



Meeting Date: May 13, 2020

File No.(s): PLN2020-14326

Location: 470 Muriel Court, an 8,400 9,631 square-foot site located west of Muriel Court; APN: 294-31-020; property is zoned Single-Family Residential (R1-6L).

Applicant: Lana Hannashvilli

Owner: Hitomi Villmon

Request: **Architectural Review** of a 450 square-foot conversion of a family room into a bedroom and bathroom suite in an existing 2,210 square-foot four-bedroom, two-bathroom single-family residence resulting in a five-bedroom, three-bathroom 2,210 square-foot single-family residence with an attached 493 square-foot two-car garage to remain.

Mailing Radius: 300 feet

CEQA Determination: Categorical Exemption per CEQA 15301(e)(1), Existing Facilities

Project Planner: Tiffany Vien, Assistant Planner

Staff Recommendation: **Approve**, subject to conditions

Project Data

Lot Size: 9,631 sf.			
	Existing Floor Area (sq. ft.)	Proposed New Building (sq. ft.)	Proposed Floor Area (sq.ft.)
First Floor	2,202	-	2,202
Second Floor	n/a	-	
Porch cover		-	
Garage	493	-	493
Gross Floor Area	2,695		2,695
Lot Coverage	2,695/9,631= 28%		2,695/9,631= 28%
F.A.R.	.28		.28
% of 2 nd floor to 1 st floor	n/a		
Bedrooms/Baths	4/2	1/1	5/3
Flood Zone	X		

Points for consideration

- The project only includes interior alteration to convert an existing family room into a new fifth bedroom suite.
- There is no additional living area added to the existing residence.
- 300-foot neighborhood notice was distributed for this project review.

Findings supporting the Staff Recommendation

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
 - The proposal provides the required two covered parking spaces.

- The required parking spaces are not located in the required front yard or side yard landscaped areas.
 - The proposed project provides areas surfaced with all-weather materials for parking of vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
- There is no expansion of the parking or intensification of use that would significantly cause increased traffic congestion or hazards.
 - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
- The development is a one-story home that is consistent with the scale and design, similar to the surrounding neighborhood.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*
- The interior remodel would maintain the exterior appearance that is compatible scale and character with the housing types that are typical in the neighborhood.

Conditions of Approval:

- 1) Garage or carport shall be maintained clear and free for vehicle parking use at all times. It shall not be used as only storage.
- 2) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, lighting and signage.
- 3) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- 4) Rehabilitate the front yard landscaping between the fence and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 5) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

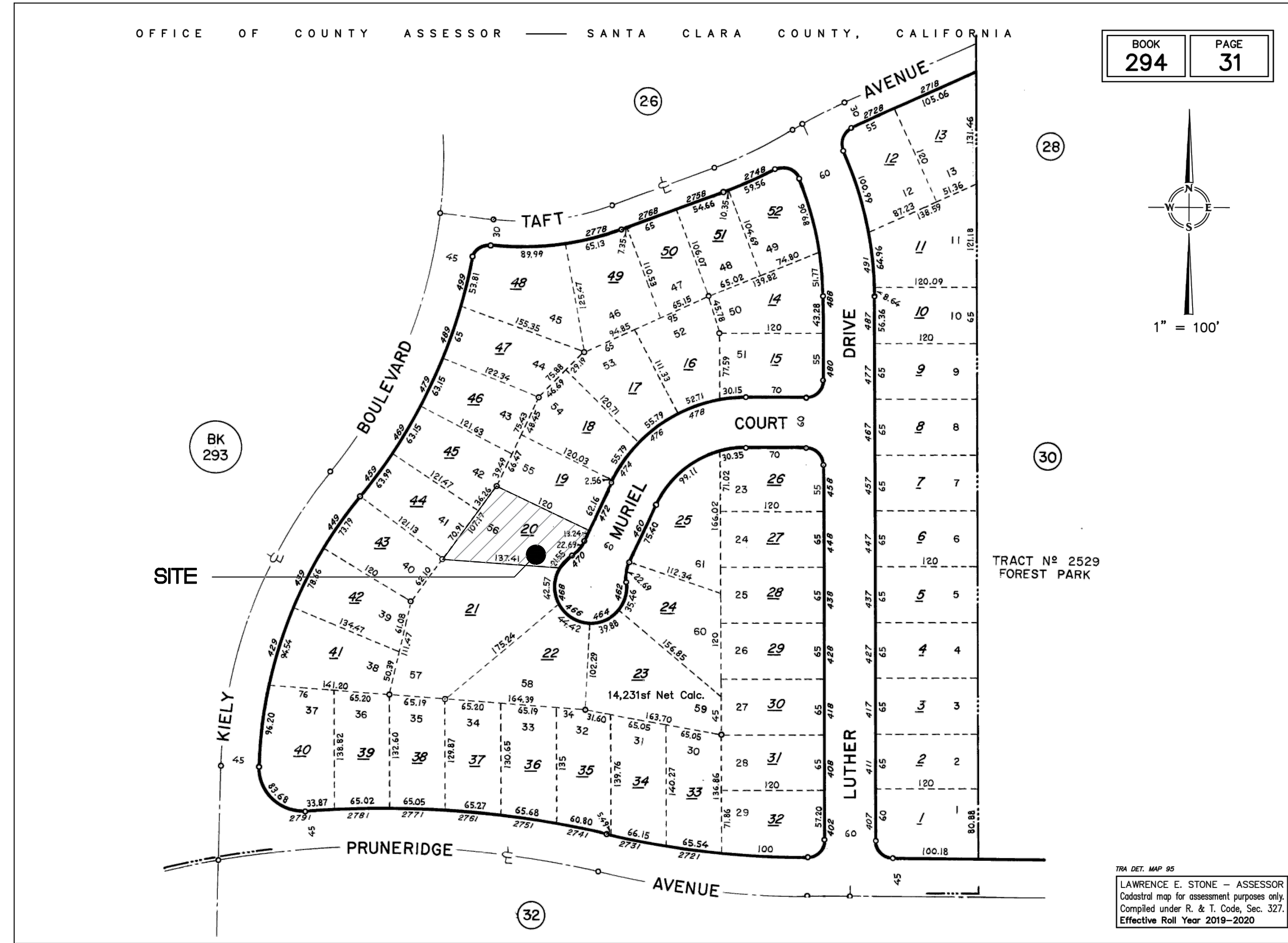
- 6) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 7) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.

