VINE PLANTING**



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**EDGECORE**  
 INTERNET REAL ESTATE  
 2201 LAURELWOOD ROAD,  
 SANTA CLARA, CA 95054

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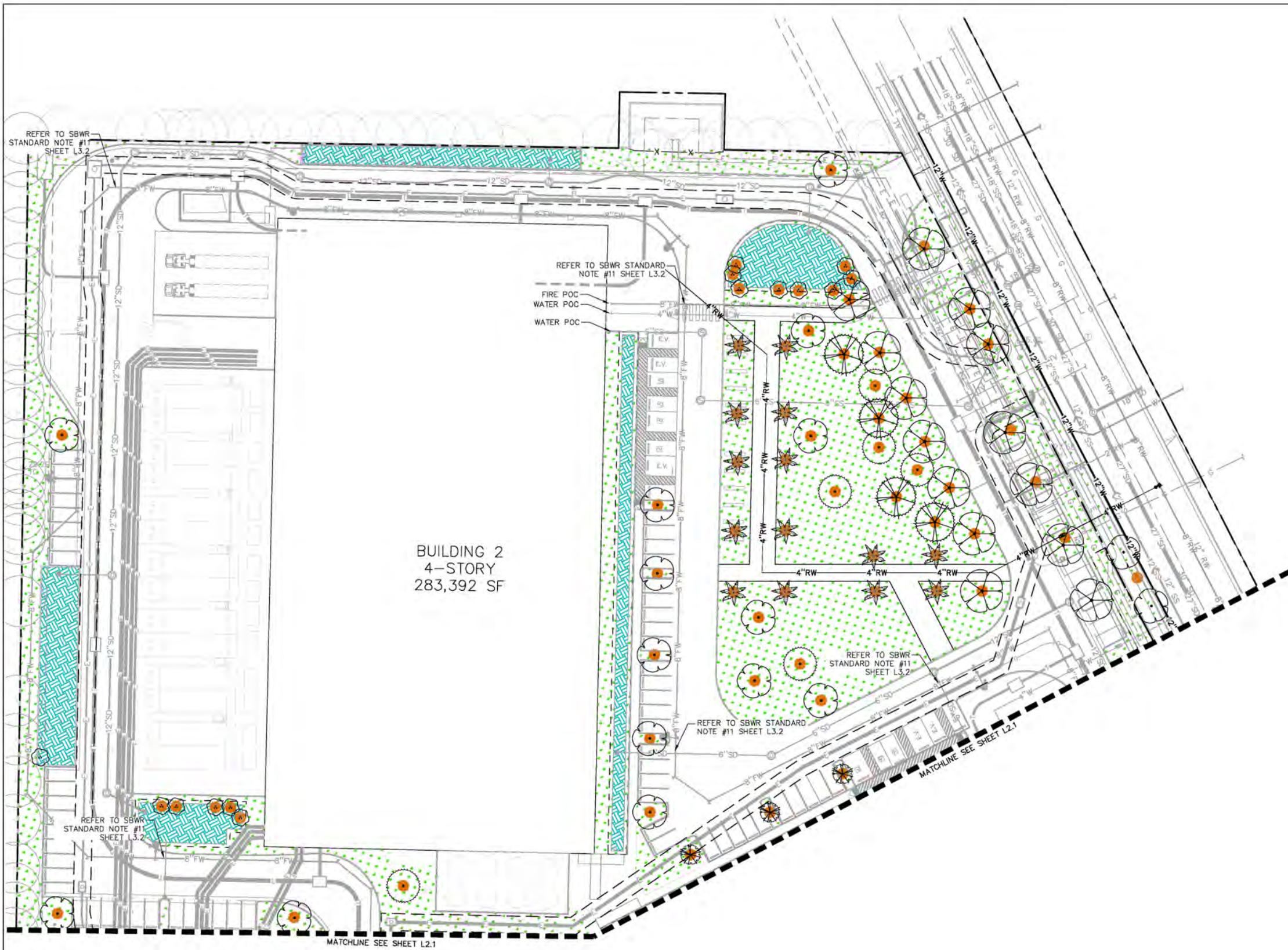
**LANDSCAPE DETAILS**

SHEET NO. **L2.3**

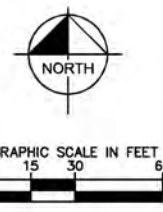
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BUILDING 2  
4-STORY  
283,392 SF



**NOTE TO REVIEWER**

1. REFERENCE SHEET L3.2 FOR PRELIMINARY IRRIGATION WATER USE CALCULATIONS.

**ALERT TO CONTRACTOR:**

1. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
2. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

<b>SWRCB DIVISION OF DRINKING WATER</b>	
APPROVED BY _____	DATE _____

<b>CITY OF SANTA CLARA</b>	
APPROVED BY _____	DATE _____



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**EDGECORE**  
INTERNET REAL ESTATE

2201 LAURELWOOD ROAD,  
SANTA CLARA, CA 95054

A.P.N.: 104-39-023

JOB NO.:	094861004
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11/08/2019	DD SUBMITTAL
02/14/2020	PCC #5

SHEET NAME:  
**PRELIMINARY IRRIGATION PLAN**

SHEET NO.: **L3.0**



**ALERT TO CONTRACTOR:**

1. WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
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1. REFERENCE SHEET L3.2 FOR PRELIMINARY IRRIGATION WATER USE CALCULATIONS.



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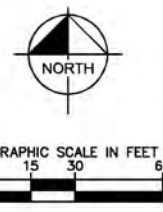
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11/08/2019	DD SUBMITTAL
02/14/2020	PCC #5

SHEET NAME:  
**PRELIMINARY IRRIGATION PLAN**

SHEET NO.: **L3.1**

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<b>SWRCB DIVISION OF DRINKING WATER</b>	
APPROVED BY _____	DATE _____
<b>CITY OF SANTA CLARA</b>	
APPROVED BY _____	DATE _____



