



Meeting Date: June 25, 2020

File No.(s): **PLN2020-14310**
 Location: **2980 Miles Drive**, a 6,000 square-foot lot located on the south side of Miles Drive, APN: 290-25-070; property is zoned Single-Family Residential (R1-6L)

Applicant: Architects SF, Inc
 Owner: Esther Lee
 Request: **Architectural Review** of a 896 square-foot (sf) first floor and second floor addition to an existing 1,126 square-foot three-bedroom, two-bathroom with 120 sf porch single-story residence and 392 sf attached two-car garage resulting in a 2,022 square-foot four-bedroom, two and half-bathroom residence with 66 sf porch and an existing 386 sf attached two-car garage. (*The project includes a new attached 303 sf studio accessory dwelling unit that will be approved administratively.*)

Mailing Radius: 300 feet
 CEQA Determination: Categorical Exemption per CEQA 15301(e)(1), Existing Facilities
 Project Planner: Ela Kerachian, Associate Planner
 Staff Recommendation: **Approve**, subject to Conditions

Project Data

Lot Size: 6000, sf.	Existing Floor Area (sq. ft.)	Proposed New Building (sq. ft.)	Proposed Floor Area (sq.ft.)
First Floor	1,126	337	1,463
Second Floor	n/a	559	559
Porch cover	120	-	66
Garage	392	-	386
Gross Floor Area	1,638		2,474
Lot Coverage	1,638/6,000= %27		1,915/6,000= %32
F.A.R.	0.27		0.41
% of 2nd floor to 1st floor	n/a		%29
Bedrooms/Baths	3/2		4/2.5
ADU	-		303

Points for consideration

- The neighborhood is comprised of single- and two-story residential structures.
- 300-foot neighborhood notice was distributed for this project review.
- There are no active City code enforcement cases for this property

Findings supporting the Staff Recommendation

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*

- The proposal provides the required two covered parking spaces with an existing two-car garage.
 - The required parking spaces are not located in the required front yard or side yard landscaped areas.
 - The proposed project provides areas surfaced with all-weather materials for parking of vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
- There is no expansion of the parking or intensification of use that would significantly cause increased traffic congestion or hazards.
 - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
- The development is a second-story addition to an existing single-family residence that is in keeping with the scale with the appearance of the existing neighborhood and tract. Two-story high walls are common in the neighborhood, and per the design guidelines the proposed second-floor walls maintain a roof segment for at least of 50% of the building perimeter.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
- Privacy for neighbors is maintained as the design maintains the required setbacks and ratio of 2nd to 1st floor.
 - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*
- The architectural features of the proposed second-story addition is true to the architectural form and appropriate for the neighborhood.

Conditions of Approval:

- 1) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, lighting and signage.
- 2) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.

Development Review Hearing

Address: 2980 Miles Drive

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- 3) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 4) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.

HOUSE ADDITION & ADU ADDITION

2980 Miles Dr., Santa Clara CA 94122

APN: 290-25-070

SCOPE OF WORK

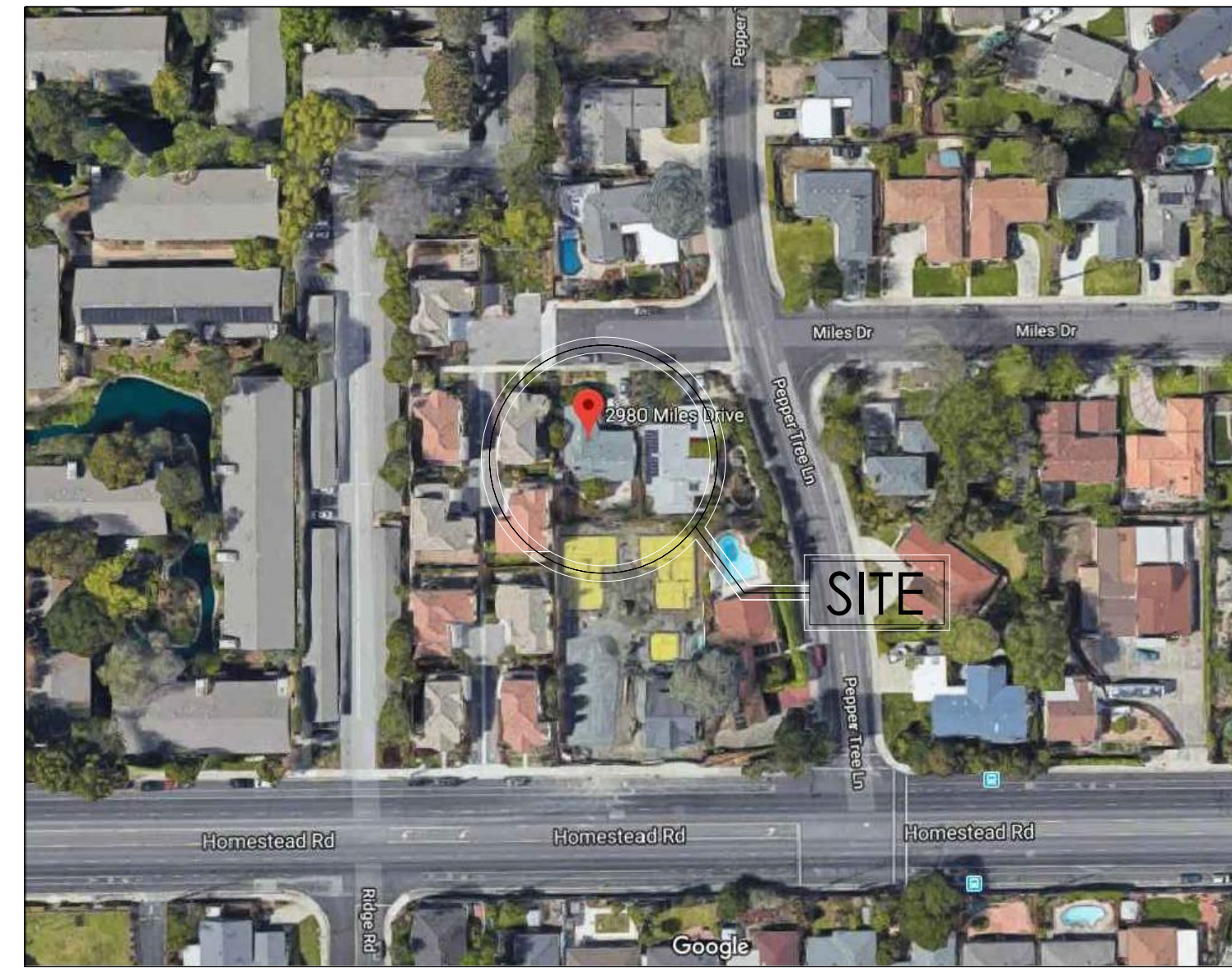
- GROUND FLOOR REMODEL & EXPANSION
- IN-LAW UNIT AT EXISTENT GARAGE
- NEW SECOND FLOOR WITH TWO BEDROOMS

SYMBOLS LEGEND

- NEW GYPSUM BOARD WALL (SEE DESCRIPTION NOTES FOR CLASSIFICATION)
- EXISTING WALL
- EXISTING WALL TO BE DEMOLISHED
- INDICATES DETAIL NUMBER
- INDICATES NUMBER OF SHEET DESIGNATION
- INDICATES INTERIOR ELEVATION NUMBER
- INDICATES NUMBER OF SHEET DESIGNATION
- INDICATES ROOM SPACES NUMBER
- INDICATES ROOM FINISH NUMBER (REFER TO DRAWING FOR SCHEDULE OR DETAILS)
- DOORS IDENTIFICATION NUMBER (REFER TO DRAWING A600 FOR SCHEDULE)
- WINDOWS IDENTIFICATION LETTER (REFER TO DRAWING A600 FOR SCHEDULE)
- INDICATES WALL TYPE NUMBER FOR DETAILS (REFER TO DRAWING FOR SCHEDULE OR DETAILS)
- INDICATES DEMOLITION NOTE NUMBER
- INDICATES EQUIPMENT NUMBER
- INDICATES ROOF OR FLOOR SLOPE
- FINISH FLOOR LEVEL CHANGE
- FINISH FLOOR LEVEL CHANGE
- FINISHED FLOOR ELEVATION
- INDICATES FINISH FLOOR LEVEL CHANGE (EXACT LOCATION TO BE COORDINATED IN THE FIELD WITH ARCH./ENG.)
- GROUND FLOOR LEVEL ELEVATION (LEVEL LINE OF FINISHED FLOOR ELEVATION INDICATES NAME AND HEIGHT OF LEVELS)
- EXISTING BUILDING AXIS
- INDICATES NORTH OF SITE

SHEET LIST:	
GENERAL	
G-000	TITLE, COVER SHEET & SHEET INDEX
ARCHITECTURE DRAWINGS	
AB-100	PROPOSED SITE PLAN
AB-101	EXISTING SITE PLAN
A-100	EXISTING DEMO & PROPOSED GROUND FLOOR
A-102	EXISTING & PROPOSED SECOND FLOOR
A-103	PROPOSED ROOF PLAN
A-200	EXISTING & PROPOSED FRONT ELEVATIONS
A-201	EXISTING & PROPOSED REAR ELEVATIONS
A-202	EXISTING & PROPOSED RIGHT ELEVATIONS
A-203	EXISTING & PROPOSED LEFT ELEVATIONS
A-300	PROPOSED SECTIONS

AERIAL VIEW



APPLICABLE CODES	
2019 EDITION OF TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR)	
PART 1 - CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE	
PART 2 - CALIFORNIA BUILDING CODE	
PART 3 - CALIFORNIA ELECTRICAL CODE	
PART 4 - CALIFORNIA MECHANICAL CODE	
PART 5 - CALIFORNIA PLUMBING CODE	
PART 6 - CALIFORNIA ENERGY CODE	
PART 9 - CALIFORNIA FIRE CODE	
PART 10 - CALIFORNIA EXISTING BUILDING CODE	
PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGreen Code)	
PART 12 - CALIFORNIA REFERENCE STANDARDS CODE	
CITY OF SANTA CLARA MUNICIPAL CODE	

OWNER	
NAME	JIMMY & ESTHER LEE
DIRECTION	2980 MILES DR., SANTA CLARA CA, 94122
EMAIL	jl1316@yahoo.com elee@dnanexus.com
TELEPHONE	
TEAM	
ARCHITECT-SF	FRANCISCO MATOS
DIRECTION	1390 MARKET ST., SAN FRANCISCO, CA 94102
TELEPHONE	415-519-4954
EMAIL	francisco@architect-sf.com
WEB	http://www.architect-sf.com

PROJECT DATA	
ADDRESS	2980 MILES DR., SANTA CLARA, CA 95051
APN	290-25-070
LOT SIZE	6,000.00 SQ.FT.