RESIDENTIAL RENOVATION

470 MURIEL COURT, SANTA CLARA, CA 95051

ISSUE	DATE
DESIGN 1	01.16.20
REVISION [▲]	03.04.20

VICINITY AND ASSESSORS PARCEL MAP



APPLICABLE CODE

- _2019 CALIFORNIA BUILDING CODE
- _2019 CALIFORNIA RESIDENTIAL CODE
- _2019 CALIFORNIA ELECTRICAL CODE
- _2019 CALIFORNIA MECHANICAL CODE
- _2019 CALIFORNIA PLUMBING CODE
- _2019 CALIFORNIA ENERGY CODE
- (2019 BUILDING ENERGY STANDARDS)
- _2019 CALIFORNIA GREEN BUILDING CODE
- _2019 CALIFORNIA FIRE CODE

GENERAL NOTES

1. THESE PLANS AND DESCRIPTIONS OF MATERIALS SHALL GOVERN THE EXTENT OF THE WORK TO BE DONE. ANY DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD CONDITIONS MUST BE CALLED TO THE ATTENTION OF DESIGNERS AND STRUCTURAL ENGINEER. ANY DISCREPANCY NOT REPORT TO DESIGNER AND ENGINEERS WILL ABSOLVE THEM OF ANY RESPONSIBILITY.
2. GENERAL CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCESSING WITH WORK.
3. GENERAL CONTRACTOR TO VERIFY AND PROVIDE TEMPORARY SHORING AS REQUIRES DURING DEMOLITION OF ANY PART OF THE WALL, FLOOR AND CEILING.
4. GENERAL CONTRACTOR REQUIRES TO INSPECT AND EVALUATE ON EXISTING CONDITION AND PROVIDE SHORING ON EXISTING STRUCTURE PRIOR DEMOLITION TO BEGIN.
5. PROVIDE 2X BLOCKING WHERE WALL HUNG FIXTURE OCCURS.
6. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS MUST FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE SUBMITTAL OF BID PROPOSALS AND CONSTRUCTION.
7. GENERAL CONTRACTOR IS FULLY RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL WORK IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.

PROJECT DATA

OWNERS NAME: MICAH AND HITOMI VILLMOW
RESIDENCE AT :
470 MURIEL COURT, SANTA CLARA, CA 95051

SINGLE FAMILY, 1 STORY RESIDENCE
PARCEL NUMBER: 294-31-020
ZONING: R1-6L
OCCUPANCY CLASS: R3/U
CONSTRUCTION TYPE: VB
YEAR BUILT: 1960
EXISTING HABITABLE SQFT: 2,202 SQFT
GARAGE SQFT: 493 SQFT
LOT SIZE: 9,792 SQFT
FRONT PORCH SQFT: 200 SQFT
FAMILY ROOM SQFT TO BE CONVERTED: 398 SQFT

SHEET INDEX

- ARCHITECTURAL
- A0.0 COVER SHEET
- A0.1 EXISTING FLOOR PLAN
- A0.2 PROPOSED FLOOR PLAN
- A0.3 EXISTING SITE PLAN AND ROOF PLAN
- A0.4 EXISTING EXTERIOR ELEVATIONS
- A0.5 PROPOSED EXTERIOR ELEVATIONS
- A0.6 PROPOSED ELECTRICAL PLAN

SCOPE OF WORK

1. CREATE (N) EN-SUITE BEDROOM AND BATHROOM IN (E) LIVING ROOM
2. INSTALL ALL (N) PLUMBING TO CODE
3. INSTALL ALL (N) ELECTRICAL TO CODE
4. INSTALL (N) OPERABLE WINDOW IN (N) BATHROOM
5. OPEN WALL BETWEEN THE LIVING ROOM AND DINING ROOM
6. REMODEL (E) KITCHEN

WATER EFFICIENCY AND CONSERVATION

PLUMBING FIXTURE TO MEET THE FOLLOWING REQUIREMENTS FOR MAXIMUM FLOW RATES PER CGBC 4.303.1

WATER CLOSET (TOILET) :1,28 GALLONS PER FLUSH
SINGLE SHOWERHEAD: 1.8 GALLONS/ MINUTE AT 80 PSI
MULTIPLE SHOWERHEADS CONTROLLED BY A SINGLE VALVE : 1.8 GALLONS/ MINUTE AT 80 PSI
LAVATORY FAUCETS: 1.2 GALLONS/ MINUTE AT 60 PSI (MINIMUM 0.8 GPM @20 PSI)
KITCHEN FAUCET: 1.8 GALLONS/ MINUTE AT 60 PSI
ALL (E) NON-COMPLIANT PLUMBING FIXTURE SHALL BE REPLACED WITH WATER CONSERVING PLUMBING FIXTURES, AS SPECIFIED ABOVE, PER CGBC 301.1.1.