**GENERAL IRRIGATION NOTES**

- THE CONTRACTOR SHALL REVIEW RELATED DRAWINGS AND SHALL ENSURE COORDINATION WITH ALL APPLICABLE TRADES PRIOR TO SUBMITTING BID.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND STANDARD UNIFORM BUILDING CODE AND ORDINANCES BY LICENSED CONTRACTORS AND EXPERIENCED WORKMEN. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND FEES RELATING TO THIS WORK.
- THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES. PARALLEL PIPES MAY BE INSTALLED IN COMMON TRENCH. PIPES ARE NOT TO BE INSTALLED DIRECTLY ABOVE ONE ANOTHER.
- DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE, IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, ETC. HE SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING STRUCTURES, ETC. CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO THE EXCAVATION OF TRENCHES. CONTRACTOR IS TO REPAIR ANY DAMAGE CAUSED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER.
- DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF THEIR WORK AND PLAN THEIR WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETC., AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THE WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEMS, PLANTING, AND ARCHITECTURAL FEATURES.
- CONTRACTOR SHALL INSTALL ALL OVERHEAD IRRIGATION EQUIPMENT 24" OFF THE ADJACENT LANDSCAPE PLACES. REFER TO LANDSCAPE PLANS FOR NOTES REGARDING PLACEMENT OF SHRUBS AND GROUNDCOVERS WITHIN AREAS TO BE IRRIGATED BY OVERHEAD IRRIGATION.
- CONTRACTOR SHALL COORDINATE WITH OWNER TO LOCATE THE PROPOSED CONTROLLER AND WEATHER SENSOR.
- REMOTE CONTROL VALVES SHALL BE WIRED TO PROPOSED CONTROLLER AND CONTINUE THE EXISTING SEQUENCE. RUN WIRE FROM EACH RCV TO THE CONTROLLER. SPLICING WIRES TOGETHER OUTSIDE OF VALVE BOXES WILL NOT BE PERMITTED.
- SPLICING OF 24-VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. LEAVE A 36" COIL OF EXCESS WIRE AT EACH SPLICE AND 100 FEET ON CENTER ALONG WIRE RUN. TAPE WIRE IN BUNDLES 10 FEET ON CENTER. NO TAPING PERMITTED INSIDE SLEEVES.
- INSTALL TWO (2) SPARE CONTROL WIRES ALONG THE ENTIRE MAIN LINE. SPARE WIRES SHALL BE THE SAME COLOR (ONE WITH A WHITE STRIPE) AND OF A DIFFERENT COLOR THAN OTHER CONTROL WIRES. LOOP 36" EXCESS WIRE INTO EACH SINGLE VALVE BOX AND INTO ONE VALVE BOX IN EACH GROUP OF VALVES.
- INSTALL GATE VALVE BOXES MINIMUM 12" FROM AND PERPENDICULAR TO WALK, CURB, LAWN, BUILDING OR LANDSCAPE FEATURE.
- THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL IRRIGATION EQUIPMENT FOR OPTIMUM PERFORMANCE. ALL MAIN LINES SHALL BE FLUSHED PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. AT 30 DAYS AFTER INSTALLATION EACH SYSTEM SHALL BE FLUSHED TO ELIMINATE GLUE AND DIRT PARTICLES FROM THE LINES.
- NOTIFY ENGINEER OF ANY ASPECTS OF LAYOUT THAT WILL PROVIDE INCOMPLETE OR INSUFFICIENT WATER COVERAGE OF PLANT MATERIAL AND DO NOT PROCEED UNTIL HIS INSTRUCTIONS ARE OBTAINED.
- IN ADDITION TO THE SLEEVES AND CONDUITS SHOWN ON THE DRAWINGS, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF IRRIGATION SLEEVES (2) TIMES THE SIZE OF THE PIPE IT IS SERVING AND CONDUITS OF SUFFICIENT SIZE UNDER ALL PAVED AREAS.
- ALL EXCAVATIONS ARE TO BE FILLED WITH COMPACTED BACKFILL. CONTRACTOR TO REPAIR ALL SETTLED TRENCHES PROMPTLY, FOR A PERIOD OF 90 DAYS AFTER COMPLETION OF WORK. ADDITIONALLY, CONTRACTOR SHALL WARRANT THAT THE IRRIGATION SYSTEM WILL BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF WORK.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE OF 65 PSI. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- PRIOR TO TRENCHING, CALL UNDERGROUND SERVICE ALERT.
- ALL IMPROVEMENTS TO BE MAINTAINED BY THE PROPERTY OWNER.
- ALL MAINLINE SHALL BE PRESSURE TESTED FOR 3 HOURS AT 150 PSI PRIOR TO BACKFILL.
- PRESSURE REGULATING DEVICES AREA REQUIRED IF WATER PRESSURE IS BELOW OR EXCEEDS THE RECOMMENDED PRESSURE OF THE SPECIFIED IRRIGATION DEVICES.
- CHECK VALVES AND ANTI-DRAIN VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW POINT DRAINAGE COULD OCCUR.
- A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE PROVIDED BY THE CONTRACTOR AND KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT.
- AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED AT THE TIME OF FINAL INSPECTION.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
- UNLESS CONTRADICTED BY A SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL.

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AB1881 AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