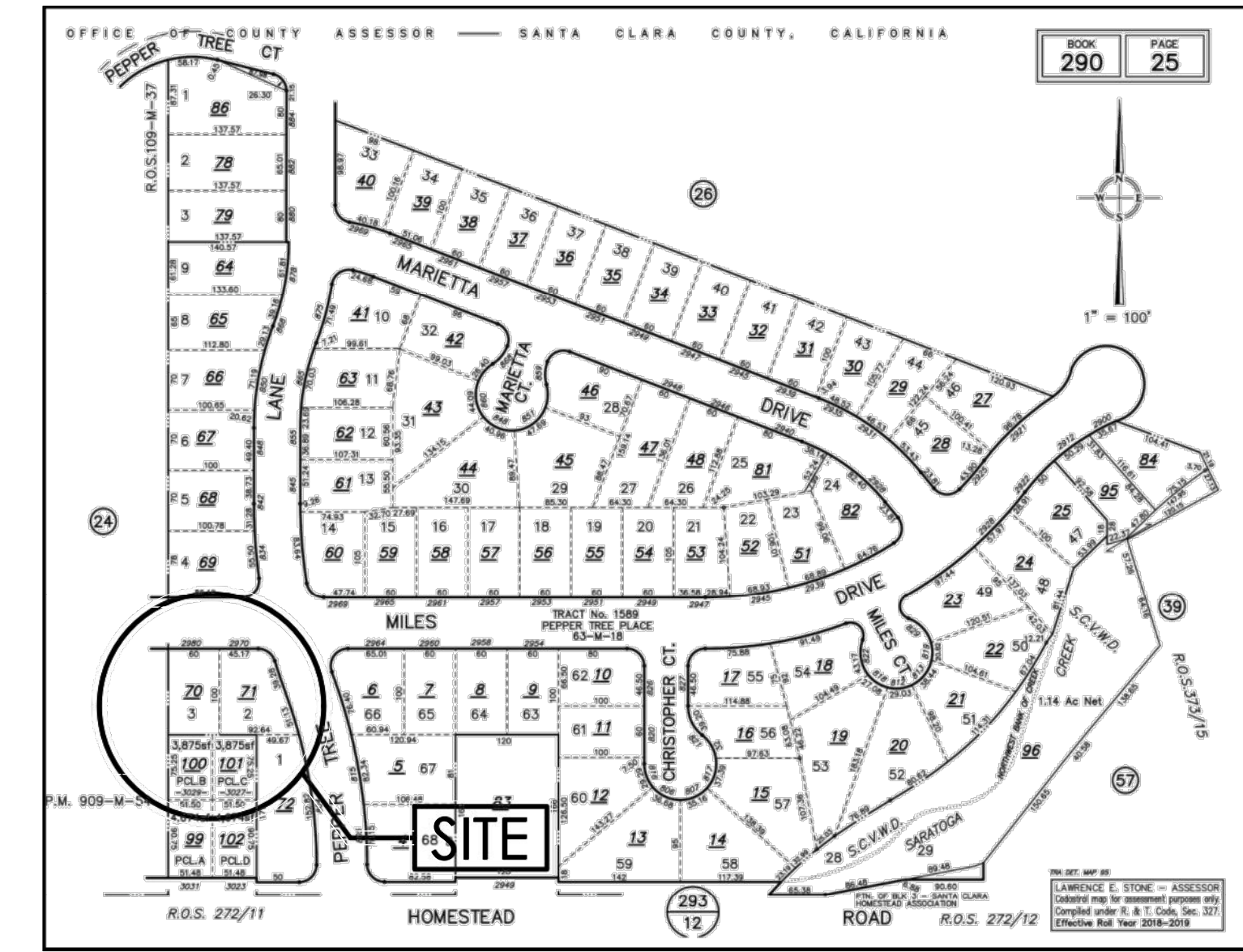
ZONING INFORMATION	
ZONING DISTRICT	R1-6L
OCCUPANCY TYPE	R3 U
CONSTRUCTION TYPE	VB

BUILDING INFORMATION	
EXISTING LOT COVERAGE	32.2%
PROPOSED LOT COVERAGE	35.9% (<40%)
EXIST. BUILDING HEIGHT	14'-6" HEIGHT.
PROP. BUILDING HEIGHT	23'-1" HEIGHT
(E) STORIES	1
(E) UNIT	1
(P) STORIES	2
(P) UNITS	2
FIRE PROTECTION	NON-SPRINKLERED
(E) TOTAL SQ.FT.	1,246 SQ.FT.
(P) ADDITION	1,145 SQ.FT.
(P) TOTAL SQ.FT.	2,391 SQ.FT.

GENERAL NOTES

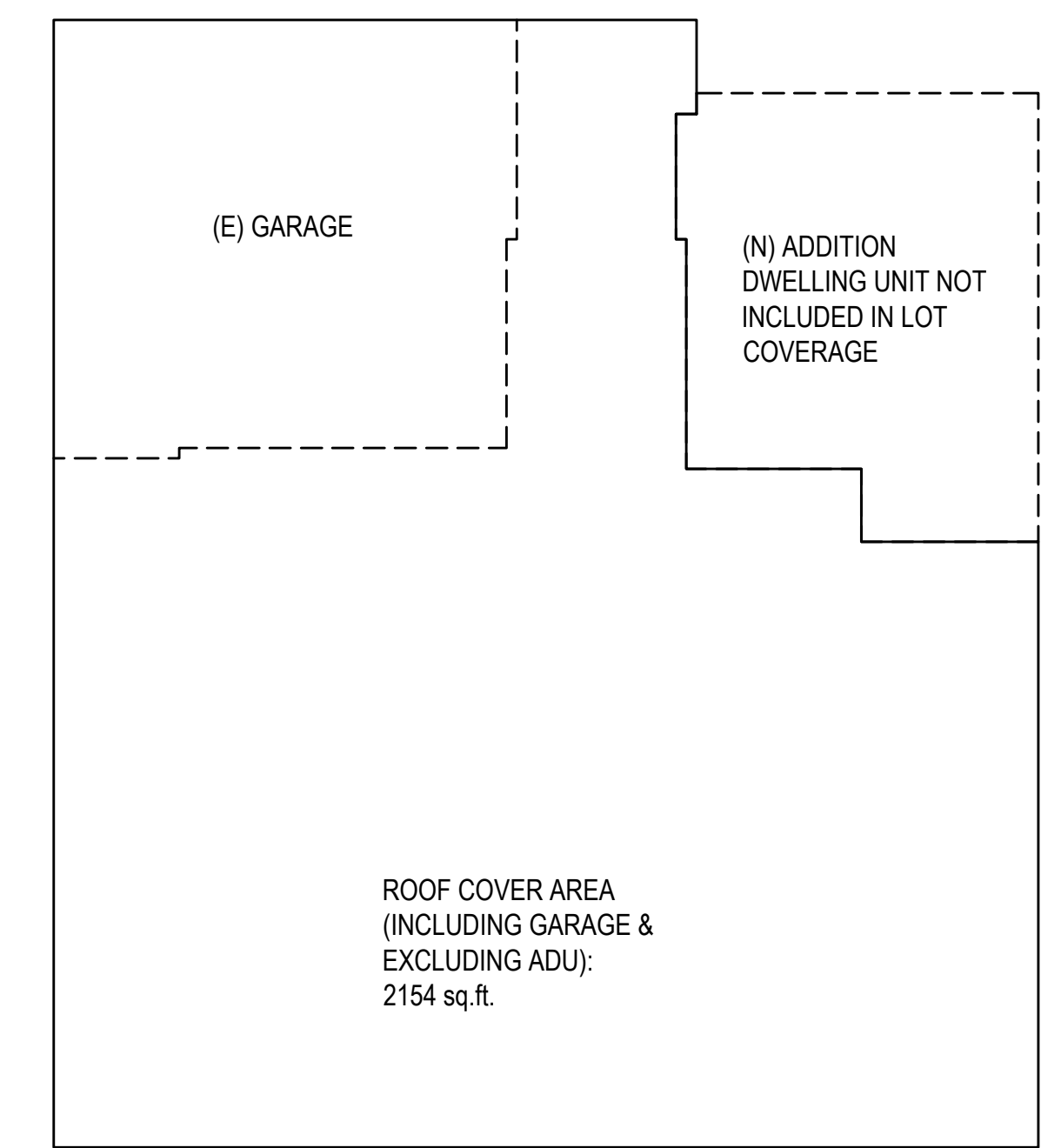
- CONTRACTOR SHALL VISIT THE SITE AND ACQUAINT THEMSELVES WITH THE CONDITIONS AS THEY ACTUALLY EXIST AND VERIFY LOCATIONS, CONDITIONS AND DETAILS REQUIRED TO COMPLETE THE WORK.
- DISPOSAL SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL USE MATERIALS THAT ARE COMPATIBLE TO EXISTING MATERIALS AND COMPLY WITH APPLICABLE REGULATIONS. BEFORE PROCEEDING, EXAMINE THE SURFACES TO BE MODIFIED AND THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. IF UNSAFE OR OTHERWISE UNSATISFACTORY CONDITIONS ARE ENCOUNTERED, TAKE CORRECTIVE ACTION BEFORE PROCEEDING WITH THE WORK. CUT USING SMALL POWER TOOLS DESIGNED FOR SAWING OR GRINDING, NOT HAMMERING AND CHOPPING. RESTORE FINISHES OF PATCHED AREAS AND, WHERE NECESSARY, EXTEND FINISH RESTORATION INTO ADJOINING SURFACES.
- ALL MATERIAL SHALL BE INSTALLED WITH THE APPROVAL OF THE AUTHORITY HAVING JURISDICTION AND IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT THE SITE AND SHALL VERIFY ALL MEASUREMENTS.
- EXISTING OPENING FRAME SHALL REMAIN UNALTERED. ALL NEW WINDOWS OR DOORS SHALL FIT THE EXISTING ROUGH OPENING.
- PERFORM ALL WORK IN A WORKMANLIKE MANNER. CONTRACTOR TO REPLACE OR REPAIR ANY DAMAGE TO EXISTING AREAS TO REMAIN, AS DETERMINED BY THE OWNER.