ENERGY EFFICIENCY

BUILDING MEETS OR EXCEEDS THE REQUIREMENTS OF THE CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

PROJECT DESCRIPTION

RESIDENTIAL INTERIOR RENOVATION TO CREATE (N) EN-SUITE BEDROOM AND BATHROOM AND (E) KITCHEN REMODEL

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SINGLE FAMILY RESIDENTIAL REMODEL
470 MURIEL COURT
SANTA CLARA, CA 95051

DATE: 03.04.20

DRAWING NAME:
COVER SHEET

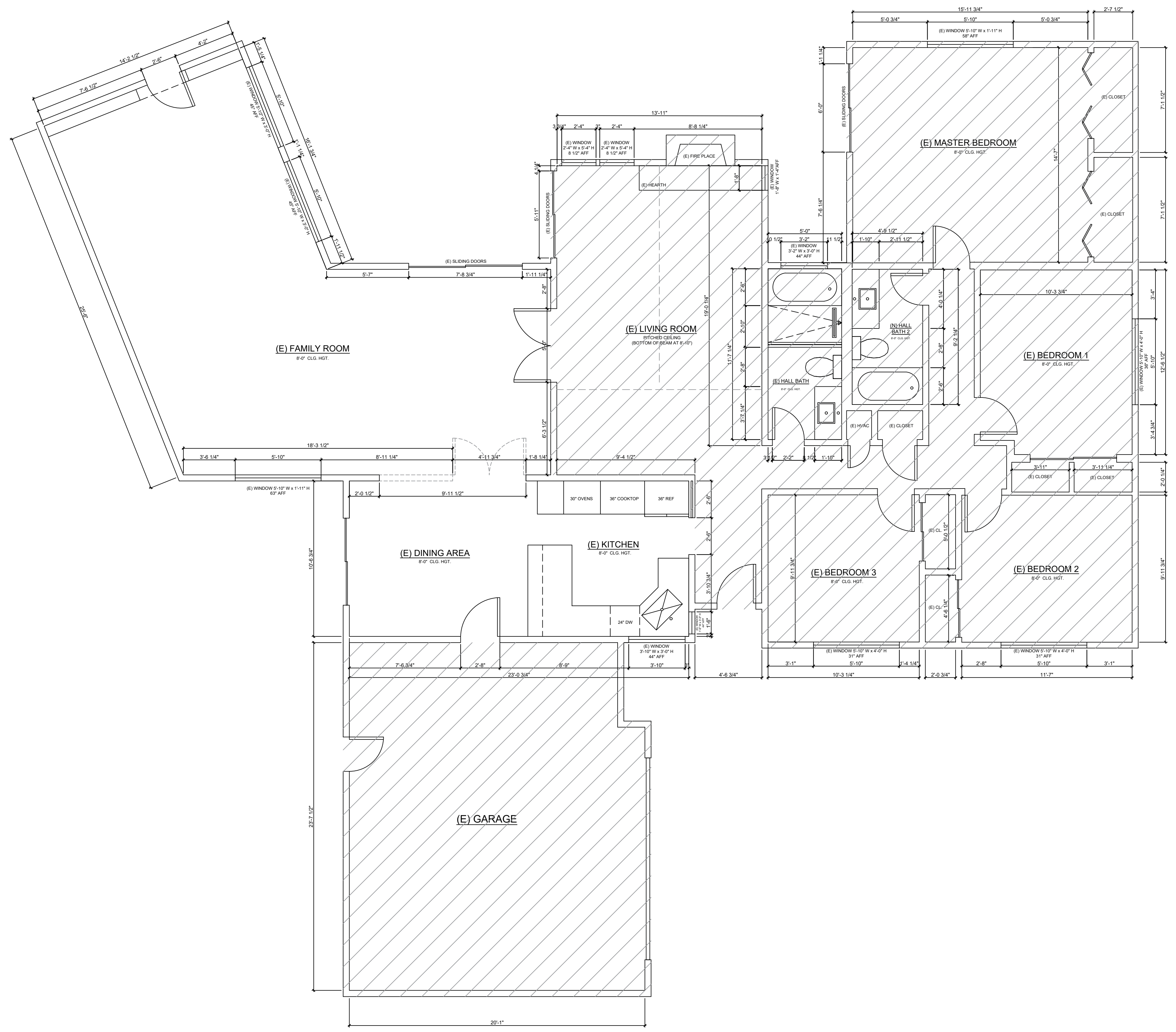
SHEET:
A0.0

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REVISION Δ	03.04.20

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 SANTA CLARA, CA 95051

DATE:	03.04.20
DRAWING NAME:	EXISTING FLOOR PLAN
SHEET:	A0.1



WALL LEGEND

EXISTING	
TO BE DEMO'D	
NO SCOPE	

1 EXISTING AND DEMOLITION FLOOR PLAN

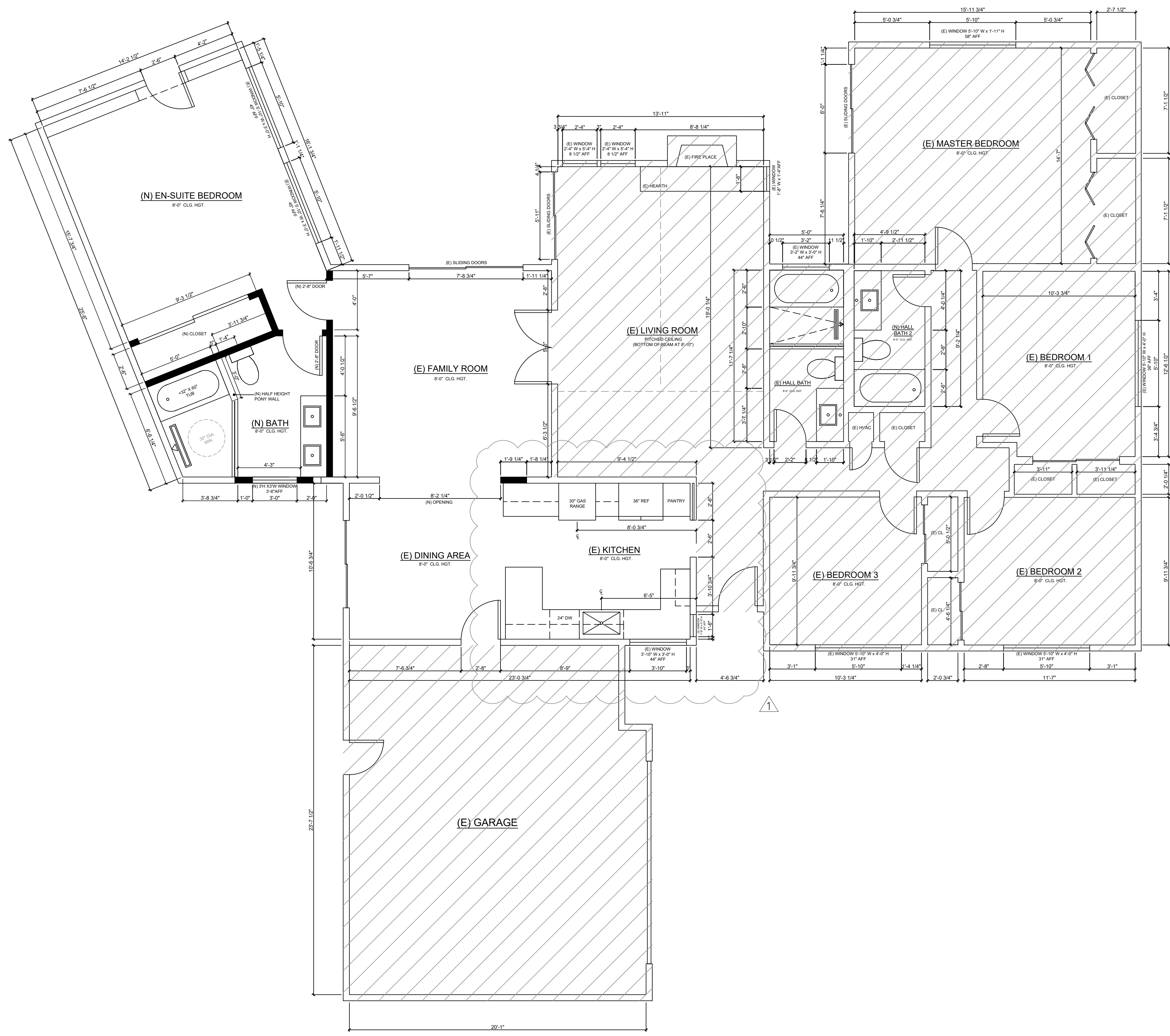
SCALE: 1/4" = 1'-0"