*Matthew J. Morgan*  
MATTHEW J. MORGAN, LLA 6256

**CITY OF SANTA CLARA-SOUTH BAY WATER RECYCLING (SBWR) STANDARD NOTES FOR ON-SITE RECYCLED WATER IRRIGATION SYSTEMS:**

- PRIOR TO RECEIVING RECYCLED WATER, THE SITE MUST BE PERMITTED BY SOUTH BAY WATER RECYCLING (SBWR). A PERMIT WILL BE GRANTED AFTER:
  - INSPECTION BY CITY OF SANTA CLARA WATER UTILITIES HAS BEEN COMPLETED SHOWING CONFORMANCE WITH SBWR RULES AND REGULATIONS.
  - A FINAL ON-SITE INSPECTION HAS BEEN CONDUCTED TO CONFIRM THAT ALL REQUIREMENTS HAVE BEEN MET.
  - SITE HAS PASSED REQUIRED CROSS-CONNECTION TEST PERFORMED BY A CERTIFIED AWWA CROSS-CONNECTION SPECIALIST. CONTACT CITY AT (408) 815-2000 TO SCHEDULE TEST.
- THE OWNER OR TENANT'S REPRESENTATIVE MUST ALSO COMPLETE A SITE SUPERVISOR TRAINING CLASS OFFERED BY SBWR IN ORDER TO RECEIVE A RECYCLED WATER PERMIT.  
CONTACT SBWR AT (408) 277-3871 FOR FURTHER INFORMATION.
- ALL WORK SHALL CONFORM TO EXISTING REGULATIONS INCLUDING BUT NOT LIMITED TO:
  - CITY OF SANTA CLARA STANDARDS
  - SOUTH BAY WATER RECYCLING (SBWR) RULES AND REGULATIONS
  - STATE WATER RESOURCES CONTROL BOARD, DIVISION OF DRINKING WATER
  - UNIFORM PLUMBING CODE
- CHANGES MADE TO THE APPROVED IRRIGATION PLANS SHALL BE SUBMITTED TO CITY FOR REVIEW AND APPROVAL AT LEAST 2 WEEKS PRIOR TO START OF CONSTRUCTION.
- AT LEAST TWO DAYS PRIOR TO START OF CONSTRUCTION, CONTRACTOR AND CITY OF SANTA CLARA WATER UTILITIES INSPECTOR SHALL HOLD A PRE-CONSTRUCTION MEETING TO SCHEDULE MEETING. CONTACT CITY OF SANTA CLARA WATER UTILITIES (408) 815-2000.
- NOTIFY INSPECTOR A MINIMUM OF AT LEAST 24 HRS BEFORE WORK BEGINS. INSPECTOR MUST INSPECT AND/OR VERIFY:
  - PRESENCE OF PROPER BACKFLOW PREVENTION AT ALL POTABLE POINTS OF CONNECTION.
  - NEW UNDERGROUND PIPING (LABELING, CLEARANCES, BURIAL DEPTH, SLEEVING).
  - INSTALLATION OF SIGNS, TAGS AND CONTROLLER/DEGALS.
  - REQUIRED TEMPORARY CONNECTION TO POTABLE WATER SERVICE. IN MOST CASES, THE SITE'S IRRIGATION SYSTEM MUST BE CONNECTED TO A TEMPORARY SOURCE OF POTABLE WATER IN ORDER TO CONDUCT REQUIRED CROSS-CONNECTION TEST.
  - SITE PASSED REQUIRED CROSS-CONNECTION TEST PERFORMED BY A CERTIFIED AWWA CROSS-CONNECTION SPECIALIST.
  - NEW METER INSTALLATION - PRIOR TO RECEIVING RECYCLED WATER, INSPECTOR MUST INSPECT THE DISCONNECTION OF THE SITE'S IRRIGATION SYSTEM FROM THE TEMPORARY POTABLE WATER SUPPLY, AND THEN INSPECT THE CONNECTION OF THE SYSTEM TO THE RECYCLED WATER METER.
- NO CROSS-CONNECTIONS BETWEEN THE POTABLE AND RECYCLED WATER SYSTEMS ARE PERMITTED.
- ALL ON-SITE BURIED RECYCLED WATER PIPING SHALL BE IDENTIFIED BY ONE OF THE FOLLOWING METHODS:
  - USING PURPLE-COLORED PVC PIPE WITH CONTINUOUS WRAPPING ("CAUTION - RECYCLED WATER" PRINTED ON PURPLE-COLORED SIDES OF THE PIPE. PIPE SHALL BE Laid WITH WRAPPING FACING UPWARDS).
  - WRAPPING TAPE WITH A MINIMUM WIDTH OF 3 INCHES READING: "CAUTION - RECYCLED WATER" IN BLACK OR WHITE LETTERING ON PURPLE BACKGROUND SHALL RUN CONTINUOUSLY ON TOP OF PIPING AND SHALL BE ATTACHED TO PIPING WITH PLASTIC TIE SANGS AROUND THE WRAPPING TAPE AND THE PIPE EVERY 5 FEET ON CENTER.
  - BLUE-COLORED PVC PIPE SHALL NOT BE USED UNLESS THE BLUE COLOR IS COMPLETELY OBTUSCURED BY ENCASEMENT OF THE PIPE WITH PURPLE POLYETHYLENE WRAP OR OTHER METHOD APPROVED BY SBWR.
- PVC PIPE, CONSTANT-PRESSURE MAINLINE PIPING 1 1/2 INCHES AND SMALLER SHALL BE SCHEDULE 40; CONSTANT-PRESSURE MAINLINE PIPING 2 INCHES AND LARGER SHALL BE CLASS 315 OR C900 CLASS 200 OR 14; INTERMITTENT-PRESSURE LATERAL PIPING SHALL BE SCHEDULE 40 OR CLASS 200. COPPER PIPE SHALL BE TYPE "K".
- ALL ON-SITE RECYCLED WATER PIPING SHALL BE BURIED TO A MINIMUM DEPTH FROM FINISHED GRADE TO TOP OF PIPE (MINIMUM COVER) OF:
  - PRESSURIZED LINES 3 INCHES AND LARGER 24 INCHES
  - PRESSURIZED LINES 2 INCHES AND SMALLER 18 INCHES
  - INTERMITTENT-PRESSURE LINES 12 INCHES
- ALL RECYCLED WATER PIPING OTHER THAN PVC PIPING WITH SOLVENT WELDED JOINTS SHALL BE PROTECTED AGAINST MOVEMENT WITH THRUST BLOCKS OR RESTRAINED JOINTS OR OTHER APPROVED METHOD PER SBWR DETAILS.

LANDSCAPE DATA TABLE		
CITY OF SANTA CLARA MUNICIPAL CODE	REQUIRED	PROVIDED
CITY OF SANTA CLARA MUNICIPAL CODE		
ZONE LIGHT INDUSTRIAL		
TOTAL SITE AREA: 521,796 SF (11.88 ACRES)		
TOTAL LANDSCAPE AREA: 129,516 SF (2.97 ACRES)		
TOTAL BUILDING PAD AREA: 155,182 SF (3.56 ACRES)		
TOTAL VUA (VEHICULAR USE AREA): 119,867 (2.83 ACRES)		
DEVELOPMENT CRITERIA - LANDSCAPE PROVISIONS		
TOTAL LANDSCAPE AREA COVERAGE	10% (OF TOTAL VUA AREA SPREAD EVENLY ACROSS VUA AND BUILDING FRONTAGE) 205,374 SF X 0.10 = 20,537 SF LANDSCAPE AREA	129,516 SF LANDSCAPE AREA
TREE MITIGATION	47 TREES REMOVED REPLACE AT 2:1 MIN. 24" BOX SIZE, OR 1:1 MIN. 48" BOX SIZE	REPLACED WITH: 58 TREES 24" BOX SIZE (REPLACES 28 TREES) 23 TREES 48" BOX SIZE (REPLACES 23 TREES) SURPLUS OF 11 TREES 24" BOX SIZE
DEVELOPMENT CRITERIA - VEHICULAR USE AREA (VUA)		
PARKING LOT SCREENING	30' HEIGHT MINIMUM LANDSCAPED BERM	LIMITED AREA FOR GRADING WITHIN THE BUILDING FRONTAGE. A DENSE LANDSCAPE SCREEN OF 24" HEIGHT MINIMUM WILL PROVIDE A BUFFER FROM THE STREET (OPTED REQUIRES MAX 24" HEIGHT SHRUBS)