SQUAREFOOTAGE:		
(E)	GARAGE	392 SQ.FT.
(E)	FIRST FLOOR	1,246 SQ.FT.
(P)	GARAGE	386 SQ.FT.
(P)	FIRST FLOOR	1,832 SQ.FT.
(P)	SECOND FLOOR	559 SQ.FT.
	TOTAL	2,391 SQ.FT.

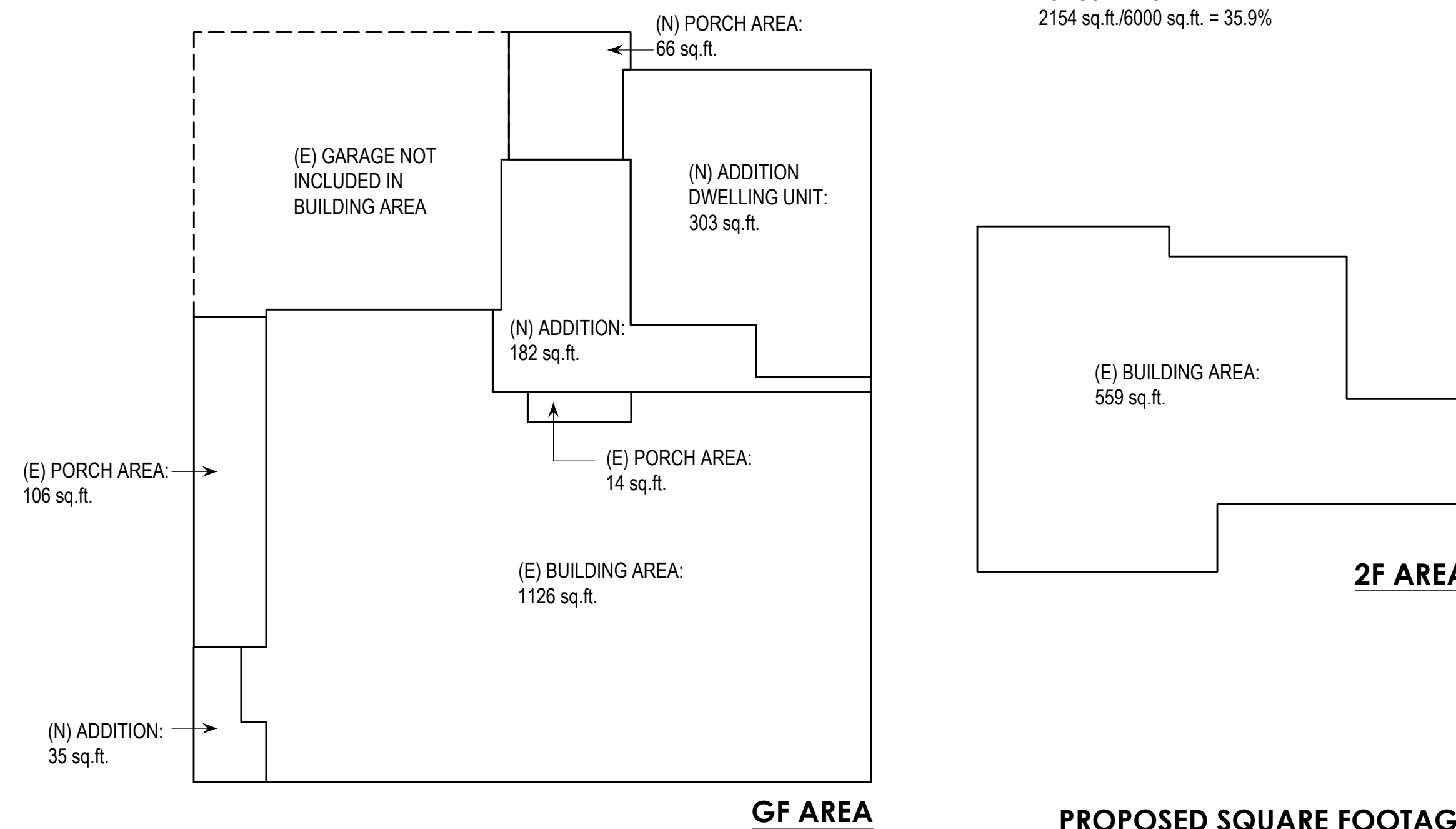


BLOCK MAP

AREA DIAGRAM



PROPOSED LOT COVERAGE
 LOT COVERAGE: 2154 sq.ft./6000 sq.ft. = 35.9%
 SCALE: 1/16"=1'-0"



PROPOSED SQUARE FOOTAGE
 TOTAL BUILDING AREA: 2391 sq.ft.
 SCALE: 1/16"=1'-0"

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 e.: francisco@architect-sf.com
 w.: www.architect-sf.com



Revisions	
Project No.:	
Set Date:	
Drawn by:	
Dwg. Date:	

RESIDENTIAL VERTICAL EXPANSION
 2980 MILES DRIVE, SANTA CLARA, CA 95051
 APN: 290-25-070

Project Title:
 Drawing Title:
 Sheet:

G000

TITLE, COVER SHEET AND INDEX

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SCOPE OF WORK

1. GROUND FLOOR REMODEL & EXPANSION
2. IN-LAW UNIT AT EXISTENT GARAGE
3. NEW SECOND FLOOR WITH TWO BEDROOMS

SYMBOLS LEGEND

NEW GYPSUM BOARD WALL (SEE DESCRIPTION NOTES FOR CLASSIFICATION)

EXISTING WALL

EXISTING WALL TO BE DEMOLISHED

INDICATES DETAIL NUMBER

INDICATES NUMBER OF SHEET DESIGNATION

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INDICATES EQUIPMENT NUMBER

% SLOPE

FINISH FLOOR LEVEL CHANGE

FINISH FLOOR LEVEL CHANGE

FINISHED FLOOR ELEVATION

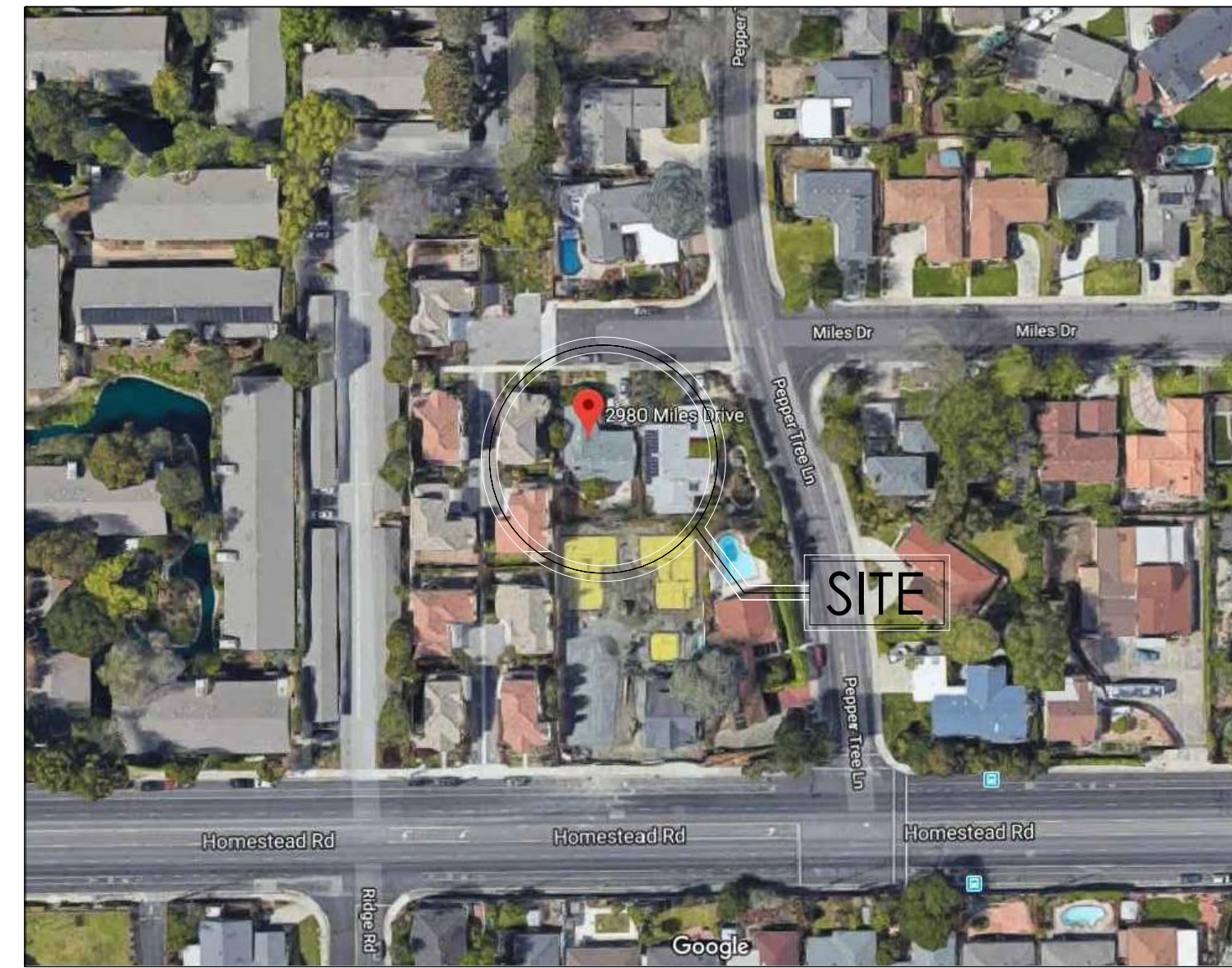
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GROUND FLOOR LEVEL LINE OF FINISHED FLOOR ELEVATION INDICATES NAME AND HEIGHT OF LEVELS