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DATE:	03.04.20
DRAWING NAME:	PROPOSED FLOOR PLAN
SHEET:	A0.2

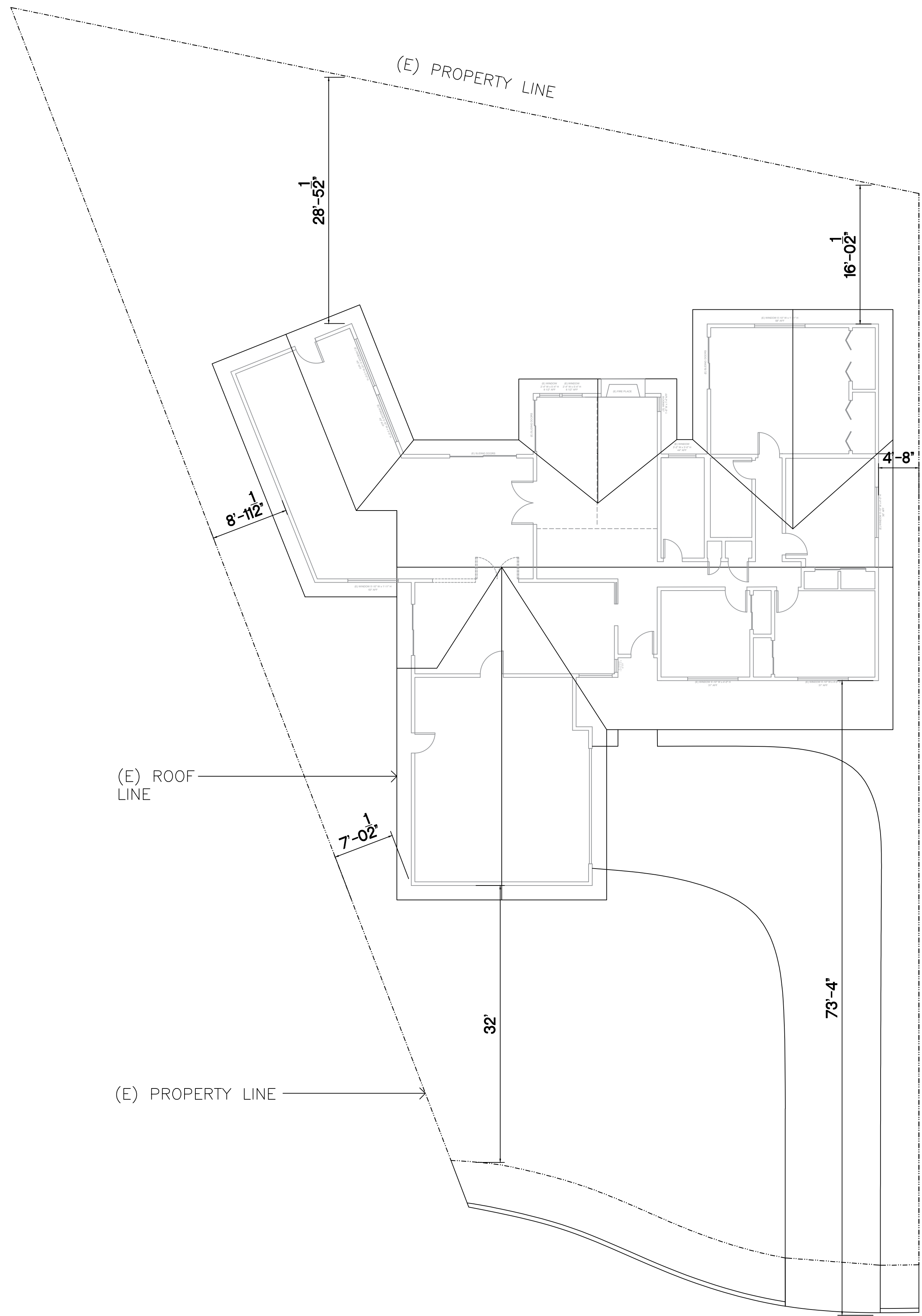
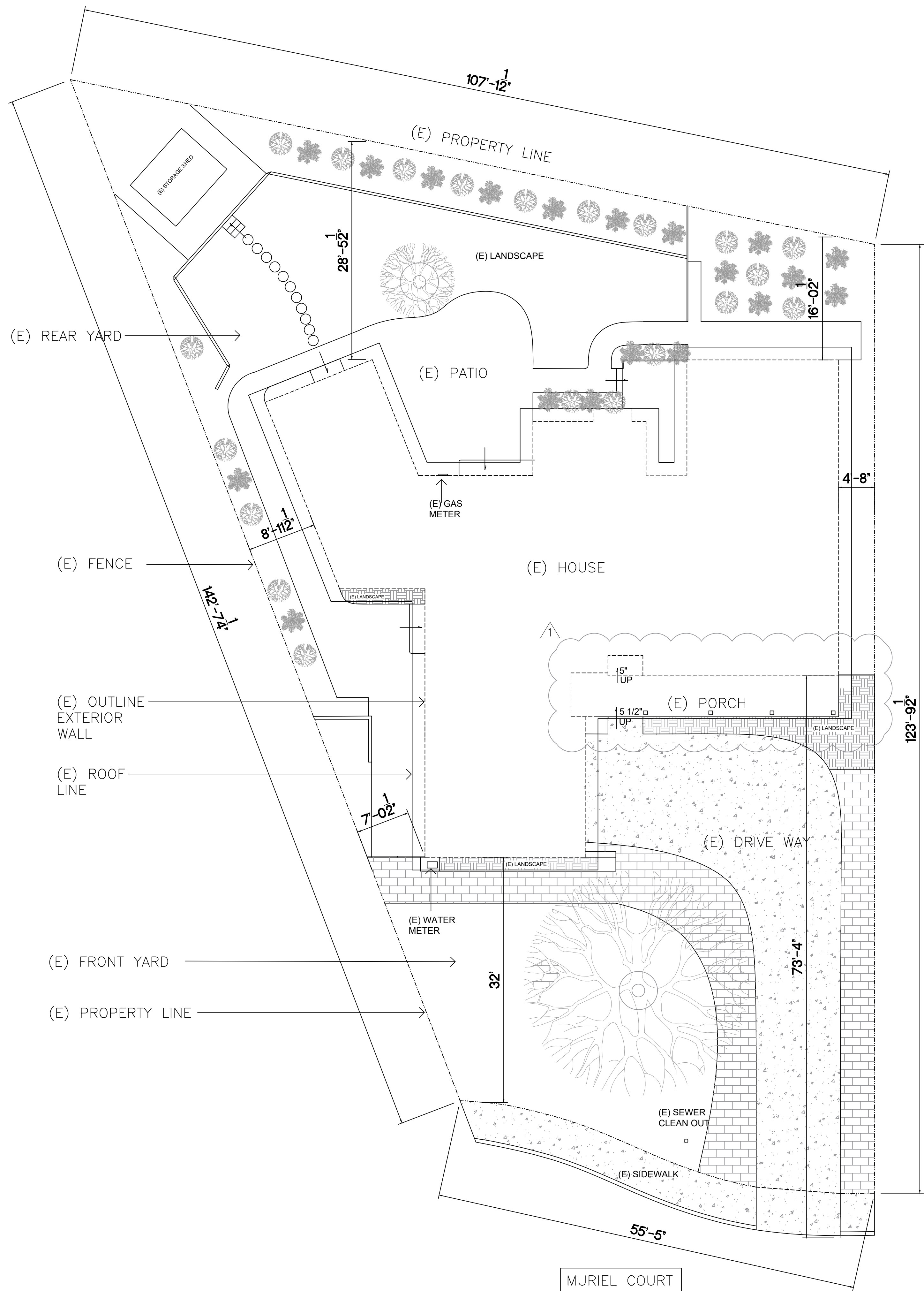