**CITY OF SANTA CLARA-SOUTH BAY WATER RECYCLING (SBWR) STANDARD NOTES FOR ON-SITE RECYCLED WATER IRRIGATION SYSTEMS:**

- MAINTAIN A 10-FOOT HORIZONTAL SEPARATION BETWEEN BURIED PRESSURIZED RECYCLED WATER IRRIGATION PIPING AND BURIED POTABLE WATER PIPING UNLESS OTHERWISE NOTED. AT PIPE CROSSINGS, BURIED PRESSURIZED RECYCLED WATER IRRIGATION PIPING MUST BE 13 INCHES BELOW POTABLE WATER LINES. PRESSURIZED RECYCLED WATER PIPELINES ARE ALLOWED OVER POTABLE WATER PIPELINES WITH A MINIMUM OF 12 INCHES VERTICAL SEPARATION IF A FULL STANDARD PIPE LENGTH IS CENTERED OVER THE CROSSING OR THE RECYCLED WATER PIPELINE IS INSTALLED IN A PIPE SLEEVE WHICH EXTENDS A MINIMUM OF 10 FEET ON EITHER SIDE OF THE POTABLE WATER PIPING. INTERMITTENTLY PRESSURIZED IRRIGATION LATERALS MAY BE LOCATED A MINIMUM OF 12 INCHES ABOVE POTABLE WATER PIPELINES WITHOUT SLEEVING.
- ALL RECYCLED WATER SYSTEM REMOTE CONTROL VALVES, ISOLATION VALVES, QUICK COUPLING VALVES, STRAINERS, AND PRESSURE REDUCING VALVES SHALL BE INSTALLED BELOW GRADE IN VALVE BOXES (GREEN, BLACK, OR PURPLE-COLORED BOXES AND LIDS ARE ACCEPTABLE). VALVE BOXES SHALL HAVE A WARNING LABEL OR NAMEPLATE PERMANENTLY MOLDED INTO OR ATTACHED ONTO THE LID WITH RIVETS, SCREWS, OR BOLTS. WARNING LABELS SHALL BE PER CITY STANDARD DETAILS.
- QUICK COUPLING VALVES SHALL HAVE PURPLE COVERS AND SHALL BE PER CITY STANDARD DETAILS.
- NO HOSE BIBS ARE ALLOWED ON THE RECYCLED WATER IRRIGATION SYSTEM. ANY EXTERIOR HOSE BIBS SERVED WITH POTABLE WATER MUST BE LABELED PER CITY STANDARD DETAILS.
- RECYCLED WATER METERS, DEVICES, AND VALVES - E.G. ISOLATION VALVES, IRRIGATION CONTROLLERS, REMOTE CONTROL VALVES, PRESSURE REDUCING VALVES, QUICK COUPLING VALVES, FLOW SENSORS, ETC. - SHALL BE TAGGED PER CITY STANDARD DETAILS.
- LABEL ALL POTABLE WATER METERS AND ABOVE GROUND POTABLE WATER PIPES/DEVICES (BACKFLOW PREVENTERS, HOSE BIBS, ETC.) WITH TAGS OR LABELS READING: "POTABLE WATER" IN BLACK LETTERS ON BLUE BACKGROUND, PER CITY DETAILS.
- ALL RECYCLED WATER IRRIGATION SYSTEMS SHALL HAVE THE FOLLOWING:
  - A WIRE STRAINER (WITH A 20-MESH OR FINER SCREEN) INSTALLED AS CLOSE AS PRACTICABLE TO THE RECYCLED WATER METER BOX.
  - A PRESSURE REDUCING VALVE INSTALLED IMMEDIATELY DOWNSTREAM OF THE STRAINER (UNLESS OTHERWISE DIRECTED BY CITY).
  - THESE COMPONENTS SHALL BE INSTALLED WITH ISOLATION VALVES TO FACILITATE MAINTENANCE.
- RECYCLED WATER ADVISORY SIGNS SHALL BE PER CITY STANDARD DETAILS AND SHALL BE POSTED PER LOCATIONS SHOWN ON IRRIGATION PLAN.
- INSTALLATION OF DIRECT INJECTION SYSTEMS ON THE RECYCLED WATER IRRIGATION SYSTEM IS NOT PERMITTED.
- NO DRINKING FOUNTAINS OR EATING AREAS ARE ALLOWED IN THE APPROVED RECYCLED WATER USE AREA UNLESS ADEQUATELY PROTECTED FROM OVERSPRAY.
- ALL RECYCLED WATER METERS WILL BE SET BY THE CITY WATER UTILITY AFTER:
  - THE SITE'S OWNER, DEVELOPER, OR CONTRACTOR HAS APPLIED FOR RECYCLED WATER SERVICE WITH THE CITY WATER UTILITY. THE WATER SERVICE AGREEMENT HAS BEEN APPROVED, AND ALL APPLICABLE FEES HAVE BEEN PAID.
  - THE WATER UTILITY HAS RECEIVED AUTHORIZATION FROM SBWR TO SET RECYCLED WATER METERS.
- NO OVERSPRAY OR RUNOFF OF RECYCLED WATER IS ALLOWED ON ANY NON-APPROVED USE AREA. PONDING OF RECYCLED WATER DUE TO IRRIGATION IS NOT ALLOWED IN ANY AREA. PRIOR TO RECEIVING RECYCLED WATER, THE ON-SITE RECYCLED WATER IRRIGATION SYSTEM MUST PASS A COVERAGE TEST PERFORMED BY CITY OF SANTA CLARA WATER UTILITIES INSPECTOR.
- CONTRACTOR SHALL SUBMIT AS-BUILT IRRIGATION PLANS TO SBWR WITHIN 90 DAYS OF SITE RECEIVING RECYCLED WATER.

**STATE OF CALIFORNIA ESTIMATED WATER USE**

TOTAL WATER USE IS CALCULATED BY SUMMING THE AMOUNT OF WATER ESTIMATED FOR EACH HYDROZONE. WATER USE FOR EACH HYDROZONE IS ESTIMATED WITH THE FOLLOWING FORMULA:

EWU (HYDROZONE) = ESTIMATED WATER USE (GAL / YEAR)  
 ETO = REFERENCE EVAPOTRANSPIRATION (INCHES / YEAR)  
 PF = PLANT ETO ADJUSTMENT FACTOR  
 HA = HYDROZONE AREA (S.F.) (16 S.F. PER TREE)  
 IE = IRRIGATION EFFICIENCY  
 SLA = SPECIAL LANDSCAPE AREA (S.F.)  
 EWU (HYDROZONE) = (ETO \* PF \* HA \* IE) / (IE)

ETO	PF	HA	IE	CONVERSION FACTOR	EWU GAL/YEAR
45.3	0.2	106,920	.81	.62	1,295,553

ETO	PF	HA	IE	CONVERSION FACTOR	EWU GAL/YEAR
45.3	0.3	3,072	.81	.62	54,542

ETO	PF	HA	IE	CONVERSION FACTOR	EWU GAL/YEAR
45.3	0.2	19,370	.81	.62	229,272

ESTIMATED TOTAL WATER USE (ETWU) 1,549,368

ETO	ET ADJUSTMENT FACTOR	TOTAL HA	CONVERSION FACTOR	MAWA
45.3	45	129362	.62	1,634,968

ESTIMATED ANNUAL WATER USE (% OF MAWA) 95%

**WUCOLS PLANT FACTOR:**  
 THIS PROJECT IS LOCATED IN "WUCOLS" NORTH-CENTRAL COASTAL #1.  
 H = HIGH WATER NEEDS  
 M = MODERATE WATER NEEDS  
 L = LOW WATER NEEDS  
 VL = VERY LOW WATER NEEDS

**NOTE:**  
 CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE FOR 90 DAYS FOLLOWING COMPLETION.



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**EDGECORE**  
 INTERNET REAL ESTATE  
 2201 LAURELWOOD ROAD,  
 SANTA CLARA, CA 95054

JOB NO.:	094861004
PRINT DATE:	02/14/2020
DESIGNED BY:	CC
CHECKED BY:	MM
SET ISSUED:	
06/14/2019	PCC #2
08/26/2019	PCC #3
10/21/2019	PCC #4
11/08/2019	DD SUBMITTAL
02/14/2020	PCC #5