EXISTING BUILDING AXIS

INDICATES NORTH OF SITE

AERIAL VIEW



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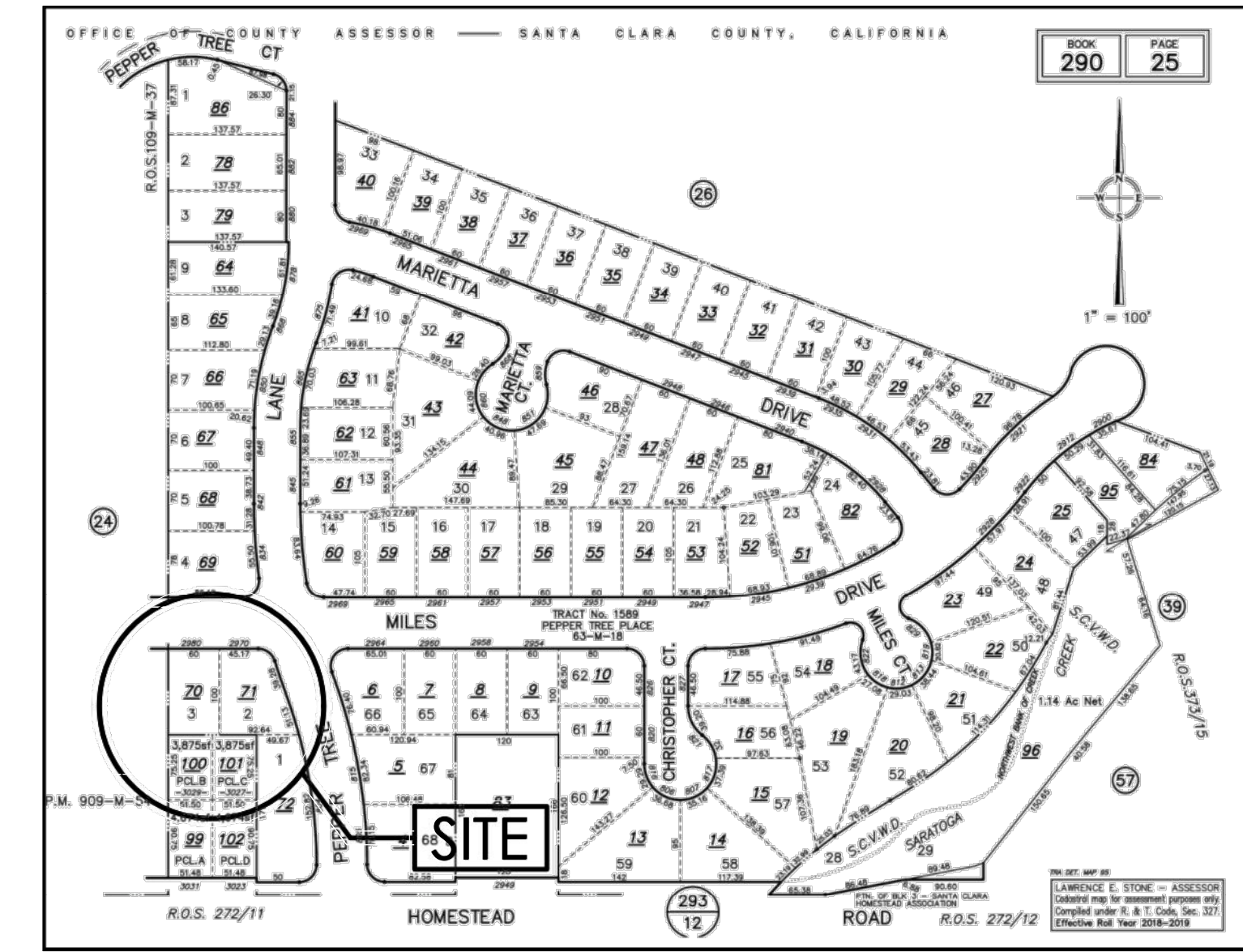
ZONING INFORMATION	
ZONING DISTRICT	R1-6L
OCCUPANCY TYPE	R3 U
CONSTRUCTION TYPE	VB

BUILDING INFORMATION	
EXISTING LOT COVERAGE	25.3%
PROPOSED LOT COVERAGE	30.8% (<40%)
EXIST. BUILDING HEIGHT	14'-6" HEIGHT.
PROP. BUILDING HEIGHT	23'-1" HEIGHT
(E) STORIES	1
(E) UNIT	1
(P) STORIES	2
(P) UNITS	2
FIRE PROTECTION	NON-SPRINKLERED
(E) TOTAL SQ.FT.	1,246 SQ.FT.
(P) ADDITION	1,145 SQ.FT.
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GENERAL NOTES

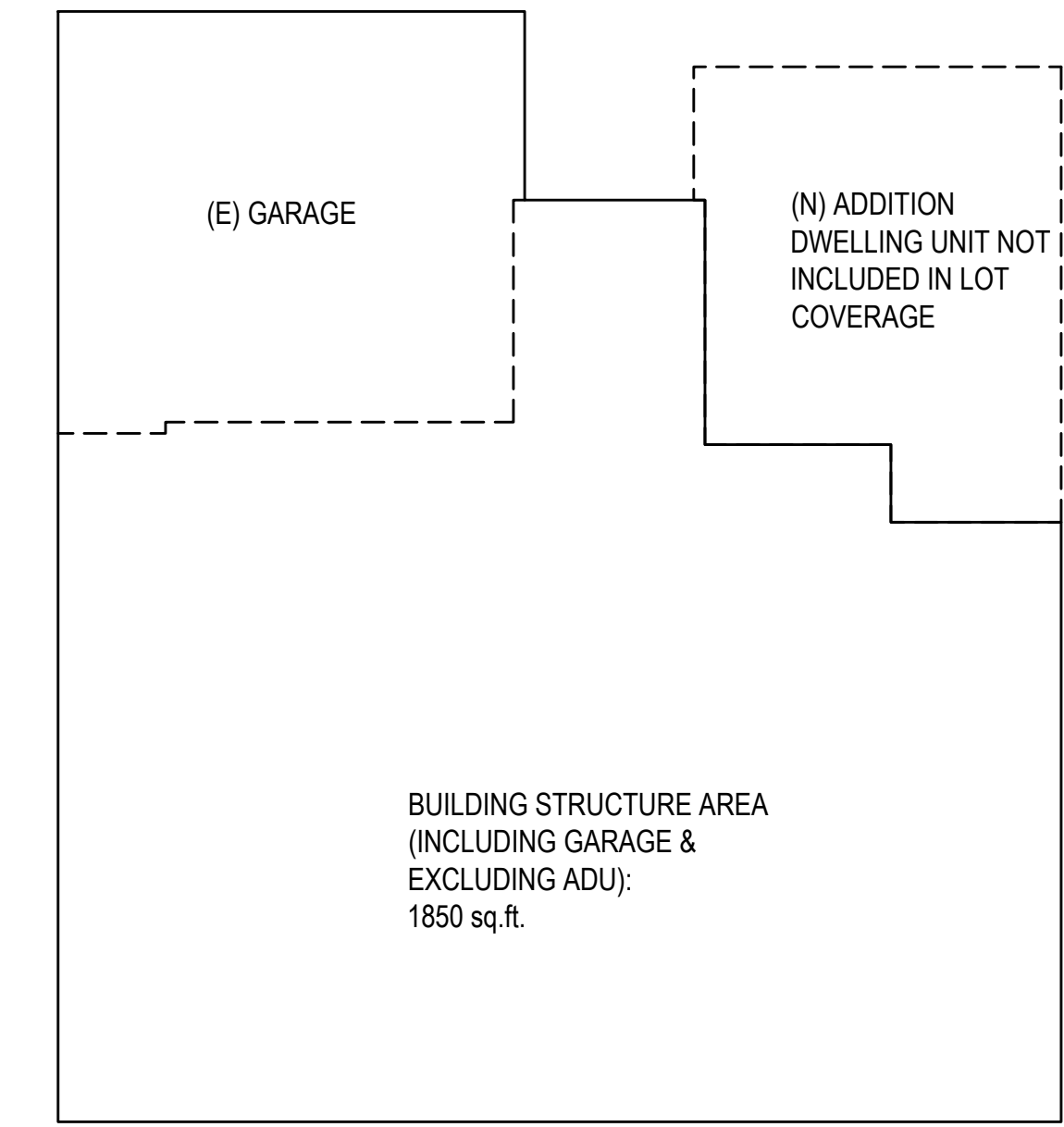
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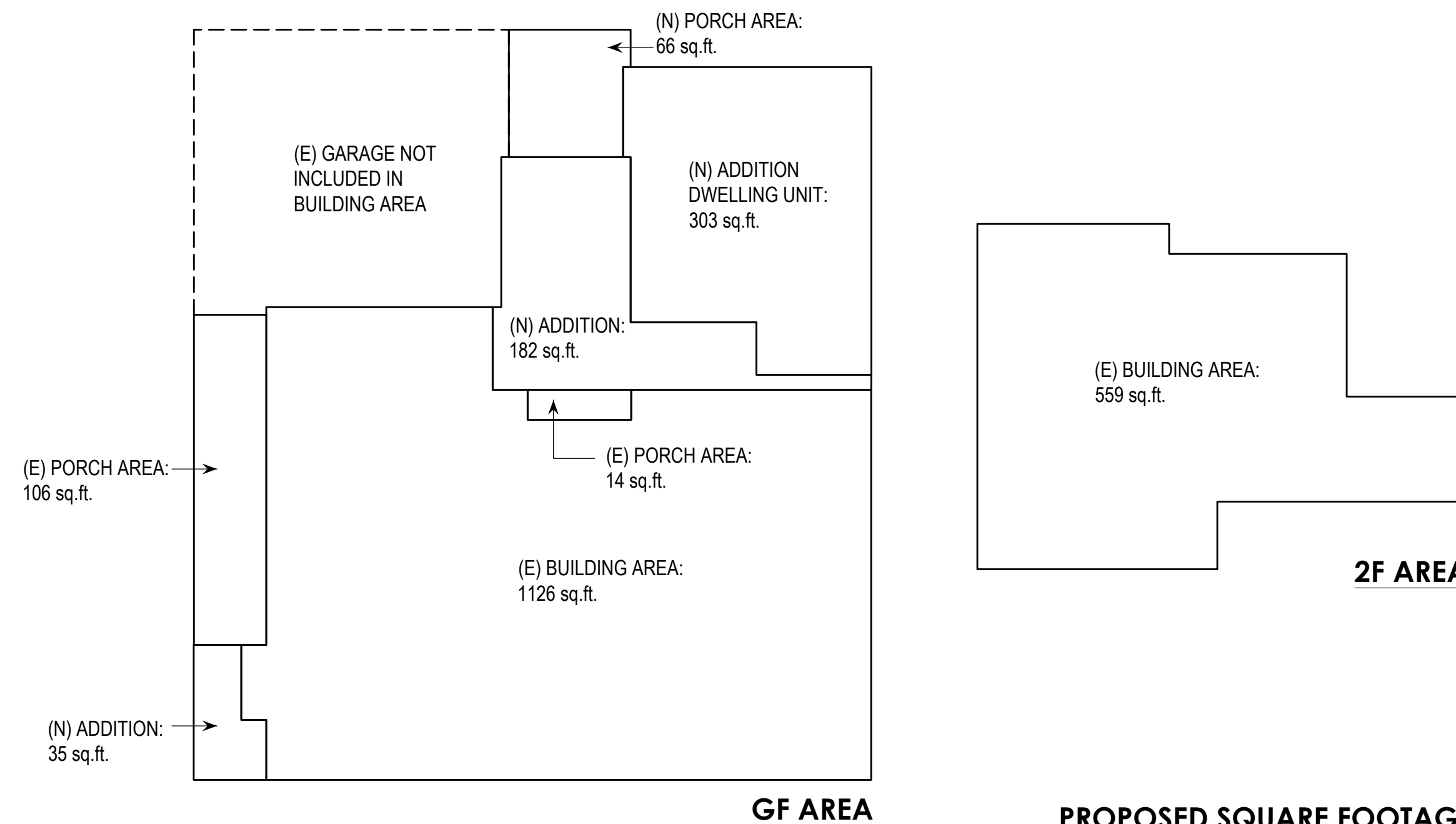