WALL LEGEND

EXISTING	
TO BE DEMO'D	
NEW WALLS	
NO SCOPE	

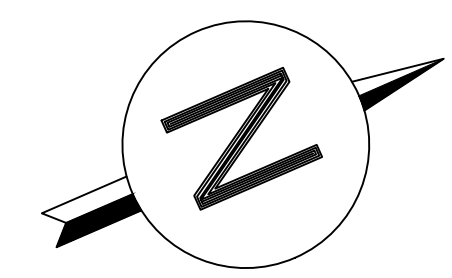
1 PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"



1 SITE PLAN
1/8" - 1'-0"

2 ROOF PLAN
1/8" - 1'-0"



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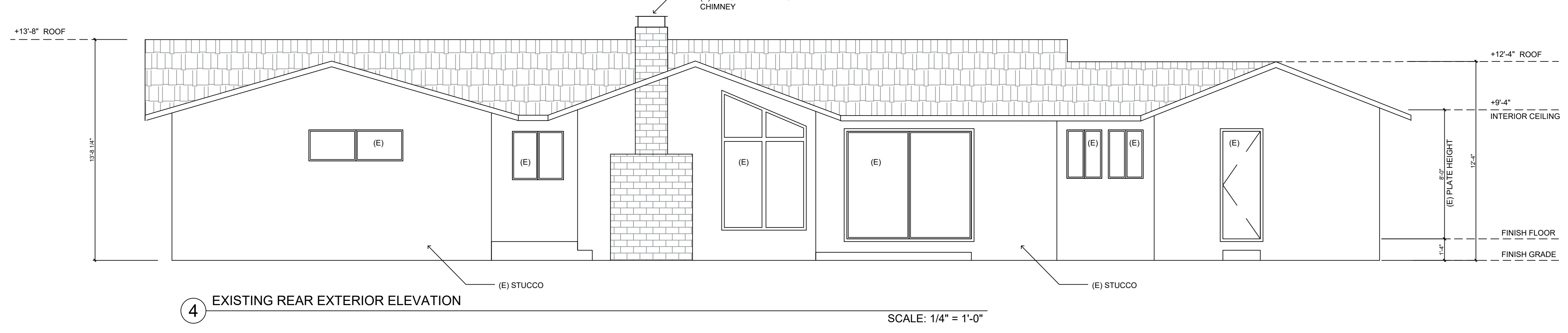
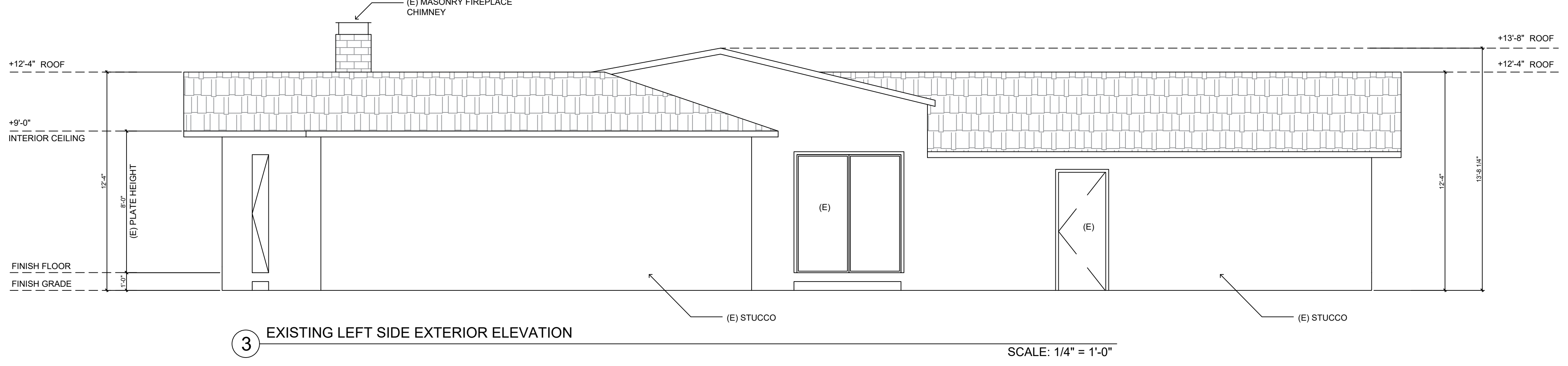
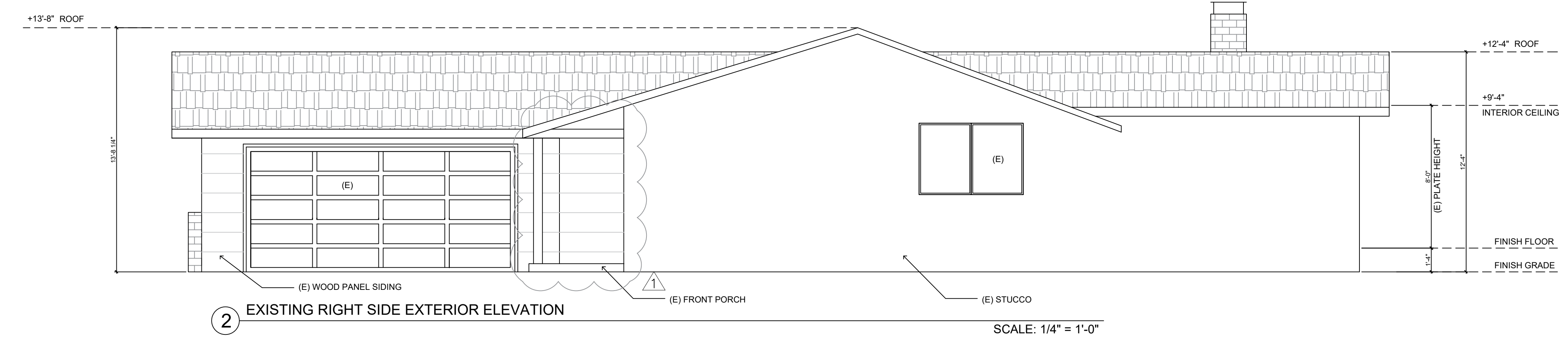
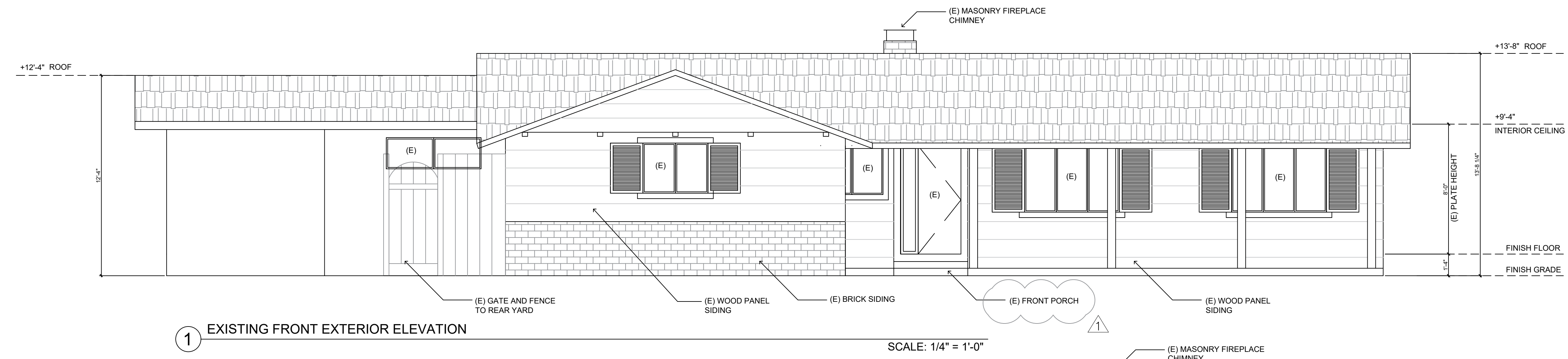
DATE:	03.04.20
DRAWING NAME:	EXISTING SITE PLAN AND ROOF PLAN
SHEET:	A0.3

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DATE:	03.04.20
DRAWING NAME:	EXISTING EXTERIOR ELEVATIONS
SHEET:	A0.4

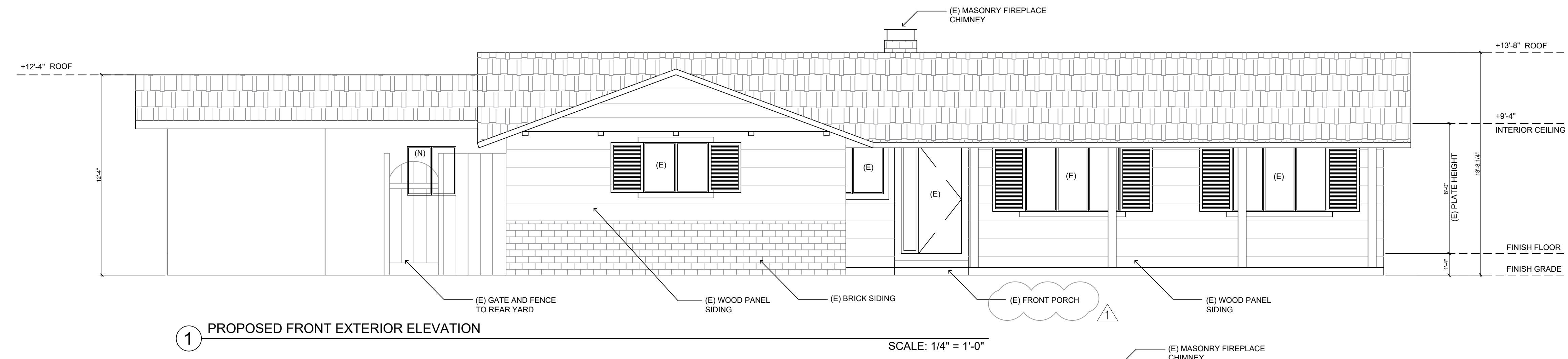


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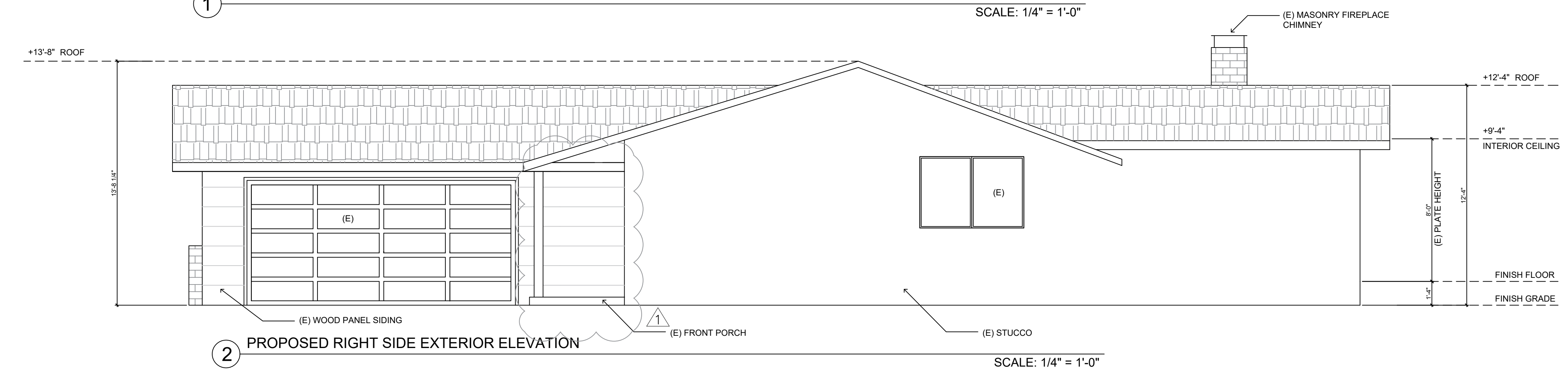
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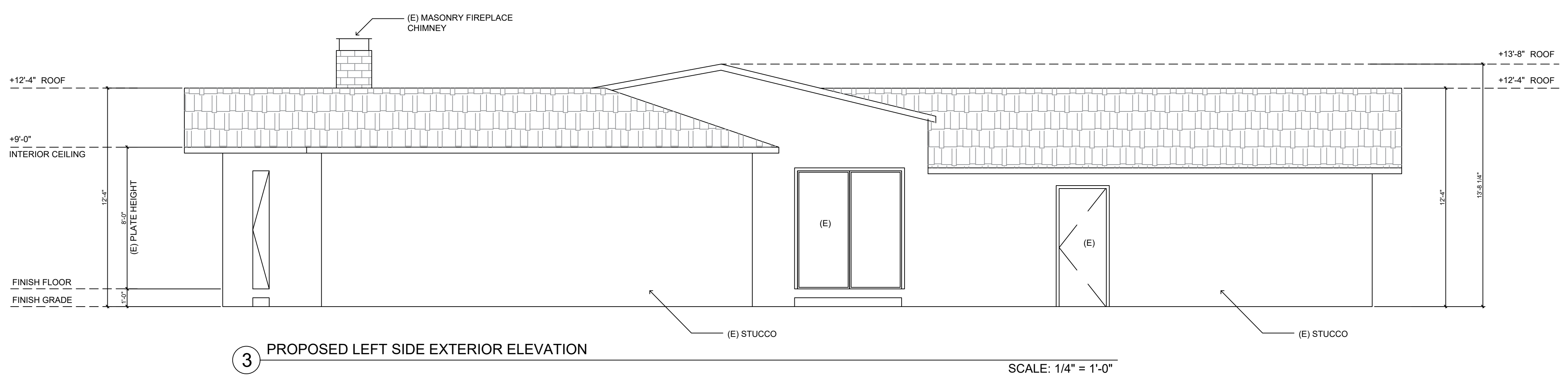
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DRAWING NAME:	PROPOSED EXTERIOR ELEVATIONS
SHEET:	A0.5



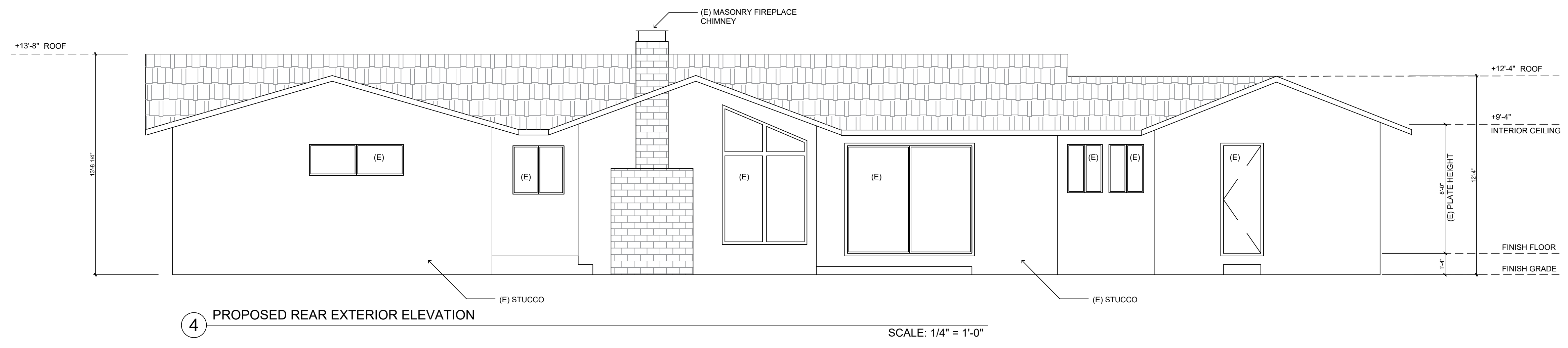
1 PROPOSED FRONT EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



2 PROPOSED RIGHT SIDE EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



3 PROPOSED LEFT SIDE EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



4 PROPOSED REAR EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



1 PROPOSED ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

GENERAL LIGHTING FIXTURE NOTES

1. ALL LIGHTING SHALL BE HIGH EFFICACY AND MEET THE REQUIREMENTS OF SECTION 150.0(K) AND JOINT APPENDIX JA8
2. CAN LIGHT RECESSED INTO INSULATED SPACES ARE TO BE I.C. RATED.
3. ALL FIXTURE, TRIM AND TRACKS AS SELECTED BY OWNER.
4. ALL RECESSED FIXTURES IN SLOPING CEILING SHALL BE "SLOPED CEILING CANS".
5. ELECTRICAL PLACEMENT OF LIGHTING, SWITCHES, AND CONVENIENCE OUTLETS ARE SUGGESTED AND MAY BE AT THE DIRECTION OF THE OWNER.
6. PRIOR TO INSTALLATION ALL ELECTRICAL SHALL BE LOCATED AS PER CODE.
7. LIGHTING IN BATHROOMS, GARAGE, LAUNDRY ROOMS, CLOSETS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY LUMINAIRES.
8. LUMINAIRES RECESSED IN INSULATED CEILINGS SHALL COMPLY WITH THE FOLLOWING
 - 8.1. SHALL BE ZERO CLEARANCE IC LISTED AND CERTIFIED AIR TIGHT.
 - 8.2. BE SEALED WITH GASKET OR CAULK BETWEEN LUMINAIRE HOUSING AND CEILING AND AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES.
 - 8.3. SHALL NOT CONTAIN SCREW BASE SOCKETS.

LIGHTING SCHEDULE

TYPE	SYMBOL	FIXTURE
A		RECESSED WHITE TRIM ROUND LED DOWNLIGHT FIXTURE (WET RATED OVER SHOWER AND TUB)
B		BATHROOM CEILING EXHAUST FAN
C		WALL SCONCE LIGHT FIXTURE
		3-WAY LIGHT SWITCH HIGH EFFICACY LUMINARY
		LIGHT SWITCH HIGH EFFICACY LUMINARY
		DUPLEX OUTLET
		DUPLEX OUTLET GROUND FAULT CIRCUIT INTERCEPTER

GENERAL RCP NOTES

1. ALL JUNCTION BOX, CONDUIT, AND SPEAKER INSTALLATION SHALL MEET CURRENT SEISMIC REQUIREMENTS.
2. SMOKE DETECTORS SHALL BE AUDIBLE IN ALL SLEEPING AREAS (FOR LARGE OR MULTI-STORY STRUCTURES, THIS NORMALLY REQUIRES INTER-CONNECTION OF THE DETECTORS SO THAT ALL DETECTORS ACTIVATE DURING A FIRE). SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP.
3. GENERAL USE LIGHTING IN BATHROOMS AND KITCHENS SHALL BE HIGH EFFICIENCY (MINIMUM 40 LUMENS PER WATT).
4. PROVIDE COMPLIANCE W// THE FOLLOWING ELEC. REQUIREMENT:
 - 4.1. ALL 120-VOLT, 15 - AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS, OR AREA SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER OR COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT PER CEC 210.12(A).
 - 4.2. ALL 125-VOLT, 15 -AND 20-AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER RESISTANT RECEPTACLES PER CEC 406.11.
 - 4.3. RECEPTACLE OUTLETS ON ALL WALLS 2 FEET OR WIDER, NOT MORE THAN 6 FEET FROM A WALL OPENING, AND NOT MORE THAN 12 FEET ON CENTERS PER CEC 210.52.
 - 4.4. PROVIDE EXHAUST FAN KITCHEN AREA FOR LOCAL VENTILATION INDOOR AIR QUALITY REQUIREMENTS PER 2016 CALIFORNIA ENERGY CODE SECTION 150(P) AND ASHRAE 62.2 OTHERWISE SPECIFY KITCHEN HOOD RANGE TO BE 100 CFM MINIMUM.
 5. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND BE EITHER ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING OR MUST BE CONTROLLED BY HUMIDITY CONTROL PER CGBC 4.506.1.

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SHEET:	A0.6