**SWRCB DIVISION OF DRINKING WATER**

APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_

**CITY OF SANTA CLARA**

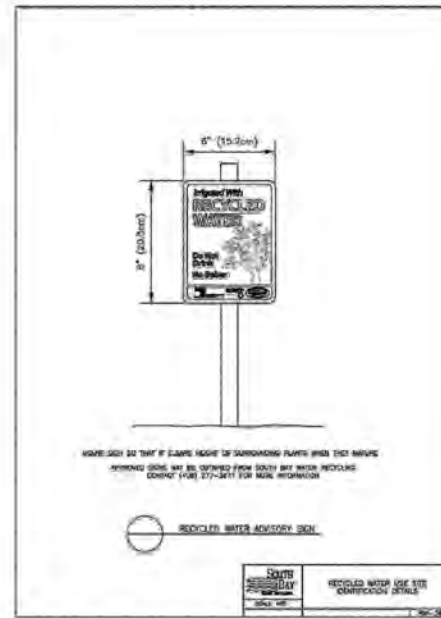
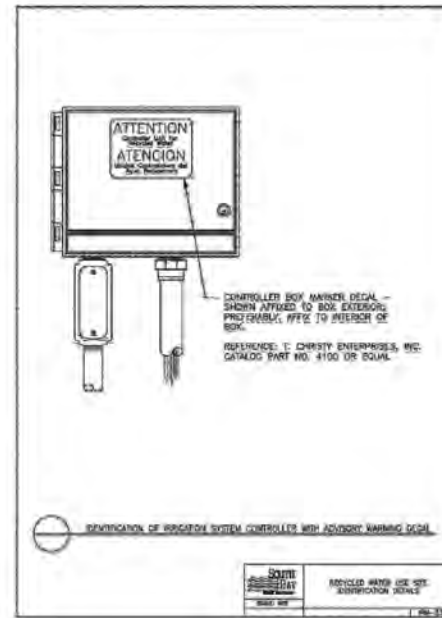
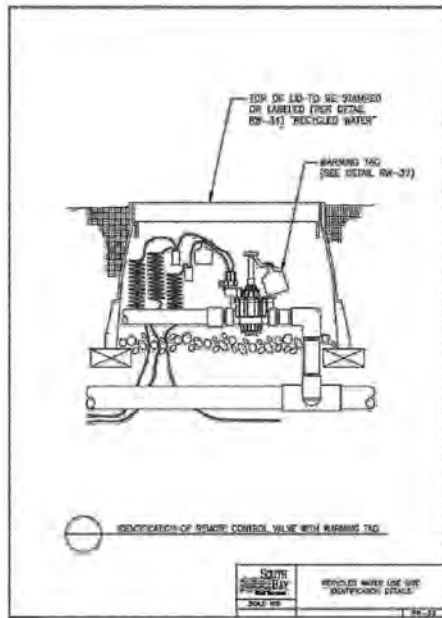
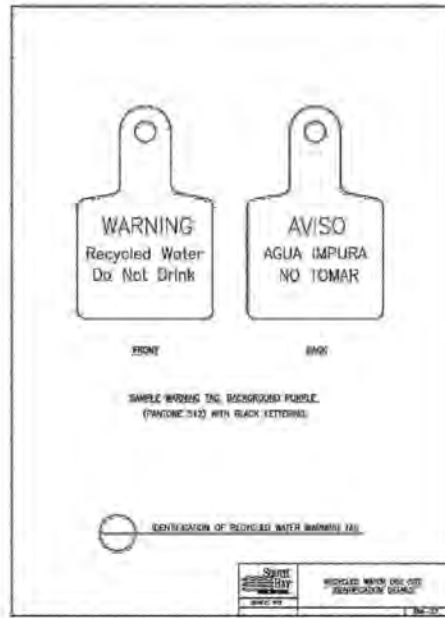
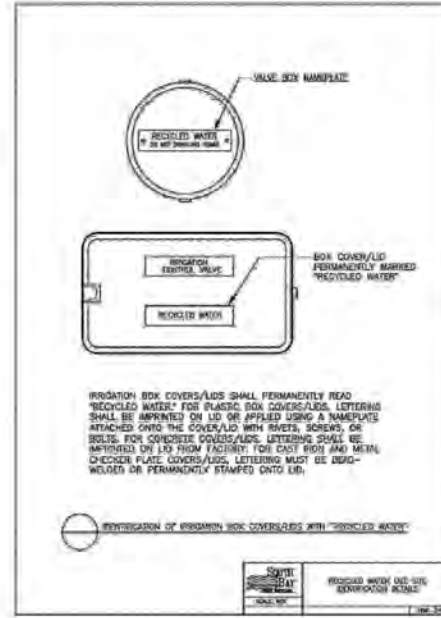
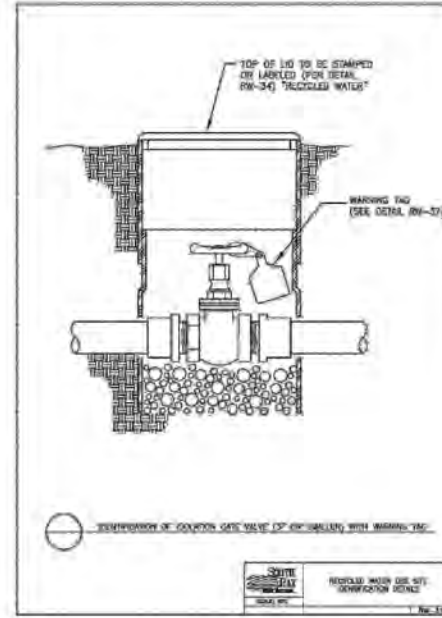
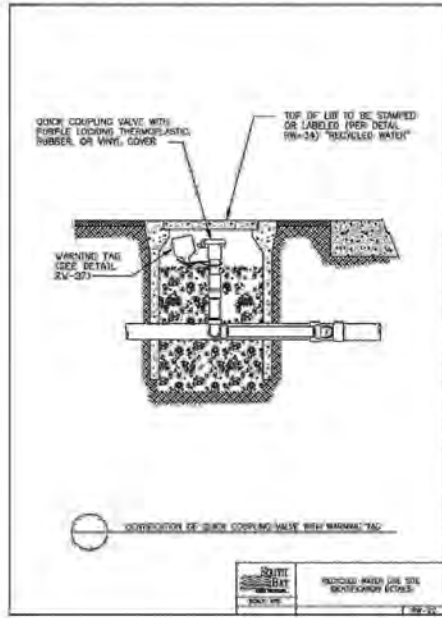
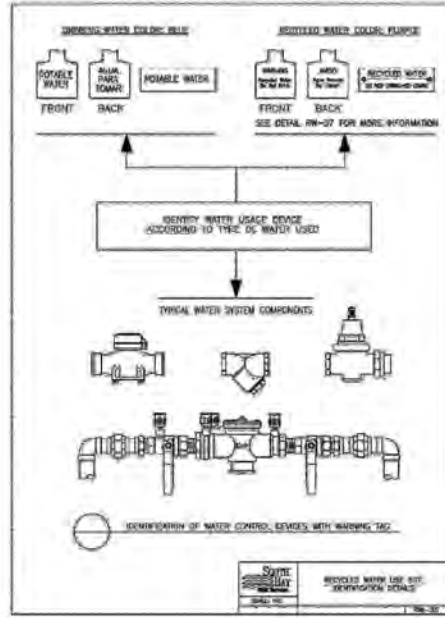
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SHEET NAME:  
**PRELIMINARY IRRIGATION NOTES**