BLOCK MAP

AREA DIAGRAM



PROPOSED LOT COVERAGE
 LOT COVERAGE : 1850 sq.ft./6000 sq.ft. = 30.8%
 SCALE: 1/16"=1'-0"



GF AREA

PROPOSED SQUARE FOOTAGE
 TOTAL BUILDING AREA: 2391 sq.ft.
 SCALE: 1/16"=1'-0"

SHEET LIST:	
GENERAL	
G-000	TITLE, COVER SHEET & SHEET INDEX
ARCHITECTURE DRAWINGS	
AB-100	PROPOSED SITE PLAN
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A-100	EXISTING DEMO & PROPOSED GROUND FLOOR
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A-103	PROPOSED ROOF PLAN
A-200	EXISTING & PROPOSED FRONT ELEVATIONS
A-201	EXISTING & PROPOSED REAR ELEVATIONS
A-202	EXISTING & PROPOSED RIGHT ELEVATIONS
A-203	EXISTING & PROPOSED LEFT ELEVATIONS
A-300	PROPOSED SECTIONS

Project No.:
 Set Date:
 Drawn by:
 Dwg. Date:

Revisions

Project Title:
RESIDENTIAL VERTICAL EXPANSION
 2980 MILES DRIVE, SANTA CLARA, CA 95051
 APN: 290-25-070

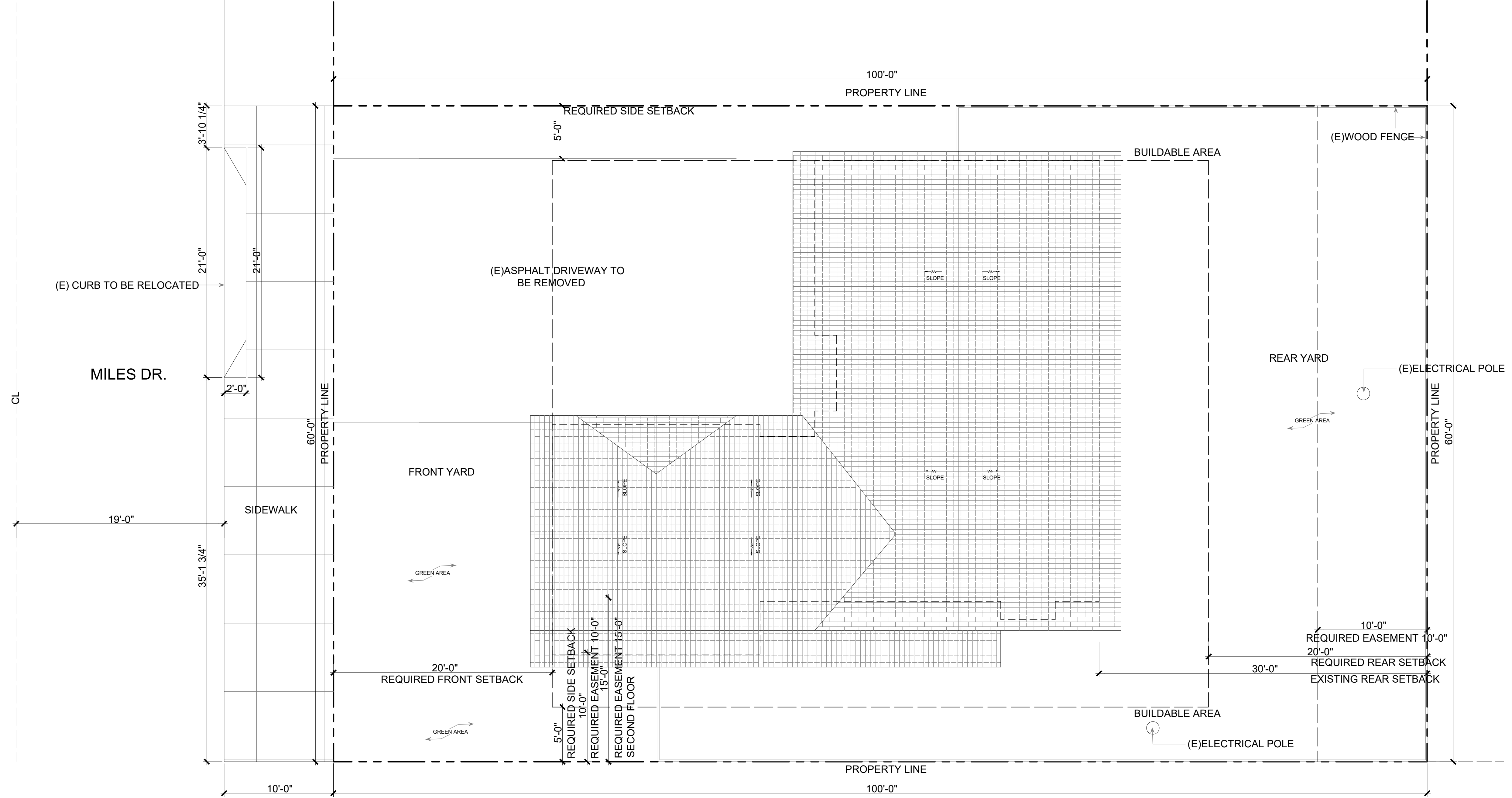
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ARCHITECT SF

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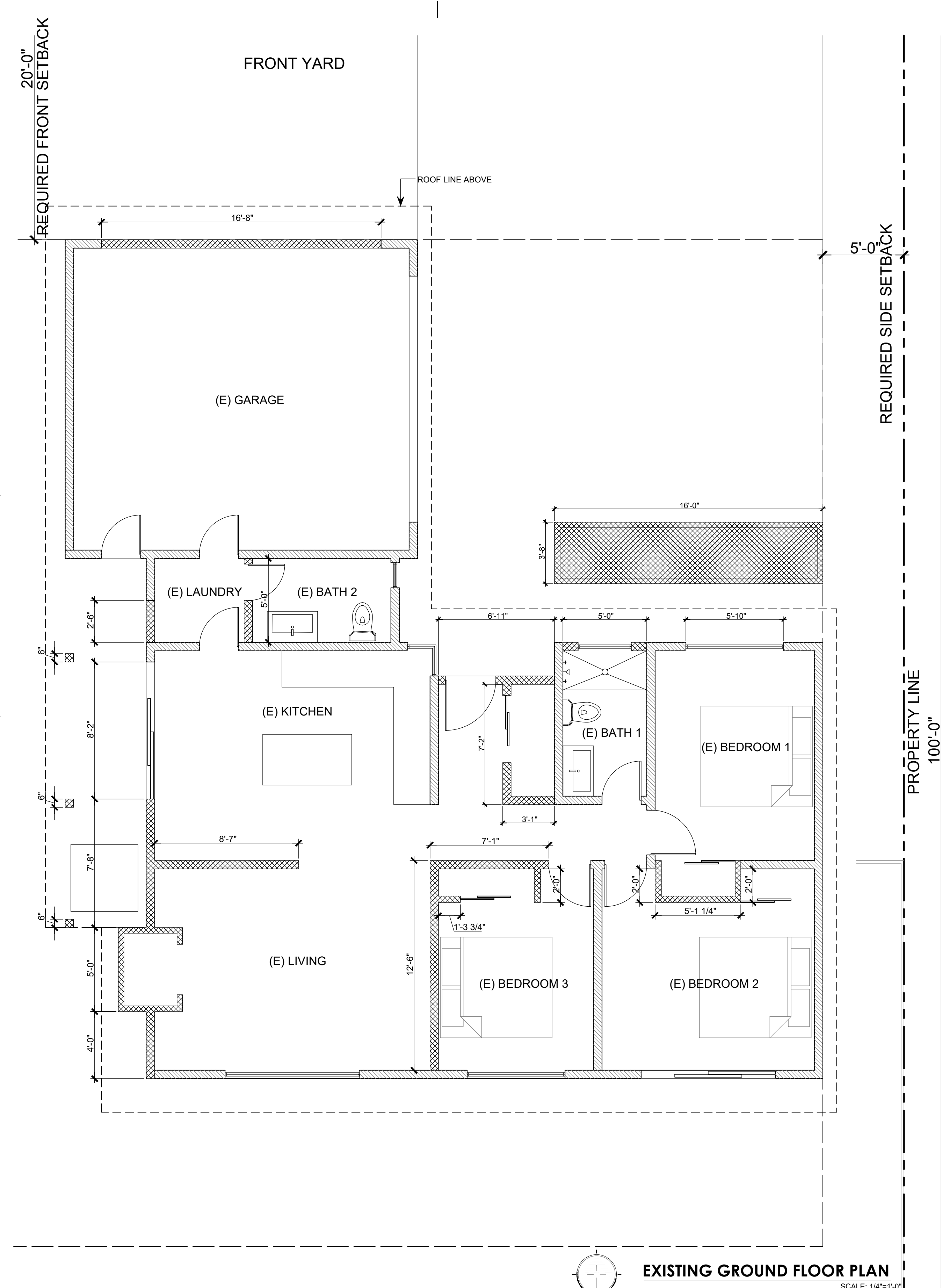
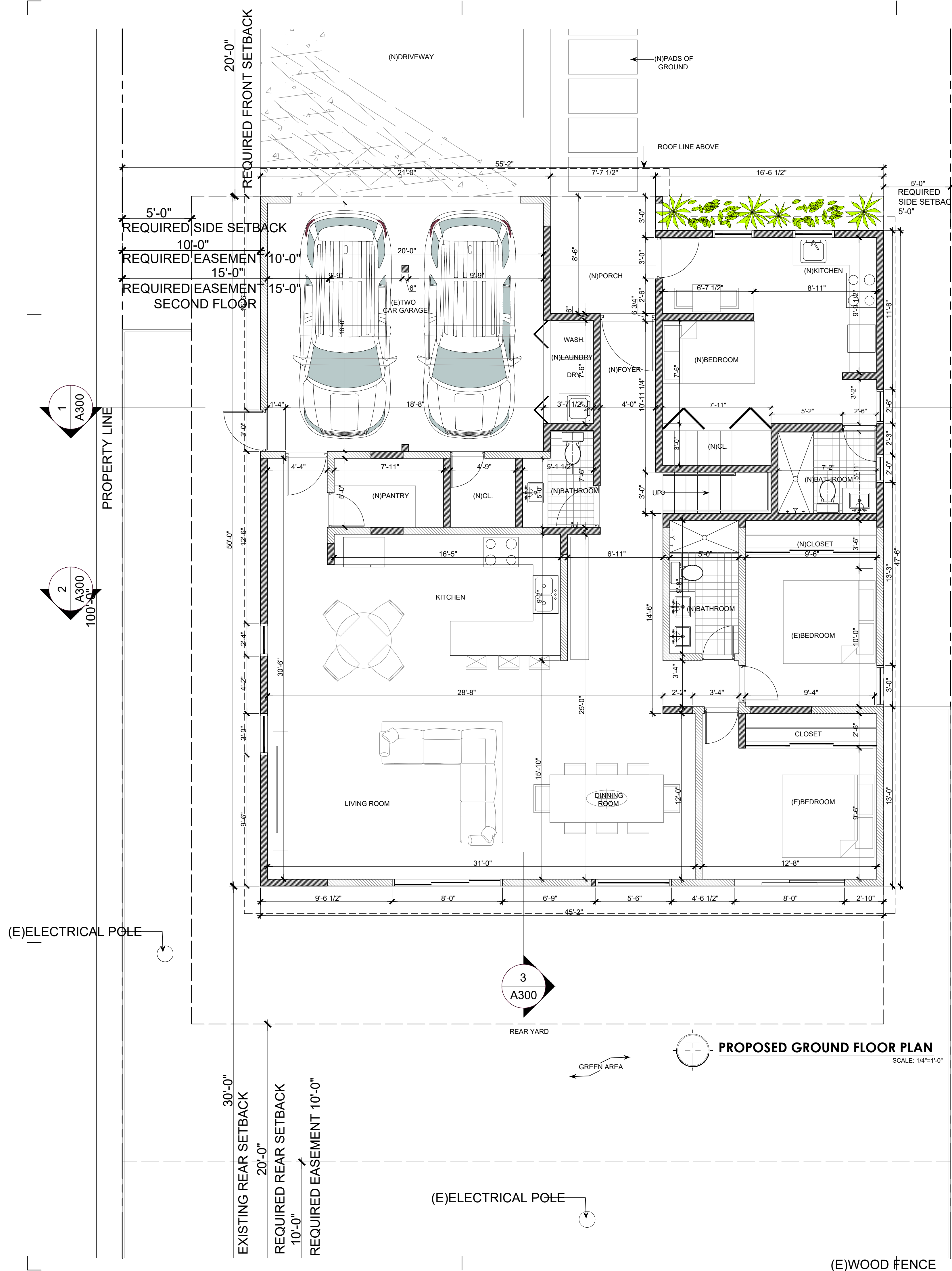
EXISTING SITE PLAN
SCALE: 3/16"=1'-0"