SHEET NO.: **L3.2**



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SWRCB DIVISION OF DRINKING WATER

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

CITY OF SANTA CLARA

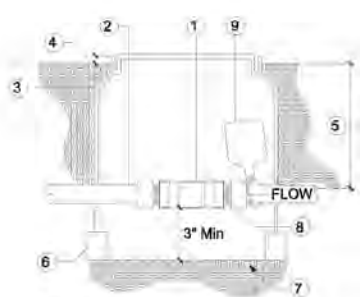
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SHEET NAME:  
**IRRIGATION  
DETAILS**

SHEET NO.: **L3.3**



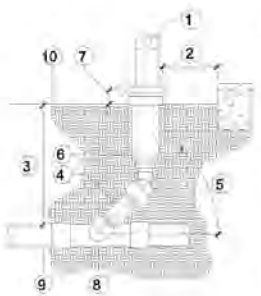
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- 1 CHECK VALVE
- 2 PVC LATERAL PIPE, Typ
- 3 10" DIAMETER ROUND VALVE BOX WITH BOLT DOWN LID, A STAINLESS STEEL BOLT AND WASHER Spec. (DO NOT CUT ADDITIONAL HOLES IN BOX). REFERENCE SBWR/CSC STANDARD DETAIL #34
- 4 FLUSH W/ FINISH GRADE IN TURF, 2" ABOVE FINISH GRADE IN SHRUBS.
- 5 SEE SPECIAL PROVISIONS
- 6 BRICK OR CONCRETE SUPPORTS ON COMPACTED SUBGRADE (FOUR PER BOX Min)
- 7 COMPACTED SUBGRADE.
- 8 PVC Sch 40 SxT MALE ADAPTER.
- 9 RECYCLED WATER WARNING TAG, REFERENCE SBWR/CSC STANDARD DETAIL #37

NOTE:  
USE TEFLON TAPE ON ALL THREADED CONNECTIONS.

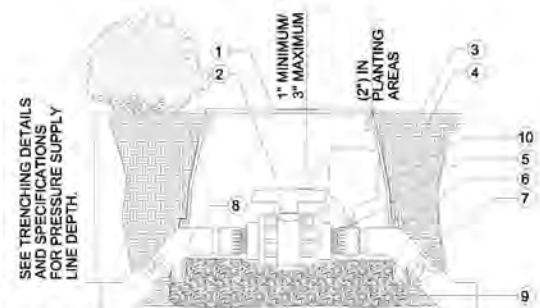
**I CHECK VALVE IN-LINE ON LATERAL**  
NOT TO SCALE



- 1 POP-UP ROTATOR OR BUBBLER HEAD WITH NOZZLE
- 2 TURF AREAS: 4" FROM HARDSCAPE EDGE. SHRUB AREAS: 6" FROM HARDSCAPE EDGES IN FLAT GRADES, 24" FROM HARDSCAPE EDGES.
- 3 SEE SPECIAL PROVISIONS FOR DEPTH
- 4 SWING JOINT ASSEMBLY (1 Sch 80 PVC NIPPLE & 3 MARLEX STREET EIL, 1/2" PARTS ASSEMBLY)
- 5 ANGLE MAY VARY WITH HEIGHT OF BODY AND DEGREE OF SLOPE
- 6 POP-UP BODY
- 7 2" IN SHRUB AREAS, AT FINISH GRADE IN TURF
- 8 PVC Sch 40 TEE (SST) OR EIL (ST)
- 9 PVC NON-PRESSURE LINE
- 10 FINISH GRADE

NOTE:  
USE TEFLON TAPE ON ALL THREADED CONNECTIONS.

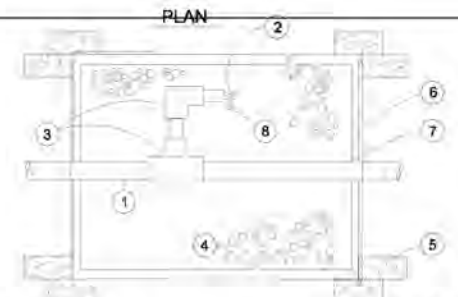
**H 4" POP-UP SPRINKLER HEAD**  
NOT TO SCALE



- 1 VALVE BOX, SEE Spec. (DO NOT CUT ADDITIONAL HOLES IN BOX). REFERENCE SBWR/CSC STANDARD DETAIL #34
- 2 ISOLATION BALL VALVE. REFER TO LEGEND
- 3 FINISH GRADE
- 4 BACKFILL MATERIAL
- 5 PVC Sch 80 MALE ADAPTER, MIPT X SLIP, LINE/VALVE SIZE
- 6 FILTER FABRIC (MIRAFI #140N). WRAP 1 LAYER AROUND BOX, COVERING HOLES
- 7 PRESSURE SUPPLY. LENGTH AS REQUIRED. REFER TO LEGEND FOR CLASS
- 8 PVC Sch 40, 45 DEGREE EIL. (4) REQUIRED
- 9 GRAVEL BASE AND SUMP. (COMPACT GRAVEL FOR BOX BASE, DO NOT USE BLOCKS OR BRICKS, FILL GRAVEL TO BOTTOM OF VALVE)
- 10 RECYCLED WATER WARNING TAG, REFERENCE SBWR/CSC STANDARD DETAIL #37

NOTE:  
USE TEFLON TAPE ON ALL THREADED CONNECTIONS.

**G ISOLATION BALL VALVE**  
NOT TO SCALE



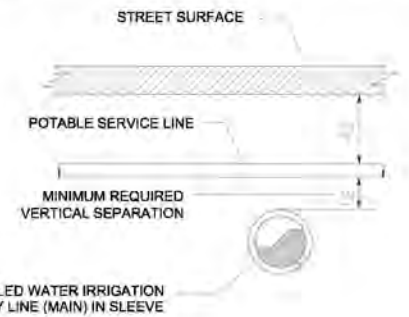
- 1 PURPLE PVC MAINLINE
- 2 2" BALL VALVE WITH 1/4" FEMALE THREAD
- 3 PVC Sch 40 SOLVENT WELD FITTINGS
- 4 VALVE BOX WITH 1" PEA GRAVEL SUMP (Min 1 CF). REFERENCE SBWR/CSC STANDARD DETAIL #34 FOR VALVE BOX LID INFORMATION
- 5 BRICK SUPPORTS
- 6 14"X19" PURPLE VALVE BOX WITH BOLT DOWN PURPLE LID, STAINLESS STEEL BOLT & WASHER. (DO NOT CUT ADDITIONAL HOLES IN VALVE BOX).
- 7 FILTER FABRIC. WRAP 1 LAYER AROUND BOX, COVERING HOLES.
- 8 RECYCLED WATER WARNING TAG, REFERENCE SBWR/CSC STANDARD DETAIL #37

BALL VALVES SHALL HAVE A TWO PIECE BRASS OR BRONZE BODY, FULL PORT BODY, AND SHALL CONFORM TO THE FOLLOWING:

SPECIFICATION	MINIMUM REQUIREMENT
NON SHOCK COLD WATER WORKING PRESSURE	400 PSI
SEATS	TFE (TEFLON)
O RING SEALS	TFE (TEFLON)

BALL VALVES SHALL BE OF THE SAME SIZE AS THE PIPELINE WHICH THE VALVES SERVE, UNLESS OTHERWISE NOTED ON THE PLANS. BALL VALVES SHALL BE INSTALLED IN A VALVE BOX.