Revisions

No.	Description	Date

Project Title:
RESIDENTIAL VERTICAL EXPANSION
 2980 MILES DRIVE, SANTA CLARA, CA 95051
 APN: 290-25-070

Drawing Title:
EXISTING SITE PLAN



DEMOLITION LEGEND:

- TO BE DEMOLISHED OR MODIFIED
- (E) WALL TO BE DEMOLISHED
- NEW GYPSUM BOARD WALL (SEE DESCRIPTION NOTES FOR CLASSIFICATION)
- EXISTING WALL
- EXISTING WALL TO BE DEMOLISHED

DEMOLITION GENERAL NOTES:

1. CONTRACTOR SHALL VISIT THE SITE AND ACQUAINT HIMSELF WITH THE CONDITIONS AS THEY ACTUALLY EXIST AND VERIFY LOCATIONS, CONDITIONS AND DETAILS REQUIRED TO COMPLETE THE WORK.
2. DISPOSAL SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL LAWS.
3. THE CONTRACTOR SHALL USE MATERIALS THAT ARE COMPATIBLE TO EXISTING MATERIALS AND COMPLY WITH APPLICABLE REGULATIONS. BEFORE PROCEEDING, EXAMINE THE SURFACES TO BE MODIFIED AND THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. IF UNSAFE OR OTHERWISE UNSATISFACTORY CONDITIONS ARE ENCOUNTERED, TAKE CORRECTIVE ACTION BEFORE PROCEEDING WITH THE WORK. CUT USING SMALL POWER TOOLS DESIGNED FOR SAWING OR GRINDING, NOT HAMMERING AND CHOPPING, RESTORE FINISHED OF PATCHED AREAS AND, WHERE NECESSARY, EXTEND FINISH RESTORATION INTO ADJOINING SURFACES.
4. ALL REMOVAL SHALL BE PERFORMED WITH THE APPROVAL OF THE AUTHORITY HAVING JURISDICTION AND IN ACCORDANCE WITH STANDARDS.
5. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AT THE SITE AND SHALL VERIFY ALL MEASUREMENTS.
6. PERFORM ALL WORK IN A WORKMANLIKE MANNER. CONTRACTOR TO REPLACE OR REPAIR ANY DAMAGE TO EXISTING AREAS TO REMAIN, AS DETERMINED BY THE OWNER. SALVAGE ALL REMOVED ITEMS, SUCH AS LIGHTING FIXTURES, TO BE DISPOSED AS PER OWNER REQUEST.

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ARCHITECT SF

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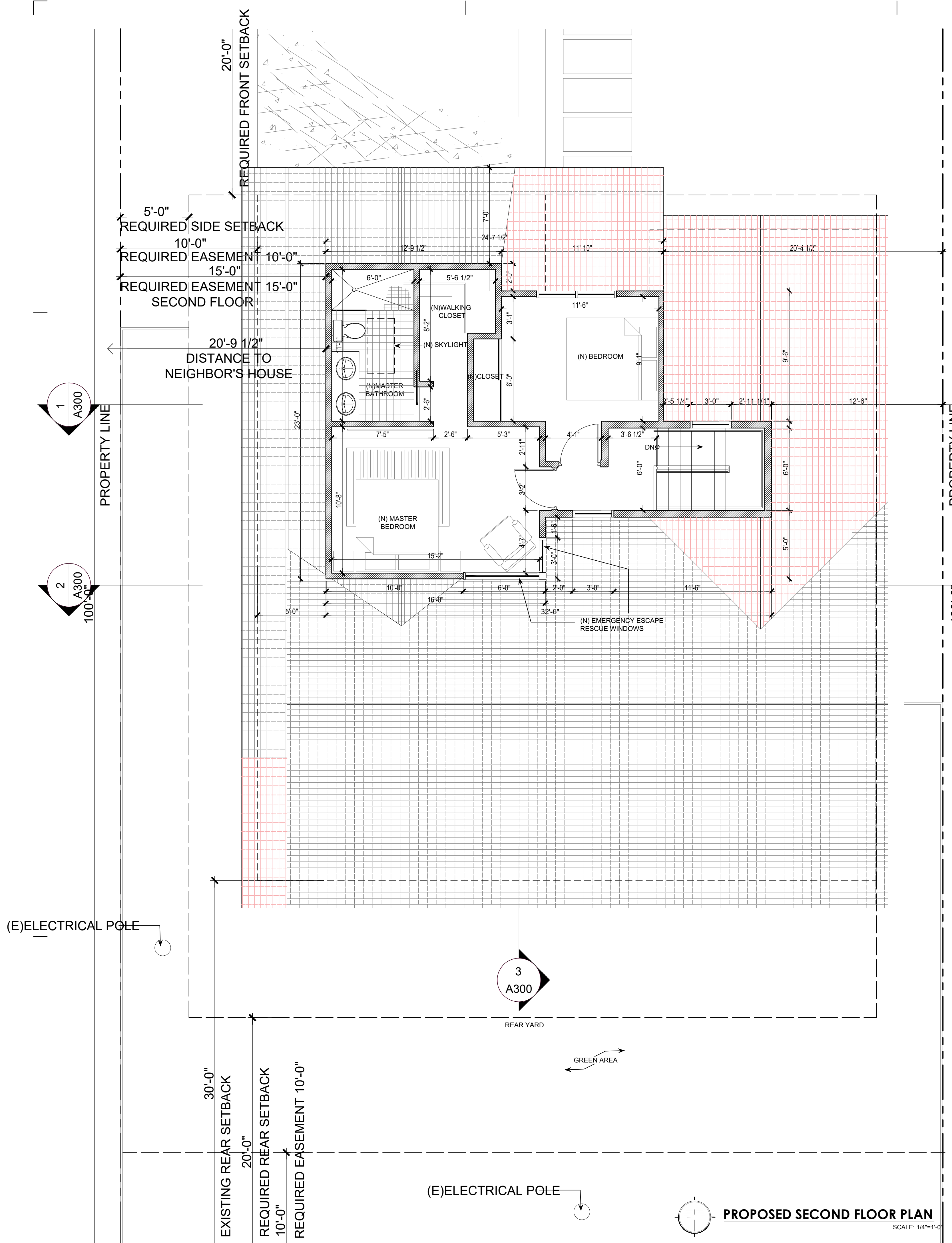
Project No.:
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Revisions

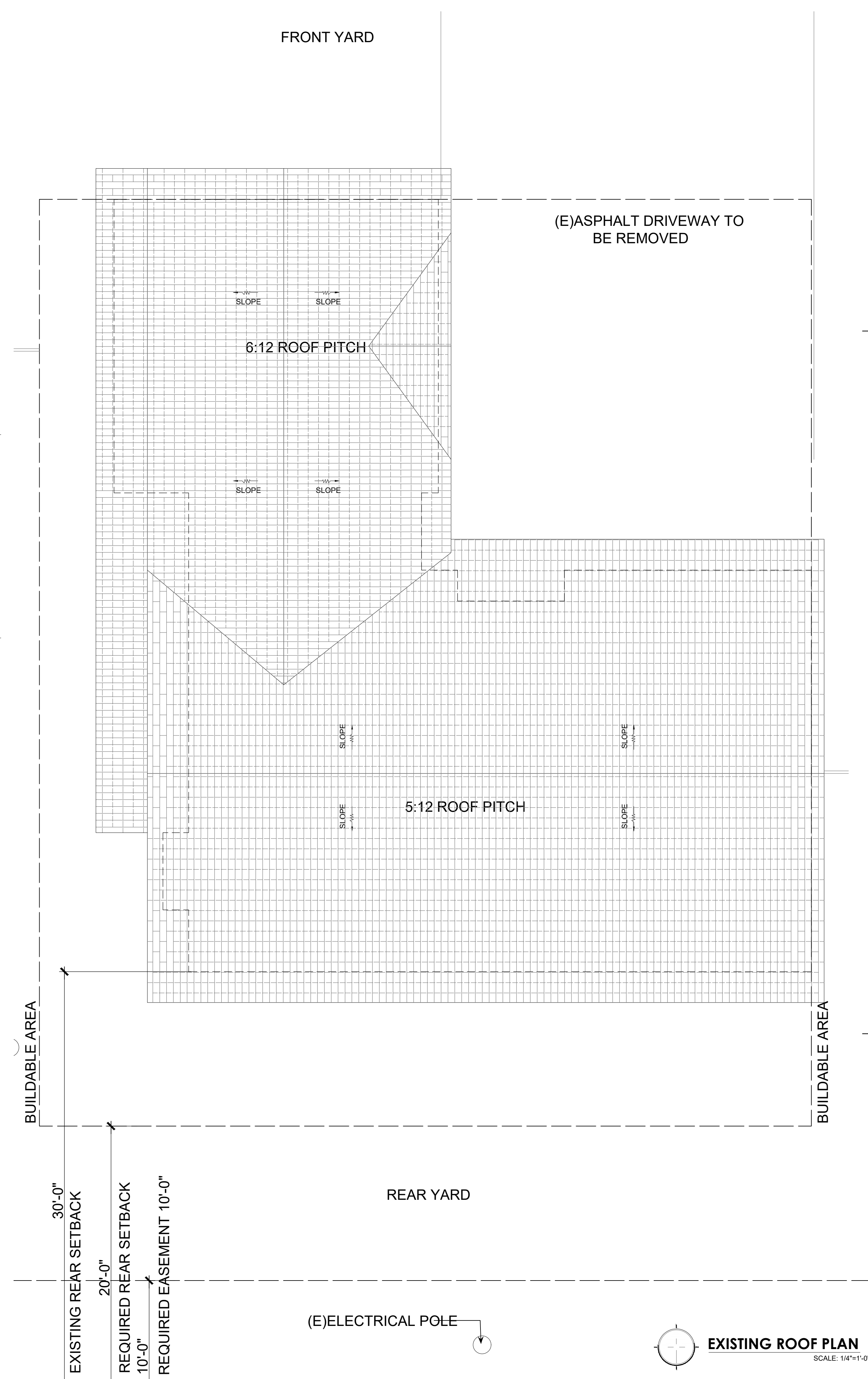
RESIDENTIAL VERTICAL EXPANSION
2980 MILES DRIVE, SANTA CLARA, CA 95051
APN: 290-25-070

Project Title:
EXISTING & PROPOSED GROUND FLOOR PLAN

A101



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



EXISTING ROOF PLAN
SCALE: 1/4"=1'-0"

Project Title: **RESIDENTIAL VERTICAL EXPANSION**
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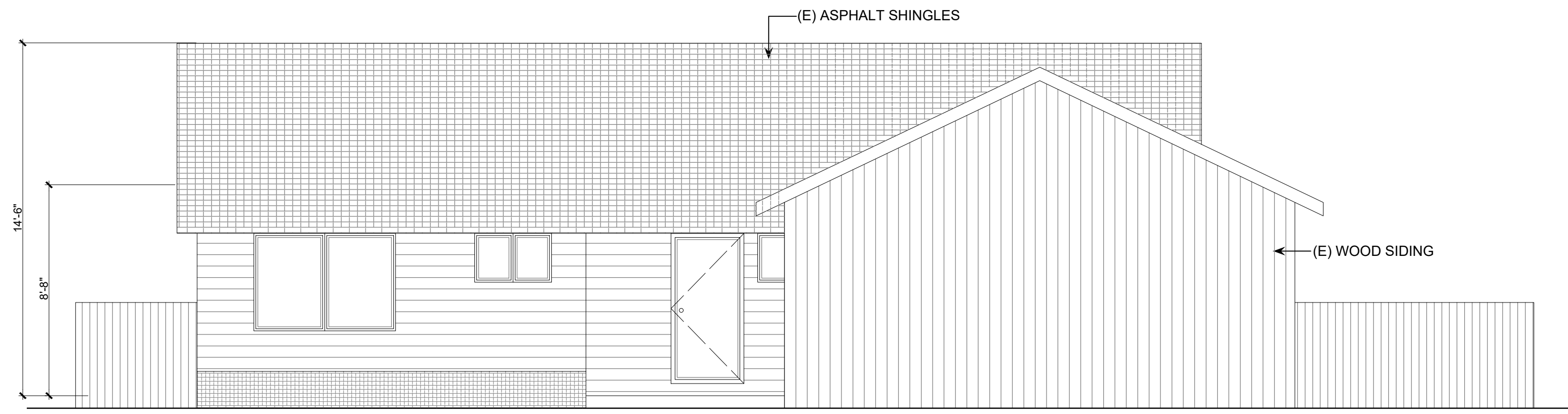
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ARCHITECT SF

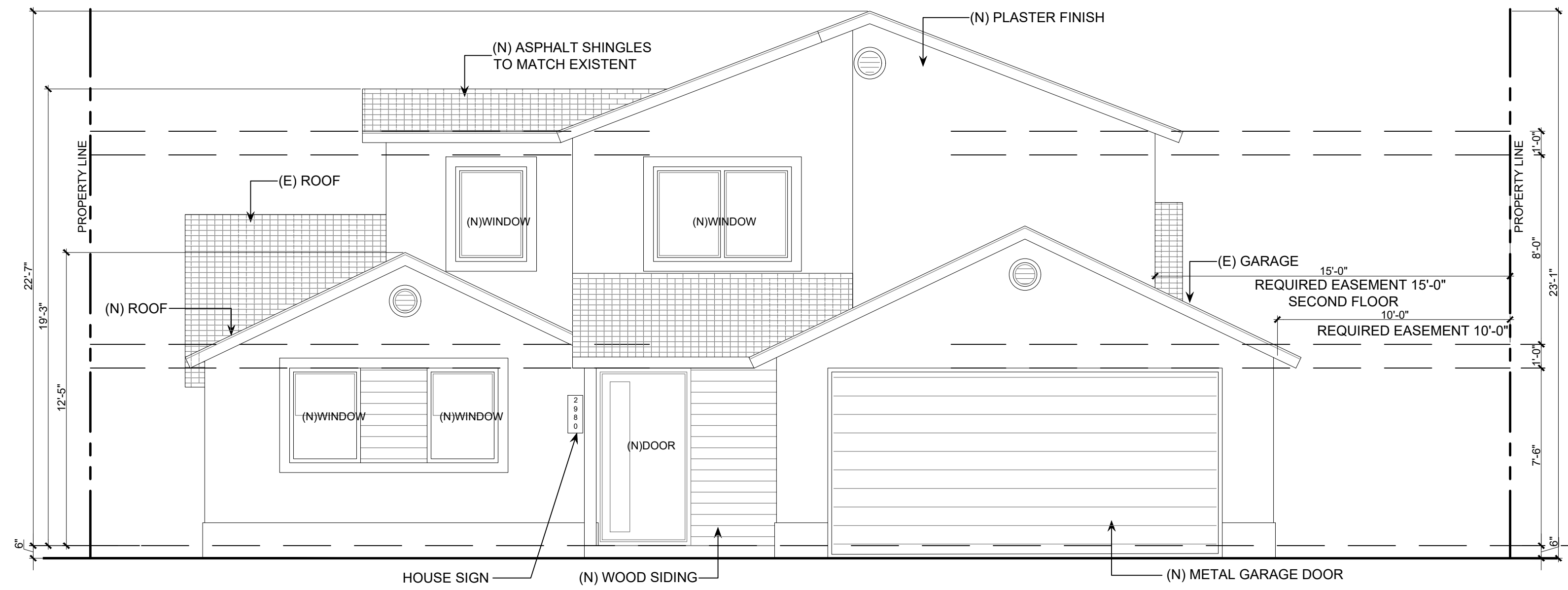
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Sheet: **A102**



EXISTING FRONT ELEVATION

SCALE: 1/4"=1'-0"

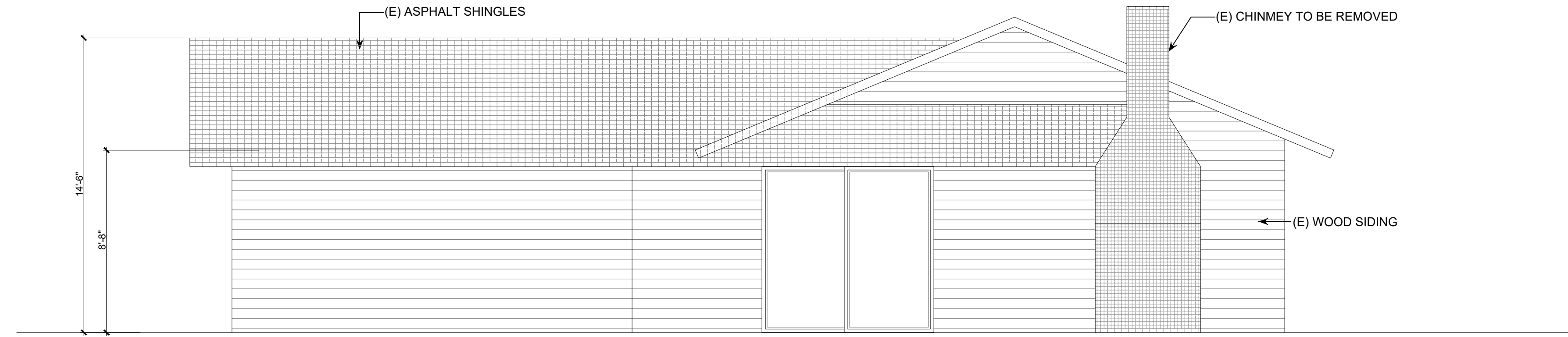


PROPOSED FRONT ELEVATION

SCALE: 1/4"=1'-0"