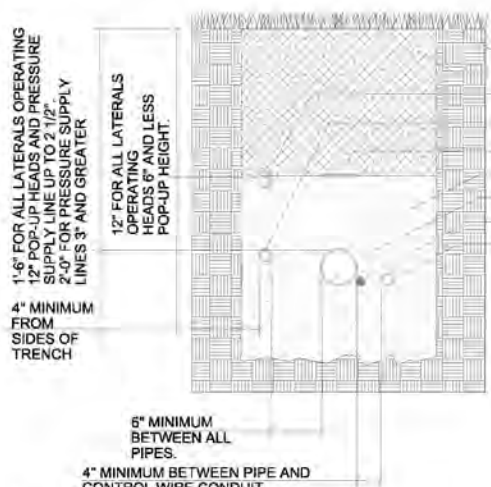
**F BALL VALVE CROSS CONNECTION CONTROL TEST STATION (BVCCCTS)**  
NOT TO SCALE



NOTE:

- 1. REFERENCE SBWR/CSC STANDARD NOTE #11(L3.2) FOR SEPARATION REQUIREMENTS.
- 2. ALL RECYCLED WATER IRRIGATION PIPES AND SLEEVES SHALL BE PURPLE AND LABELED AS SPECIFIED IN THE "STANDARD SPECIFICATION FOR PRIVATE IRRIGATION SYSTEMS WATER DISTRICT" RULES AND REGULATIONS FOR CONSTRUCTION OF RECYCLED WATER MAINS, OCTOBER 1993.

**E POTABLE MAINLINE CROSSING**  
NOT TO SCALE



NOTE:

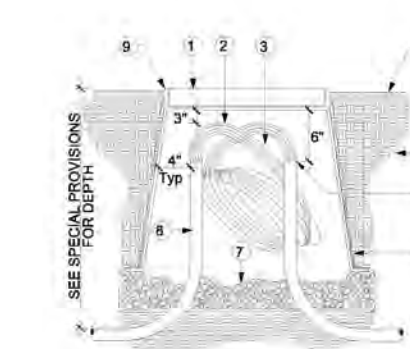
- 1. REFERENCE SBWR/CSC STANDARD NOTE #11(L2.1) FOR SEPARATION REQUIREMENTS.

**D TRENCH IN LANDSCAPE**  
NOT TO SCALE

NOTES:

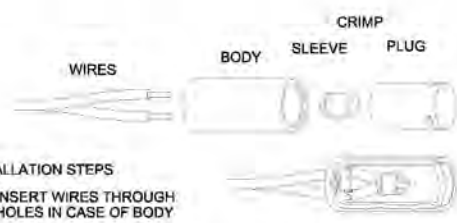
- 1. A CROSS-CONNECTION TEST AND COVERAGE TEST SHALL BE CONDUCTED AS DIRECTED BY THE SAN DIEGO COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH PRIOR TO ANY USE OF RECYCLED WATER.
- 2. THE REQUIRED CROSS-CONNECTION CONTROL SHUTDOWN TEST SHALL BE MONITORED BY EITHER THE SAN DIEGO COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH OR STATE HEALTH.

**C SPARE WIRE BOX**  
NOT TO SCALE



- 1 RECTANGLE VALVE BOX W/BOLT DOWN COVER, STAINLESS STEEL BOLT, WASHER. REFERENCE SBWR/CSC STANDARD DETAIL #34
- 2 LOW VOLTAGE CONTROL WIRE COIL, 24" MINIMUM
- 3 PVC/Elect TAPE, WRAP WIRE BUNDLE
- 4 UNDISTURBED SOIL/COMPACTED SOIL
- 5 SEAL CONDUIT ENDS WITH AEROSOL FOAM SEALANT
- 6 LANDSCAPE FILTER FABRIC (MIRAFI #140N), WRAP UP AND COVER BOX HOLES
- 7 1 CF Min 3/4" GRAVEL SUMP
- 8 PVC Sch 40 Elect CONDUIT/ SWEEP, WHERE REQUIRED
- 9 TOP OF BOX LID 1" ABOVE FINISH GRADE IN PLANTING AREA
- 10 FINISH GRADE

**B CONTROL WIRE PULL BOX**  
NOT TO SCALE



INSTALLATION STEPS

- 1 INSERT WIRES THROUGH HOLES IN CASE OF BODY
- 2 TWIST STRIPPED WIRES TOGETHER AND APPLY CRIMP SLEEVE WITH AN INDENT TYPE CRIMPING TOOL. TRIM EXCESS BARBED WIRE
- 3 PUSH WIRES ALL THE WAY INTO THE PLUG TO COMPLETELY SEAL THE CRIMP
- 5 INVERT BODY AND INSERT PLUG INTO BODY UNTIL IT SNAPS TIGHT

NOTES:

- 1. FITS AWG #18, #16, #14, #12 OR #10 WIRE.
- 2. FOR TWO-WIRE SYSTEM USE CONNECTOR SPECIFIED IN LEGEND.

**A WIRE CONNECTOR**  
NOT TO SCALE

SWRCB DIVISION OF DRINKING WATER	
APPROVED BY _____	DATE _____
CITY OF SANTA CLARA	
APPROVED BY _____	DATE _____



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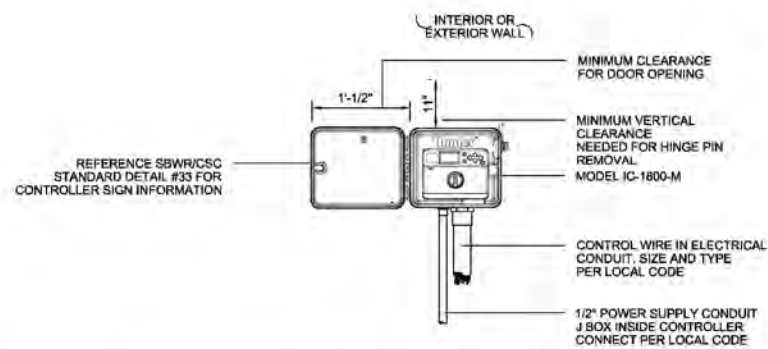
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**IRRIGATION DETAILS**

SHEET NO.: **L3.4**

A.P.N.: 104-39-023

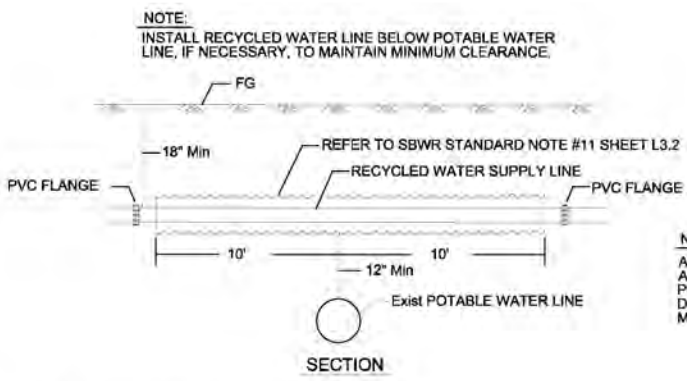


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**NOTE:**  
 SPECIFY 6, 12, 18, 24, 30, STATION MODEL CONTROLLER. MOUNT CONTROLLER WITH LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUND 110 OR 220 VAC SOURCE.

**N IRRIGATION CONTROLLER**  
 NOT TO SCALE



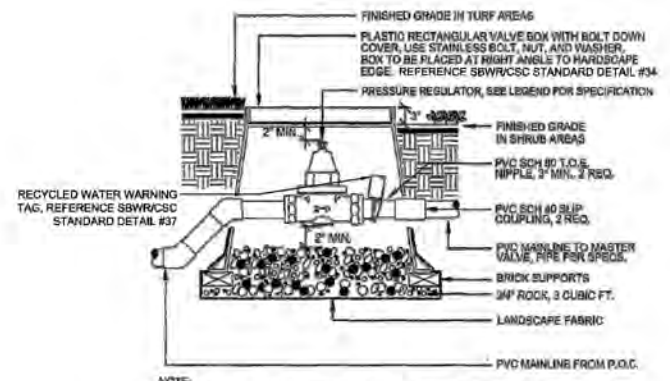
**NOTE:**  
 A PHYSICAL SEPARATION SHALL BE PROVIDED BETWEEN ADJACENT AREAS IRRIGATED WITH RECYCLED WATER AND POTABLE WATER. SEPARATION SHALL BE PROVIDED BY DISTANCE, CONCRETE MOW STRIPS OR OTHER APPROVED METHODS.

**M RECYCLED WATER SLEEVE**  
 NOT TO SCALE

INSTALLATION	TYPE FITTING	INSTALLATION	TYPE FITTING
	90° EI		DEAD END
	45°		GATE VALVE
	22.5°		
	11.25°		
	TEE		VERTICAL 45°
			BEND 22.5°
			(TYPE I) 11.25°
			VERTICAL 45°
			BEND 22.5°
			(TYPE II) 11.25°

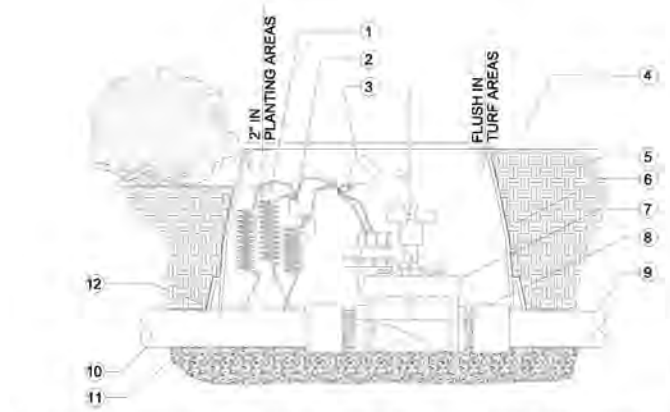
**NOTES:**  
 MIN 1 CF PCC FOR 1 1/2" PIPE SIZE AND SMALLER.  
 MIN 2 CF PCC FOR 2" PIPE SIZE.  
 MIN 2 CF PCC FOR 3" AND 4" PIPE SIZE.  
 MIN 3 CF PCC FOR 6" PIPE SIZE.  
 MIN 4 CF PCC FOR 8" PIPE SIZE.  
 USE #3 REINFORCING BAR WHERE SHOWN.

**L THRUST BLOCKS**  
 NOT TO SCALE



**NOTE:**  
 INSTALL CONTROL VALVES A MINIMUM OF ONE FOOT APART IN SHRUB AREAS UNLESS OTHERWISE NOTED. USE 45 DEGREE ELLS TO ACHIEVE MAINLINE DEPTH FROM UPSTREAM SIDE OF THE PRESSURE REGULATOR ASSEMBLY.

**K PRESSURE REGULATOR**  
 NOT TO SCALE



- 1 CONTROL WIRE W/ 24" COILED EXPANSION LOOP
- 2 WATERPROOF WIRE CONNECTOR.
- 3 RECYCLED WATER WARNING TAG, REFERENCE SBWR/CSC STANDARD DETAIL #37
- 4 FINISH GRADE.
- 5 BACKFILL MATERIAL.
- 6 RECTANGULAR VALVE BOX, SEE SPECS. (DO NOT CUT ADDITIONAL HOLES IN BOX), REFERENCE SBWR/CSC STANDARD DETAIL #34
- 7 CONTROL VALVE PER LEGEND, SEE PLAN FOR SIZE.
- 8 PVC SCH 80 MALE ADAPTER, 2 (ST) REQUIRED.
- 9 SUPPLY LINE FROM MANIFOLD.
- 10 NON-PRESSURE LATERAL LINE, SEE PLAN FOR SIZE.
- 11 GRAVEL BASE AND SUMP (COMPACT GRAVEL FOR BOX BASE, DO NOT USE BLOCKS OR BRICKS, FILL GRAVEL TO BOTTOM OF VALVE.
- 12 FILTER FABRIC. WRAP 1 LAYER AROUND BOX COVERING HOLES.

**NOTE:**  
 USE TEFLON TAPE ON ALL THREADED CONNECTIONS.

**J REMOTE CONTROL VALVE ASSEMBLY**  
 NOT TO SCALE

SWRCB DIVISION OF DRINKING WATER	
APPROVED BY: _____	DATE _____
CITY OF SANTA CLARA	
APPROVED BY: _____	DATE _____



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**EDGECORE**  
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A.P.N.: 104-39-023

JOB NO.:	094861004
PRINT DATE:	02/14/2020
DESIGNED BY:	CC
CHECKED BY:	MM
SET ISSUED:	
06/14/2019	PCC #2
08/26/2019	PCC #3
10/21/2019	PCC #4
11/08/2019	DD SUBMITTAL
02/14/2020	PCC #5

SHEET NAME:  
**IRRIGATION DETAILS**

SHEET NO.: **L3.5**