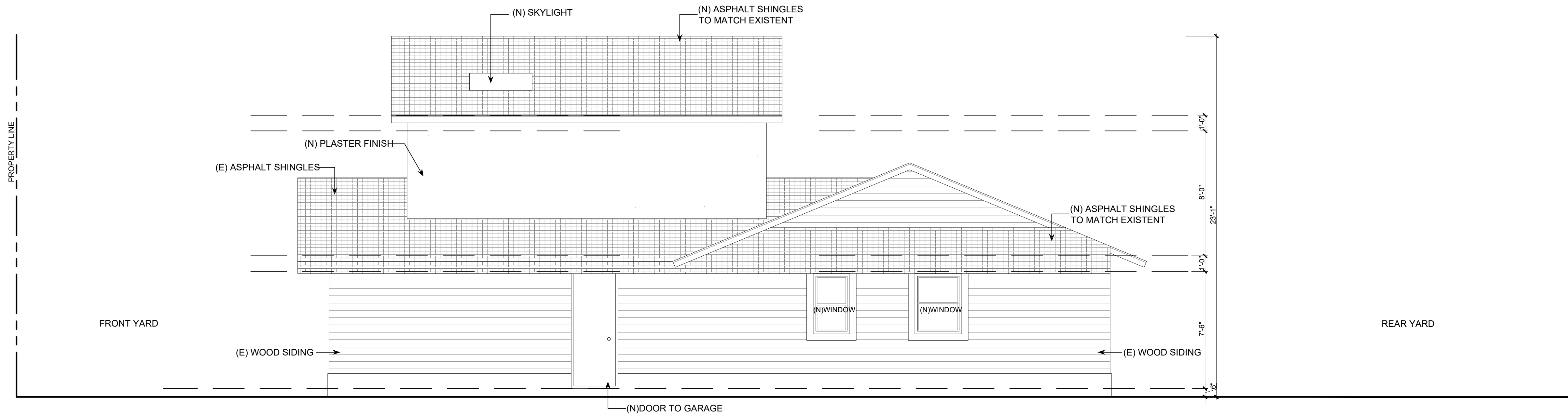
Revisions

Project No.:	Set Date:	Drawn by:	Dwg. Date:



EXISTING RIGHT ELEVATION

SCALE: 1/4"=1'-0"



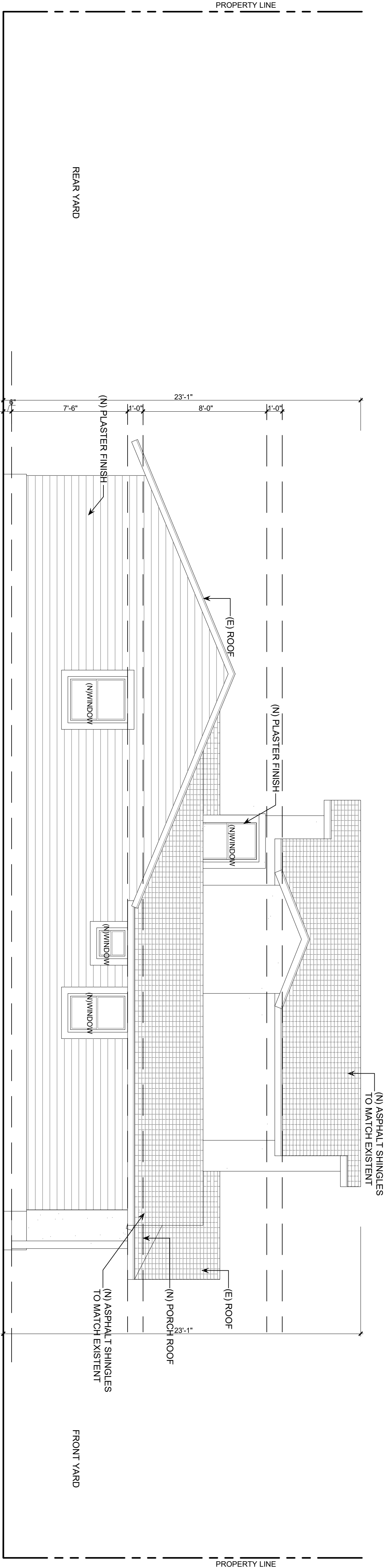
PROPOSED RIGHT ELEVATION

SCALE: 1/4"=1'-0"

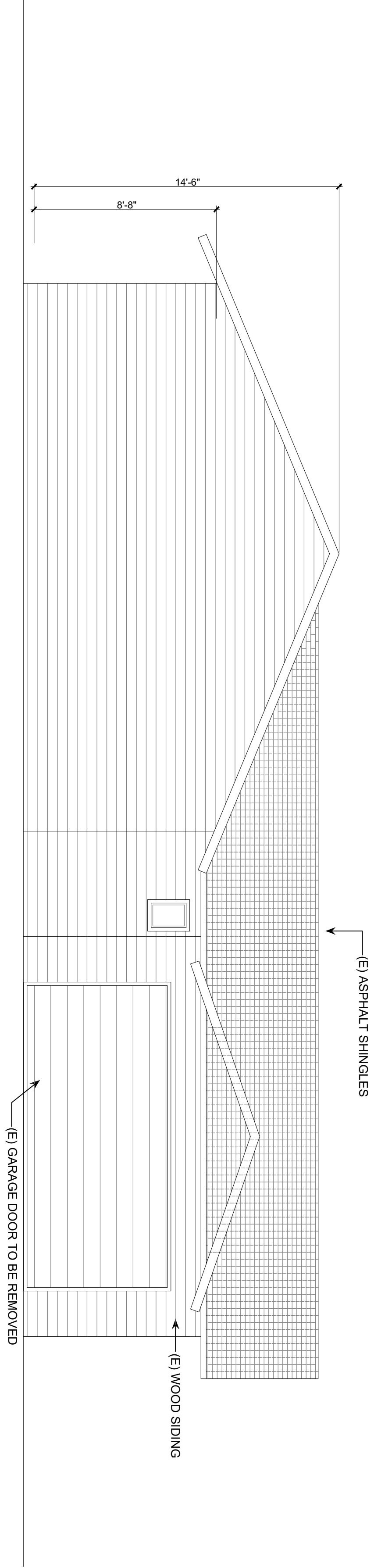
Revisions

No.	Description	Date

Project No.:
 Set Date:
 Drawn by:
 Dwg. Date:



PROPOSED LEFT ELEVATION
SCALE: 1/4"=1'-0"



EXISTING LEFT ELEVATION
SCALE: 1/4"=1'-0"

Sheet: Project Title:

A203

RESIDENTIAL VERTICAL EXPANSION
2980 MILES DRIVE, SANTA CLARA, CA 95051
APN: 290-25-070

Drawing Title:
LEFT ELEVATIONS

Revisions

Project No.:
Set Date:
Drawn by:
Dwg. Date:

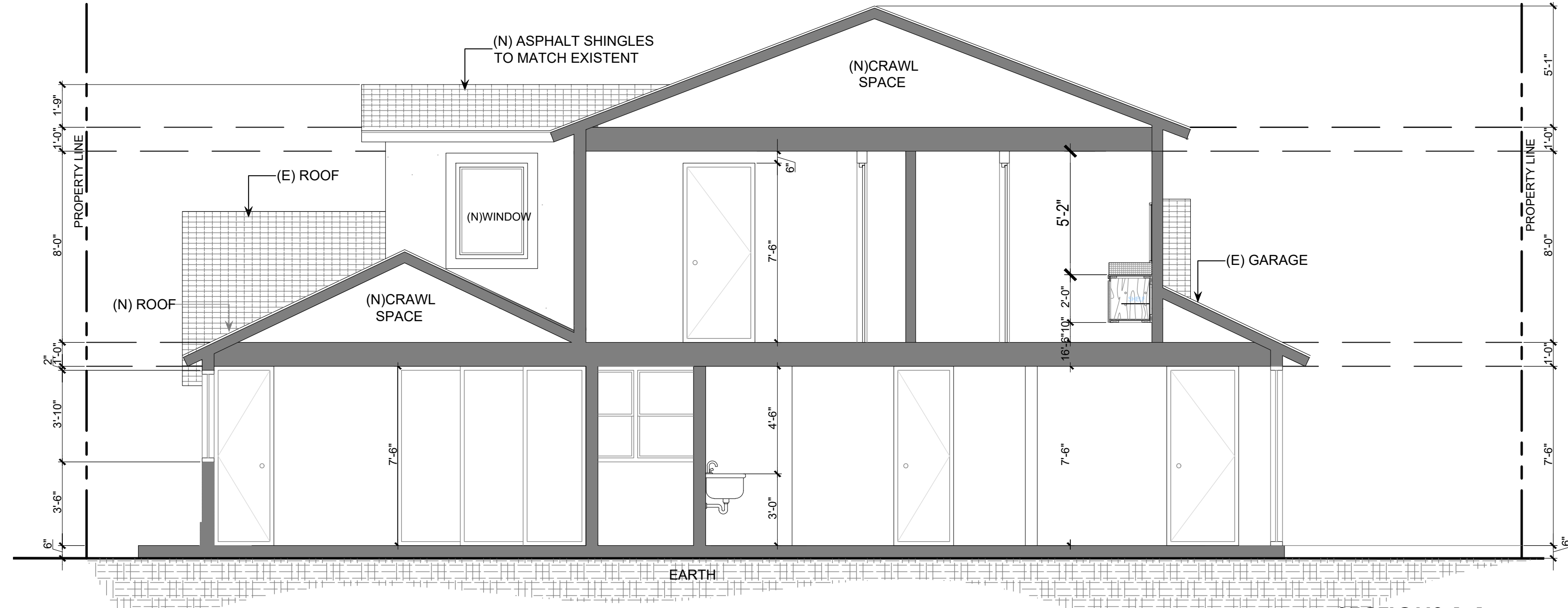


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SECTION 3-3
SCALE: 1/4"=1'-0"



SECTIONS 1-1
SCALE: 1/4"=1'-0"



SECTION 2-2
SCALE: 1/4"=1'-0"

Revisions

Project No.:	Set Date:	Drawn by:	Dwg. Date: