



**Meeting Date:** July 29, 2020

**File No.(s):** PLN2020-14453  
**Location:** 2317 Glendenning Avenue, a 6,666 square-foot site located at the northwest corner of Glendenning Avenue and Los Padres Boulevard; APN: 303-05-010; property is zoned Single-Family Residential (R1-6L).

**Applicant:** Leopold Design  
**Owner:** Katy and Jesse Kerns  
**Request:** **Architectural Review** of the proposed interior remodel and 446 square-foot second floor expansion to an existing 2,259 square-foot three-bedroom, two-bathroom two-story home resulting in a 2,705 square-foot four-bedroom, three-bathroom two-story single-family residence with an attached two-car garage to remain.

**Mailing Radius:** 300 feet  
**CEQA Determination:** Categorical Exemption per CEQA 15301(e)(1), Existing Facilities  
**Project Planner:** Jeff Schwilk, Associate Planner  
**Staff Recommendation:** **Approve**, subject to conditions

**Project Data**

Lot Size: 6,666 sq. ft.			
	Existing Floor Area (sq. ft.)	Proposed New Building (sq. ft.)	Proposed Floor Area (sq.ft.)
First Floor	1,594	-	1,594
Second Floor	215	446	661
Porch cover	0	42	42
Garage	450	-	450
Sheds	0	0	0
<b>Gross Floor Area</b>	2,259		2,705
<b>Lot Coverage</b>	2,044/6,666 = 31%		2,086/6,666 = 31%
<b>F.A.R.</b>	2,259/6,666 = .34		2,705/6,666 = .41
<b>% of 2<sup>nd</sup> floor to 1<sup>st</sup> floor</b>	n/a		661/2,044 = 32%
<b>Bedrooms/Baths</b>	3/2	1/2	4/3
<b>Flood Zone</b>	X		

**Points for consideration**

- The existing house was constructed in 1953 by developer David Bohannon. A second floor family room addition with vaulted ceiling area was added at a later date.
- The project includes the remodel and partial reconfiguration of the ground floor, combining two bedrooms into one bedroom, and the remodel and 446 square foot expansion to the existing 215 square foot second floor, reconfiguring and enlarging the second floor from the current family room into two new bedrooms and a new bathroom.
- Overall building height would decrease from the existing height of 23-feet, 4-inches to proposed height of 21-feet, 8-inches.
- 300-foot neighborhood notice was distributed for this project review.

- There are no active code enforcement cases for this property.

### **Findings supporting the Staff Recommendation**

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
  - The proposal provides the required two covered parking spaces.
  - The required parking spaces are not located in the required front yard or street side yard landscaped areas.
  - The proposed project provides areas surfaced with all-weather materials for parking of vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
  - The proposed house remodel and expansion resulting in one additional bedroom and one additional bathroom would not create traffic congestion or hazards.
  - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
  - The proposed development is a slightly enlarged two-story home that is consistent with the scale and design similar to that of the existing surrounding neighborhood.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
  - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*
  - The project would create a house design that is compatible scale and character with the housing types that are typical in the neighborhood.

### **Conditions of Approval:**

- 1) Garage or carport shall be maintained clear and free for vehicle parking use at all times. It shall not be used only for storage.
- 2) Submit plans for final architectural review to the Planning Division for approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, lighting and signage.

- 3) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- 4) Rehabilitate the front yard landscaping between the fence and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 5) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 6) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 7) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.



# STORMWATER DRAINAGE PLAN

EROSION CONTROL (KEEPING THE DIRT IN PLACE)  
MINIMIZING THE IMPACT OF CONSTRUCTION

1. MINIMIZE DISTURBED AREA AND PROTECT NATURAL FEATURES AND SOIL.
2. PHASE CONSTRUCTION ACTIVITY.
3. CONTROL STORMWATER FLOWING ONTO AND THROUGH THE PROJECT.
4. STABILIZE SOILS PROMPTLY.

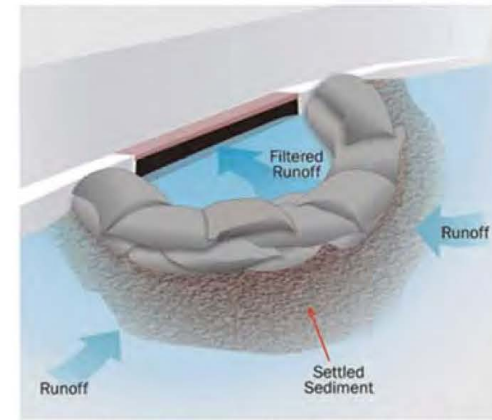


Figure 11: Illustration of a storm drain inlet with rock-filled bags filtering stormwater.

- SEDIMENT CONTROLS (THE 2ND LINE OF DEFENSE)
5. PROTECT STORM DRAIN INLETS.
  6. ESTABLISH PERIMETER CONTROLS.
  7. RETAIN SEDIMENT ON-SITE AND CONTROL DEWATERING PRACTICES.
  8. ESTABLISH STABILIZED CONSTRUCTION EXITS.
  9. INSPECT AND MAINTAIN CONTROLS.

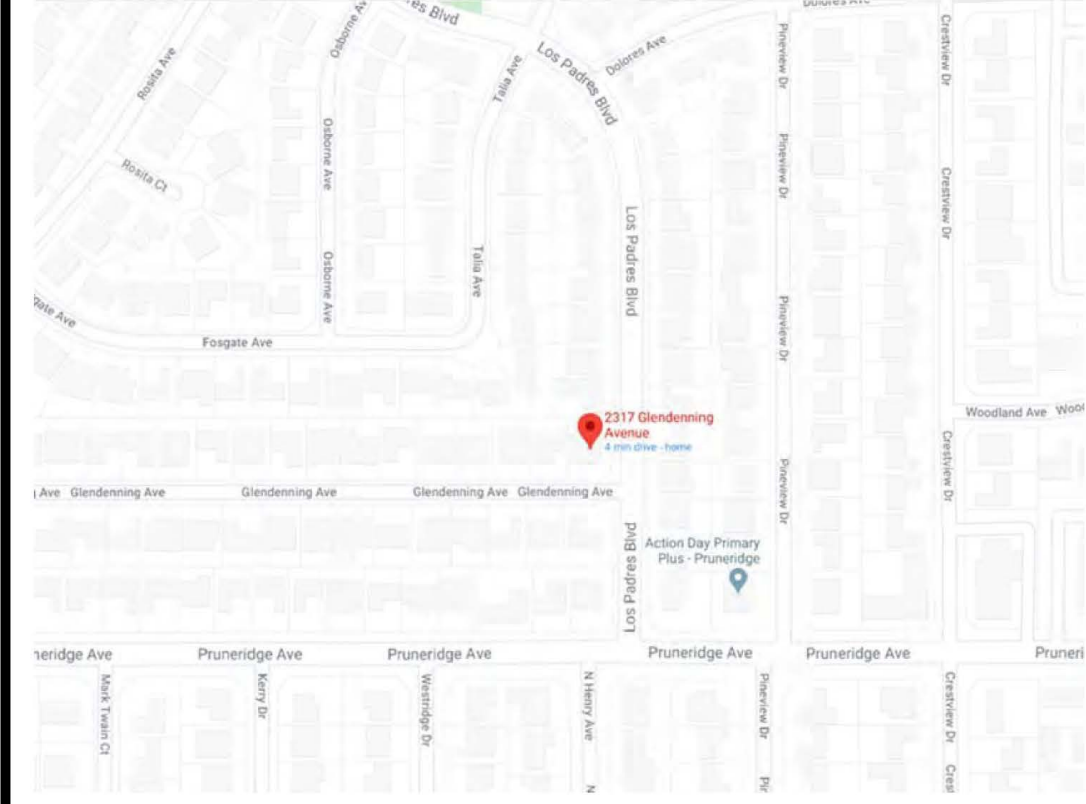
## SHEET LEGEND

- A0.00 SITE/ROOF PLAN, DEMOLITION PLAN, GENERAL NOTES, PROJECT DATA
- A1.00 1ST FLOOR CONSTRUCTION PLAN, KEY NOTES.
- A1.01 2ND FLOOR CONSTRUCTION PLAN, KEY NOTES.
- A2.00 (E) & (N) EXT. ELEVATIONS

# GENERAL NOTES

- THE WORK PROVIDED BY THE GENERAL CONTRACTOR SHALL CONSIST OF ALL LABOR, MATERIAL, TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT, LEAVING ALL WORK READY FOR USE.
- ALL CONSTRUCTION SHALL CONFORM TO THE APPROVED CALIFORNIA BUILDING CODE AND ANY OTHER LOCAL GOVERNING CODES AND ORDINANCES.
- THE PLANS INDICATE THE GENERAL EXTENT OF CONSTRUCTION NECESSARY FOR THE WORK, BUT NOT INTENDED TO BE ALL INCLUSIVE. ALL WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWINGS SHALL BE INCLUDED, REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR MENTIONED IN THE NOTES. THE ARCHITECT IS NOT RESPONSIBLE FOR ERRORS, OMISSIONS OR CONFLICTS IN THESE CONSTRUCTION DOCUMENTS. ANY ERRORS, OMISSIONS OR CONFLICTS FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSION AND SITE CONDITIONS. EACH SUB-CONTRACTOR SHALL INSPECT AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY SEEN BY INSPECTION.
- PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE THE STRUCTURAL VALUE OR INTEGRITY OF ANY PORTION OF THE BUILDING AFFECTED BY THE WORK.
- PROTECT ALL FINISHES WHERE THEY CONTACT THE WORK OF OTHER TRADES AND WHEN WET WEATHER IS ANTICIPATED.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT DIRT OR DEBRIS FROM AFFECTING FINISHED AREAS IN OR OUTSIDE THE JOB.

# VICINITY MAP



# CITY NOTES

- APPLICATIONS FOR WHICH NO PERMIT IS ISSUED WITH 180 DAYS FOLLOWING THE DATE OF APPLICATION SHALL AUTOMATICALLY EXPIRE, PER CRC R105.3.2.
- EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS WORK AUTHORIZED IS COMMENCED WITHIN 180 DAYS OR IF THE WORK AUTHORIZED IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS. A SUCCESSFUL INSPECTION MUST BE OBTAINED WITHIN 180 DAYS. A PERMIT MAY BE EXTENDED IF A WRITTEN REQUEST STATING JUSTIFICATION FOR EXTENSION AND AN EXTENSION FEE IS RECEIVED PRIOR TO EXPIRATION OF THE PERMIT AND GRANTED BY THE BUILDING OFFICIAL. NO MORE THAN ONE EXTENSION MAY BE GRANTED. PERMITS WHICH HAVE BECOME INVALID SHALL PAY A REACTIVATION FEE OF APPROXIMATELY 50% OF THE ORIGINAL PERMIT FEE AMOUNT WHEN THE PERMIT HAS BEEN EXPIRED FOR UP TO 6 MONTHS. WHEN A PERMIT HAS BEEN EXPIRED FOR A PERIOD IN EXCESS OF 1 YEAR, THE REACTIVATION FEE SHALL BE APPROXIMATELY 100% OF THE ORIGINAL PERMIT FEE, PER CRC R105.5.
- ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 EDITIONS OF THE CALIFORNIA RESIDENTIAL CODE, CALIFORNIA BUILDING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE AND 2019 CALIFORNIA ENERGY CODE.

# PROJECT DATA

GENERAL INFORMATION:		LOT COVERAGE:	
Zone:	R1-6L	Allowable:	40% MAX. = 2,666 SF
Lot Size:	6,666 SF	(E) 1st Floor Area:	2,044 SF
APN:	303-05-010	(E) Porch:	86 SF
Stories:	2	(N) Covered Rear Porch:	42 SF
Occupancy:	R3-U	(E) Total Coverage Area:	2,172 SF
Construction Type:	VB	(N) Lot Coverage:	2,172 / 6,666 = 33%
Fire Sprinklers:	NO	SETBACKS:	
EXISTING FLOOR AREA:		Required for Main Living Unit:	
(E) 1st Floor Area:	2,044 SF	Front	20'
(E) 2nd Floor Area:	215 SF	Side	5'
Total Area:	2,259 SF	Street Side	15'
(N) 2nd Floor Area:	446 SF	Rear	20'
Percent of 2nd v.s. 1st Floor 661/2044 = 32%			

DRAWINGS PREPARED BY:  
LEOPOLD DESIGN  
LEOPOLD VANDENEYENDE, ARCHITECT  
777 ENRIGHT AVENUE, SANTA CLARA, CA 95050 650-224-6852

ALL WORK SHALL BE IN ACCORDANCE WITH TITLE 2019 CBC, CMC, CPC, AND CEC

## KEY NOTES

- (E) A/C CONDENSER
- (E) GAS METER
- (E) ELECT. METER AND PANEL
- (E) ASPHALT COMPOSITION SHINGLE ROOF
- (N) CLASS 'B' MIN., COMPOSITION ROOF
- (E) WOOD FENCE TO REMAIN
- (N) GABLE ROOF CALIF. FRAMED OVER (E) ROOF
- ROOF WATER LEADERS LEAD TO DOWNSPOUTS THAT ARE DIRECTED TO SPLASHBLOCKS (OR OTHER IMPERVIOUS SURFACE) THAT DEFLECT THE WATER AWAY FROM THE BUILDING, SLOPE 2% AWAY FROM FOUNDATION AREA.
- HATCHED AREA INDICATES (E) ROOF STRUCTURE
- (N) ROOF VENTS PER VENTILATION CALCULATIONS, DISTRIBUTE EQUALLY.
- PROVIDE EAVE VENTS ALONG SIDES, PER THE VENTILATION CALCS. THIS SHEET.
- EXISTING POWER POLE AND OVERHEAD ELECT. SERVICE TO REMAIN.

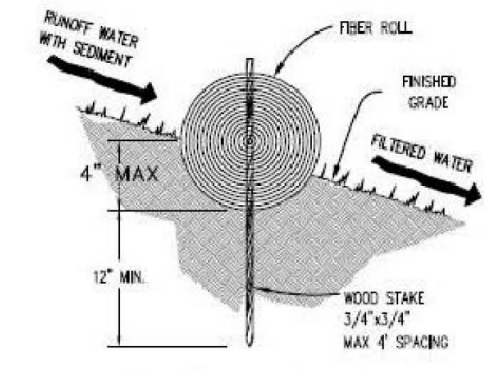
## SCOPE OF WORK

NEW 2ND FLOOR ADDITION, NEW GABLE ROOF OVER MASTER BATH, REMODEL 1ST FLOOR INTERIOR TO ACCOMMODATE NEW STAIRS.

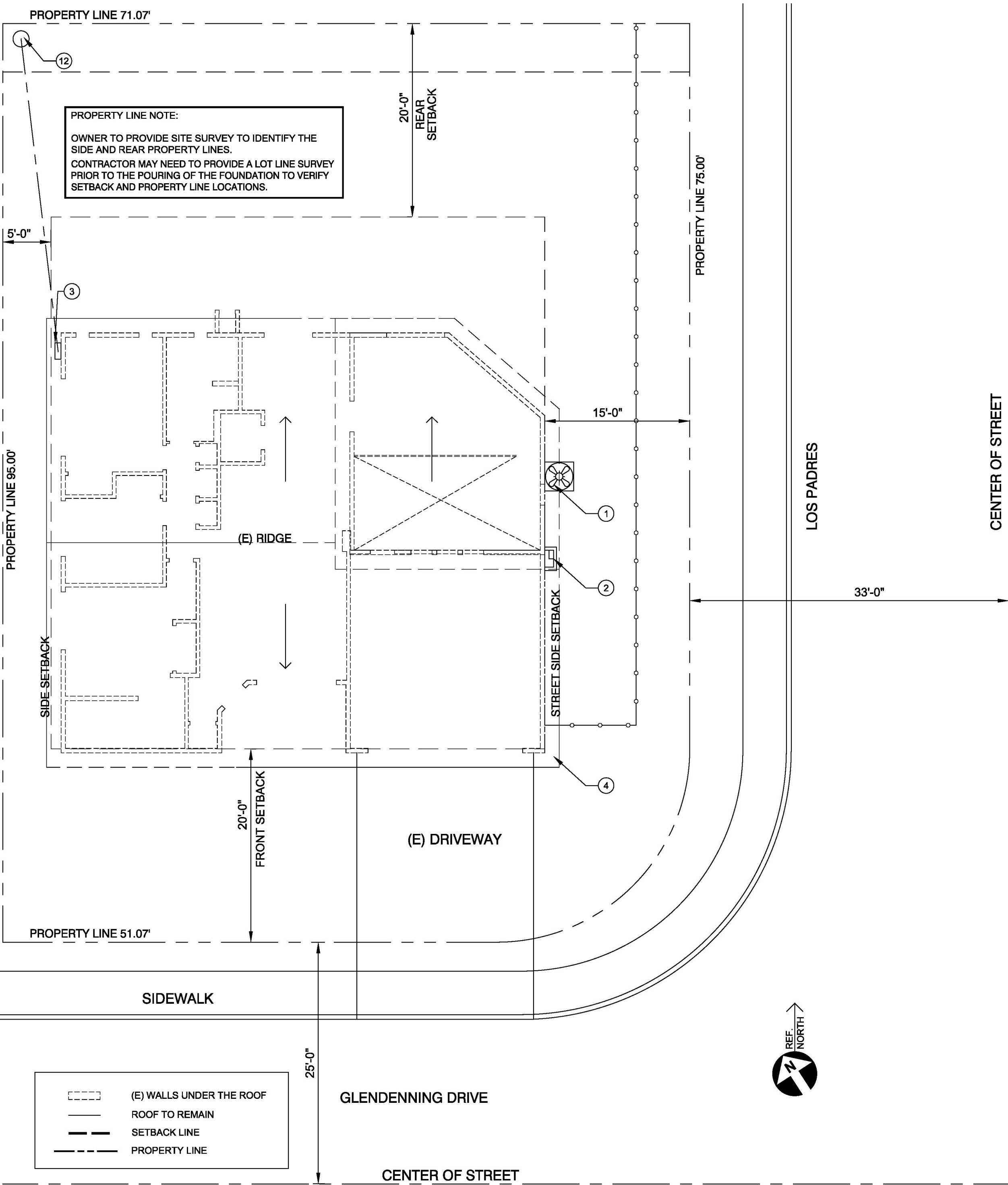
## EROSION CONTROL NOTES

### EROSION AND SEDIMENT CONTROL NOTES:

- STORM DRAIN POLLUTION PREVENTION: PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK BAGS, HAY BALES, TEMPORARY DRAINAGE SWALES, FIBER ROLLS, SILT FENCES, BERMS OR STORM DRAIN INLET FILTERS.
- THE EXISTING CONCRETE DRIVEWAY SHALL SERVE AS THE STABILIZED CONSTRUCTION ENTRANCE.
- FIBER ROLL(S) SHALL BE INSTALLED, IF REQUIRED BY CITY, PRIOR TO THE INCEPTION OF ANY WORK ON-SITE, AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED.
- DRY SWEEPING METHODS SHALL BE USED TO REMOVE ANY DEBRIS AND/OR SOIL TRACKED ON TO MENALTO AVENUE. DRY SWEEPING SHALL BE DONE AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL FOLLOW AND USE BEST MANAGEMENT PRACTICES (BMP) FOR DISCHARGE INTO THE CITY'S STORM WATER SYSTEM DURING SITE STRIPPING, HAULING, EARTH MOVING ACTIVITIES, HEAVY EQUIPMENT OPERATIONS, GENERAL CONSTRUCTION AND SITE SUPERVISION, PAINTING, APPLICATIONS AND USE OF SOLVENTS AND ADHESIVES, LANDSCAPING AND GARDENING.
- STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- ONCE THE PROPOSED ON-SITE DRAINAGE INLETS HAVE BEEN INSTALLED, THE CONTRACTOR SHALL PROTECT ANY BARE SOIL FROM ENTERING THE INLETS BY INSTALLING FILTER FABRIC UNDER THE INLET GRATES. THE FILTER FABRIC SHALL REMAIN UNTIL NATURAL GROUND COVER IS ESTABLISHED.
- CONTRACTOR SHALL CONTROL DUST AS OFTEN AS REQUIRED BY THE CITY ENGINEER.
- IF EROSION DEVELOPS IN A TEMPORARY EROSION PROTECTED AREA OR ANY ESTABLISHED VEGETATED AREA, THE CONTRACTOR SHALL IMMEDIATELY ALLEVIATE AND REMEDY THE PROBLEM AND TAKE PREVENTATIVE MEASURES TO MINIMIZE THE POSSIBILITY OF ITS REOCCURRENCE AND ALSO TO PREVENT THE RESULTING FLOW OF SOILS OR WATER WITH SUSPENDED SOILS FROM GETTING INTO THE CITY'S DRAINAGE SYSTEM OR ANY NATURAL DRAINAGE CHANNEL OR DITCH.



- FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A MINIMUM OF 4' DEEP, SOIL ON CONTOUR.
  - ADJACENT ROLLS SHALL TIGHTLY ADJUT.
  - SLANSET MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
- 1 FIBER ROLL (NOT TO SCALE)
- 2 INLET PROTECTION (NOT TO SCALE)



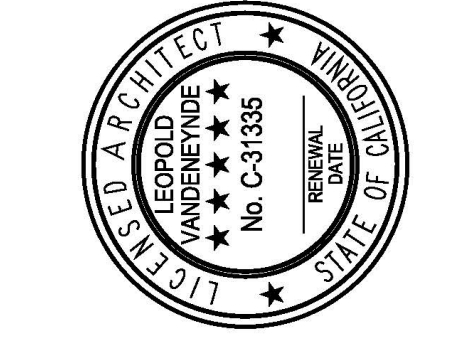
EXISTING SITE/ROOF PLAN

SCALE: 1/8" = 1'-0"

PROPOSED SITE/ROOF PLAN

SCALE: 1/8" = 1'-0"

Leopold Vandeneynde, A.I.A. t. 650-224-6852  
**Leopold Design**  
 777 ENRIGHT AVE., SANTA CLARA, CA 95050



MODIFICATIONS TO THE HOME OF:  
**JESSE & KATY KERNS**  
 2317 GLENDEENING AVE., SANTA CLARA, CA 95050

(E) & (N) SITE / ROOF PLANS  
 PROJECT DATA  
 VICINITY MAP  
 (E) EXTERIOR ELEVATIONS  
 CAL GREEN NOTES  
 VENTILATION CALCS.

JOB NO. 2173-19 DRAWN BY LV  
 DATE: MAY 22, 2020  
 REVISIONS  
 SHEET NO. **A0.00**  
 1 OF 5



### HANDRAIL NOTE

HANDRAILS SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE OF THE STAIRWAY & THE MIN. CLEAR WIDTH OF THE STAIRWAY AT & BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS & LANDINGS, SHALL NOT BE LESS THAN 31.5" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38". HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5" BETWEEN THE WALL & THE HANDRAILS. ALL REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY:

TYPE I, HANDRAILS W/ A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1.25" & NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES AND NOT GREATER THAN 6.25" W/ A MAX. CROSS SECTION OF DIMENSION OF 2.25". EDGES SHALL HAVE A MIN. RADIUS OF 0.01".

TYPE II, HANDRAILS W/ A PERIMETER GREATER THAN 6.25" SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 0.75" MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16" WITHIN 7/8" BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8" TO A LEVEL THAT IS NOT LESS THAN 1.75" BELOW THE TALLEST PORTION OF THE PROFILE. THE MIN. WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1.25" TO A MAX. OF 2.75". EDGES SHALL HAVE A MIN. RADIUS OF 0.01".

### CAL GREEN NOTES

A. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED (4.304.1)

B. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1)

C. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1)

D. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1)

E. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2)

F. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS (4.504.2.3) VERIFICATION OF COMPLIANCE SHALL BE PROVIDED

G. A MINIMUM OF 50% OF THE NON-HAZEROUS CONSTRUCTION AND DEMOLITION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO AN OFF-SITE RECYCLE, DIVERSION, OR SALVAGE FACILITY. (4.408)

H. DOCUMENTATION WILL BE PROVIDED, AT THE REQUEST OF THE BUILDING DIVISION, TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS. (4.504.2.4)

I. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS 4.504.5

J. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZED TRAINING OR CERTIFICATION PROGRAM (702.1)

K. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3)

L. UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DEPARTMENT WHICH WILL SHOW SUBSTANTIAL CONFORMANCE.

M. FOUNDATION MIX SHALL INCORPORATE 20% REDUCTION IN CEMENT USE. CONCRETE TO CONSIST OF A MIXTURE WITH THE USE OF 20% FLY ASH.

### LEGEND

- DIMENSION POINT TO FACE OF MATERIAL OR FINISH
- DIMENSION POINT TO FACE OF FRAMING
- DIMENSION POINT TO CENTER OF FRAMING OPENING

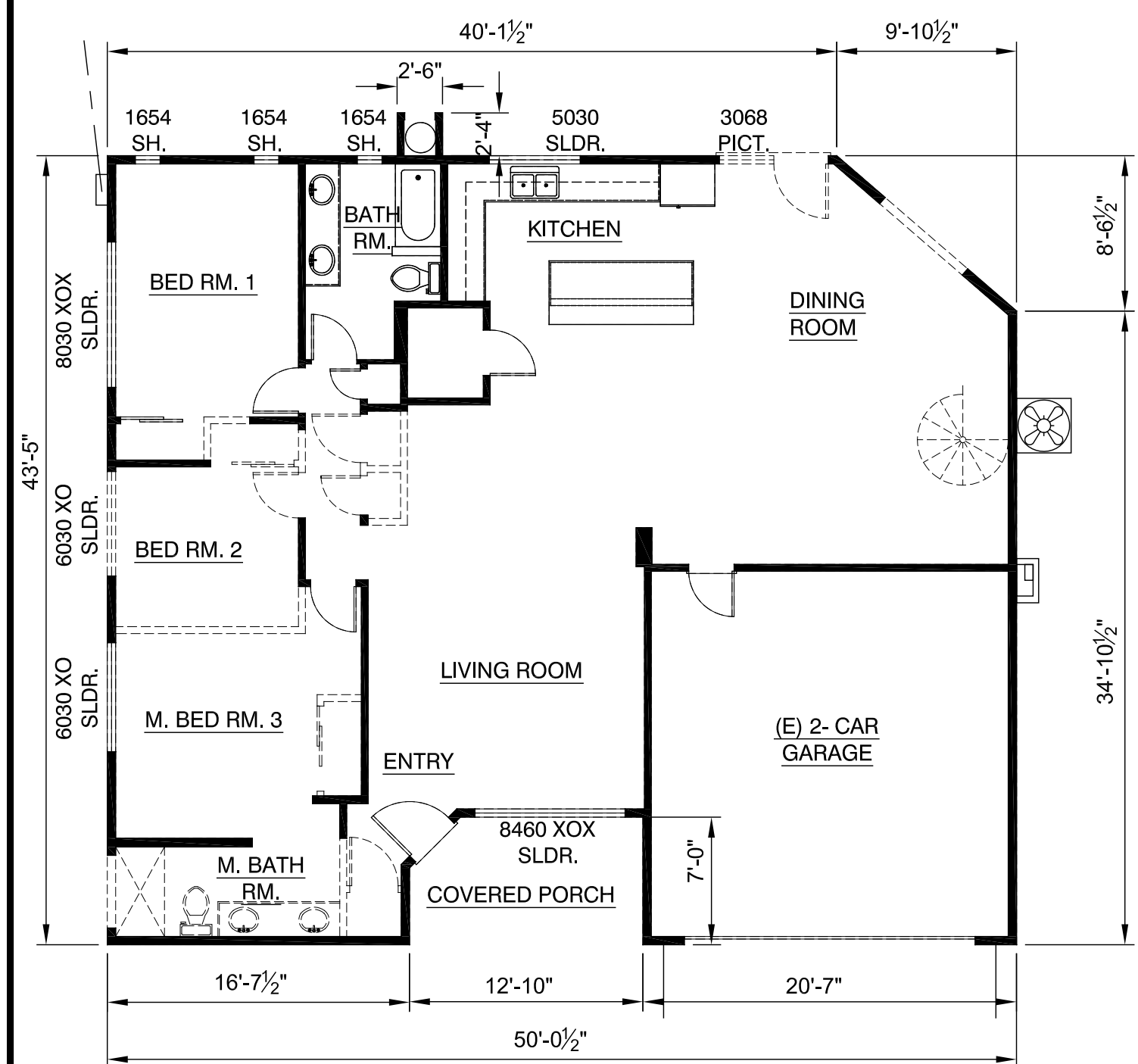
- 1 WOOD TREADS AND PAINTED RISERS
- 2 EXISTING GAS METER
- 3 REFER TO HANDRAIL NOTE THIS SHEET
- 4 TYPE-X FIRE RATED GYPBD. AT GARAGE WALLS AND CEILING (IF 2ND FLOOR AREA IS DIRECTLY ABOVE.)
- 5 (N) 22" MIN. BY 30" MIN. ATTIC ACCESS TO SPACES WITH 30" CLEAR HEIGHT OR MORE. PROVIDE ACCESS OPENING THROUGH (E) ROOF AT CALIF. FRAMED AREA.
- 6 PROVIDE 1/2" GYP.BD. UNDER ENTIRE LENGTH OF STAIR & SOFFIT OF ENCLOSED USABLE SPACE. CRC R302.7.
- 7 (N) SOLID CORE DOOR WITH SELF CLOSURE DEVICE AND GASKETED JAMBS.
- 8 (N) 22" MIN. BY 30" MIN. ATTIC ACCESS TO SPACES WITH 30" CLEAR HEIGHT OR MORE. PROVIDE ACCESS OPENING THROUGH (E) ROOF AT CALIF. FRAMED AREA.
- 9 WATER CLOSETS TO HAVE A MIN. CLEAR STALL SPACES OF 30" & A MINIMUM CLEAR SPACE OF 24" IN FRONT & 1.28 GALLONS PER FLUSH MAX. SHOWER HEADS W/ A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED W/ A MAXIMUM 2.0 GPM SHOWER HEAD. LAVATORY & KITCHEN FAUCETS W/ A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED W/ A FAUCET W/ MAX. FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).
- 10 MAINTAIN MIN. 6'-8" HEADROOM CLEARANCE THE FULL LENGTH OF STAIR. - RISERS ON STAIRWAY SHALL NOT BE GREATER THAN 7.75". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 10". THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/4". THIS PROJECT-RISE = 7.75 INCHES AND RUN = 10 INCHES.
- 11 RISERS ON STEPS SHALL NOT BE GREATER THAN 7.75" AND NO LESS THAN 4" HIGH. THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 10". THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/4". PROVIDE 36" MIN. DEEP LANDING AT EXTERIOR ACCESS. IF DOOR SWING IS OVER LANDING - PROVIDE 1/2" MAX. HEIGHT DIFFERENTIAL BETWEEN FIN. FLR. AND EXTERIOR LANDING.
- 12

RAILING NOTE: 42" HIGH GUARDRAIL WITH INTERMEDIATE RAILS SPACED SUCH THAT A SPHERE 4"- CAN NOT PASS THROUGH. GUARDRAIL MUST RESIST A 20 #L HORIZ. LOAD PERPENDICULAR TO THE TOP RAIL, AND 25 #L HORIZ. LOAD PERPENDICULAR TO THE FILLER ELEMENTS. THE TOP OF THE GUARD SHALL BE NOT LESS THAN 34 INCHES. AND NOT MORE THAN 38 INCHES AS MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS.

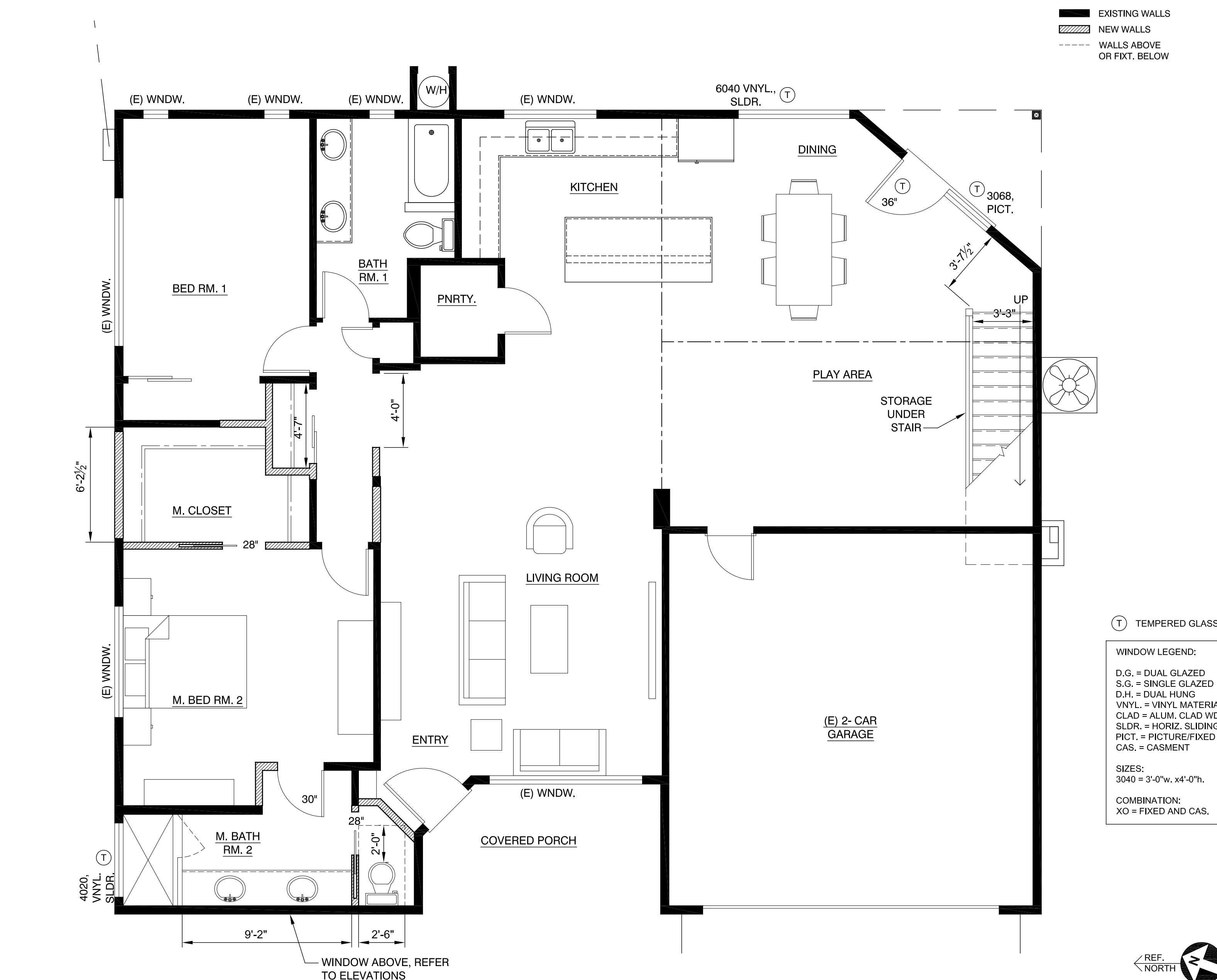
ROOM EGRESS NOTE: EVERY SLEEPING ROOM BELOW THE FOURTH FLOOR SHALL HAVE @ LEAST ONE WINDOW OR EXTERIOR DOOR FOR EMERGENCY EXIT WHICH OPENS DIRECTLY ONTO A PUBLIC STREET, ALLEY, YARD OR EXTERIOR COURT. THE DISTANCE FROM THE FLOOR TO THE BOTTOM OF THE CLEAR OPENING SHALL NOT TO EXCEED 44". THE EGRESS OPENING SHALL HAVE A MIN. NET OPEN AREA OF 5.7 SQ.FT. (5.050.F.T. @ GRADE FLOOR LEVEL) W/ A MIN. 24" NET CLEAR OPENING HEIGHT & A MIN. 20" NET CLEAR OPENING WIDTH. (R310 CRC)

15 SHOWER & TUB NOTES:

- A. TEMP. GLASS @ SHOWER ENCLOSURE, DOOR, & ADJACENT WINDOWS, SHWR. DOOR SHALL NOT OPEN INTO THE SHOWER & BE A MIN. 22" WIDE. GLASS COLOR & FASTENERS TO BE DECIDED BY OWNER.
- B. SHOWER SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE, PER CPC SEC. 408.3
- C. SHOWER COMPARTMENTS SHALL HAVE A MIN. FINISHED INTERIOR OF 1024 SQUARE INCHES AND BE ABLE TO ENCOMPASS A 30" DIAMETER CIRCLE.
- D. PROVIDE SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET. PLEASE NOTE: WATER-RESISTANT GYP. BACKING BD. SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC R307.2



EXISTING 1ST FLOOR DEMO. PLAN SCALE: 1/8" = 1'-0"



PROPOSED 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"



MODIFICATIONS TO THE HOME OF:  
**JESSE & KATY KERNS**  
 2317 GLENDEENING AVE., SANTA CLARA, CA 95050

(E) & (N) 1ST FLOOR PLANS

JOB NO.	DRAWN BY
2173-19	LV
DATE:	
	JULY 26, 2019
REVISIONS	
SHEET NO.	
<b>A1.00</b>	
2 OF: 5	

1 WOOD TREADS AND PAINTED RISERS

2 (N) 22" MIN. BY 30" MIN. ATTIC ACCESS TO SPACES WITH 30" CLEAR HEIGHT OR MORE. PROVIDE ACCESS OPENING THROUGH (E) ROOF AT CALIF. FRAMED AREA.

3 (N) SINK CABINET AND FAUCET, SELECTED BY OWNER

4 (N) STORAGE CABINET ABOVE TOILET

5 PROVIDE 1/2" GYP. BD. UNDER ENTIRE LENGTH OF STAIR & SOFFIT OF ENCLOSED USABLE SPACE. CRC R302.7.

6 REFER TO HANDRAIL NOTE SHEET A1.00

7 OBSCURE GLASS IN WINDOW, REFER TO OWNER

8 (N) 22" MIN. BY 30" MIN. ATTIC ACCESS TO SPACES WITH 30" CLEAR HEIGHT OR MORE. PROVIDE ACCESS OPENING THROUGH (E) ROOF AT CALIF. FRAMED AREA.

9 WATER CLOSETS TO HAVE A MIN. CLEAR STALL SPACES OF 30" & A MINIMUM CLEAR SPACE OF 24" IN FRONT & 1.28 GALLONS PER FLUSH MAX. SHOWER HEADS W/ A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED W/ A MAXIMUM 2.0 GPM SHOWER HEAD. LAVATORY & KITCHEN FAUCETS W/ A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED W/ A FAUCET W/ MAX. FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).

10 MAINTAIN MIN. 6'-8" HEADROOM CLEARANCE THE FULL LENGTH OF STAIR. - RISERS ON STAIRWAY SHALL NOT BE GREATER THAN 7.75". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 10". THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THIS PROJECT-RISE = 7.75 INCHES AND RUN = 10 INCHES.

11 RISERS ON STEPS SHALL NOT BE GREATER THAN 7.75" AND NO LESS THAN 4" HIGH. THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 10". THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". PROVIDE 36" MIN. DEEP LANDING AT EXTERIOR ACCESS. IF DOOR SWING IS OVER LANDING - PROVIDE 1/2" MAX. HEIGHT DIFFERENTIAL BETWEEN FIN. FLR. AND EXTERIOR LANDING.

12 RAILING NOTE: 42" HIGH GUARDRAIL WITH INTERMEDIATE RAILS SPACED SUCH THAT A SPHERE 4" - CAN NOT PASS THROUGH. GUARDRAIL MUST RESIST A 20 p#f HORIZ. LOAD PERPENDICULAR TO THE TOP RAIL AND 25 p#f HORIZ. LOAD PERPENDICULAR TO THE FILLER ELEMENTS. THE TOP OF THE GUARD SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES AS MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS.

13 ROOM EGRESS NOTE: EVERY SLEEPING ROOM BELOW THE FOURTH FLOOR SHALL HAVE @ LEAST ONE WINDOW OR EXTERIOR DOOR FOR EMERGENCY EXIT WHICH OPENS DIRECTLY ONTO A PUBLIC STREET, ALLEY, YARD OR EXTERIOR COURT. THE DISTANCE FROM THE FLOOR TO THE BOTTOM OF THE CLEAR OPENING SHALL NOT TO EXCEED 44". THE EGRESS OPENING SHALL HAVE A MIN. NET OPEN AREA OF 5.7 SQ. FT. @ GRADE FLOOR LEVEL W/ A MIN. 24" NET CLEAR OPENING HEIGHT & A MIN. 20" NET CLEAR OPENING WIDTH. (R310 CRC)

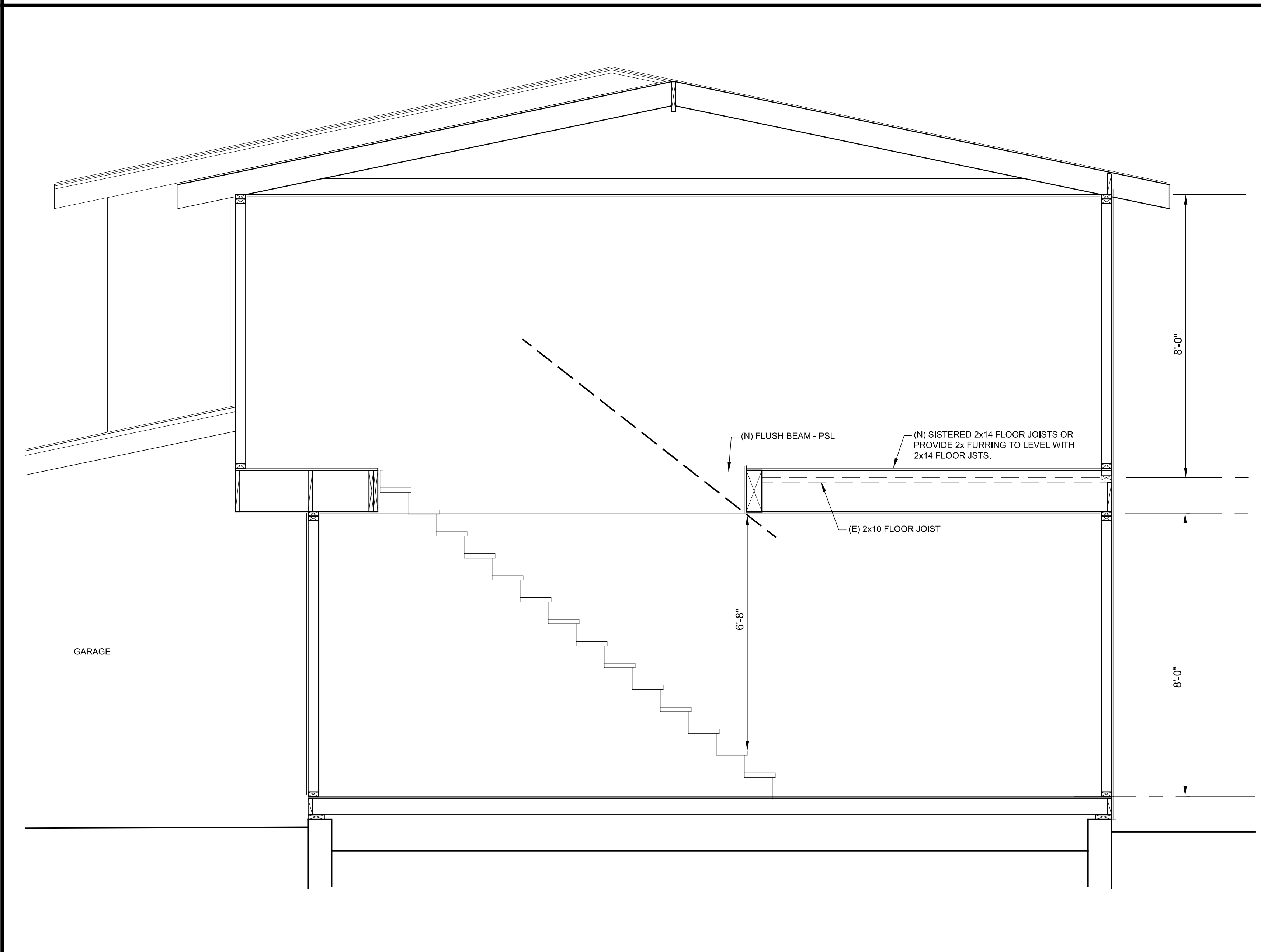
14 SHOWER & TUB NOTES:

A. TEMP. GLASS @ SHOWER ENCLOSURE, DOOR, & ADJACENT WINDOWS, SHWR. DOOR SHALL NOT OPEN INTO THE SHOWER & BE A MIN. 22" WIDE. GLASS COLOR & FASTENERS TO BE DECIDED BY OWNER.

B. SHOWER SHALL BE PROVIDED W/ INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE, PER CPC SEC. 408.3

C. SHOWER COMPARTMENTS SHALL HAVE A MIN. FINISHED INTERIOR OF 1024 SQUARE INCHES AND BE ABLE TO ENCOMPASS A 30" DIAMETER CIRCLE.

D. PROVIDE SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET. PLEASE NOTE: WATER-RESISTANT GYP. BACKING BD. SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC R307.2



PROPOSED SECTION - A

SCALE: 1/2" = 1'-0"

WINDOW LEGEND:  
 D.G. = DUAL GLAZED  
 S.G. = SINGLE GLAZED  
 D.H. = DUAL HUNG  
 VNYL. = VINYL MATERIAL  
 CLAD = ALUM. CLAD WD.  
 SLDR. = HORIZ. SLIDING  
 PICT. = PICTURE/FIXED  
 CAS. = CASMENT

SIZES:  
 3040 = 3'-0"w. x4'-0"h.

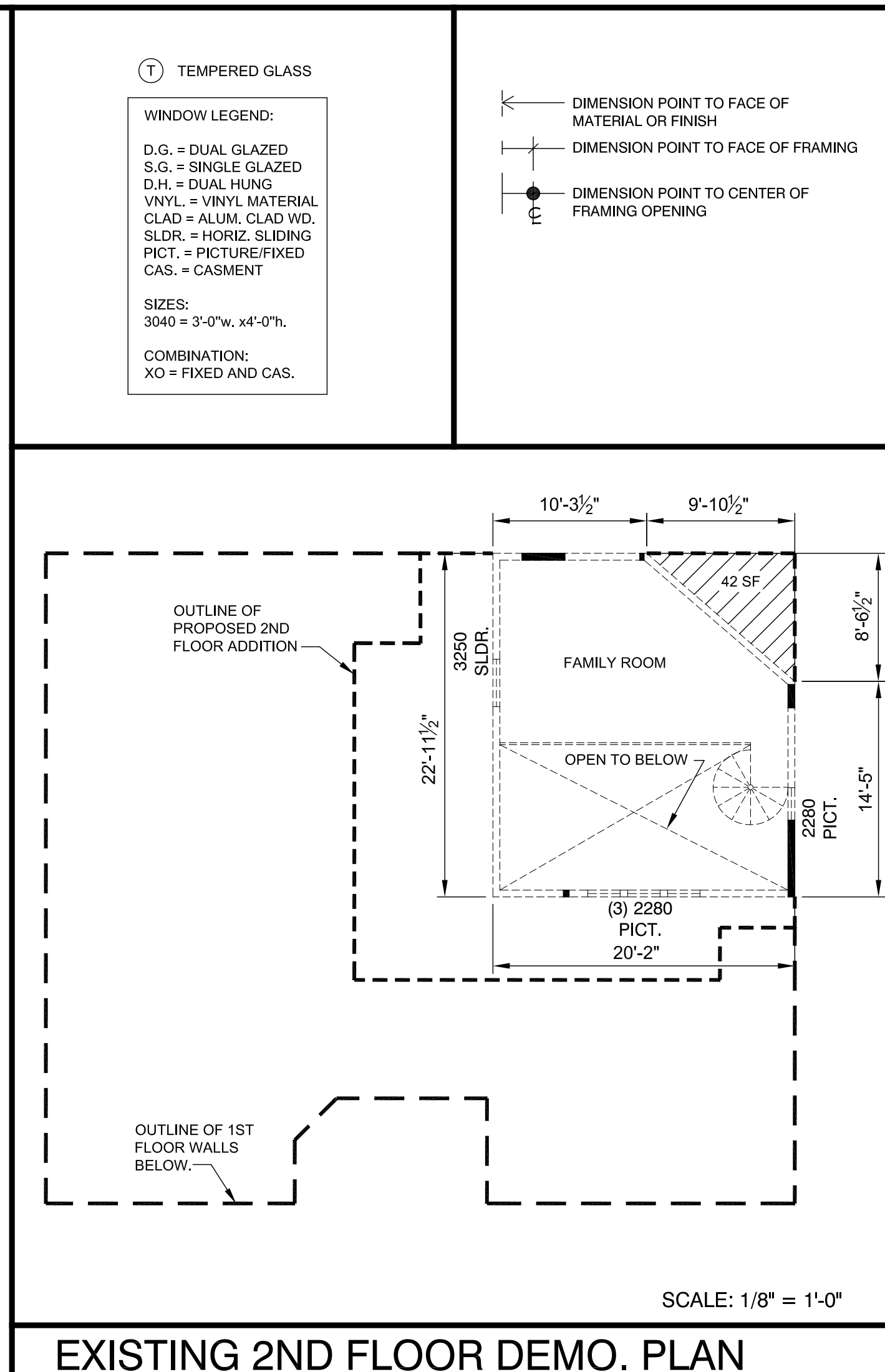
COMBINATION:  
 XO = FIXED AND CAS.

TEMPERED GLASS (T)

DIMENSION POINT TO FACE OF MATERIAL OR FINISH

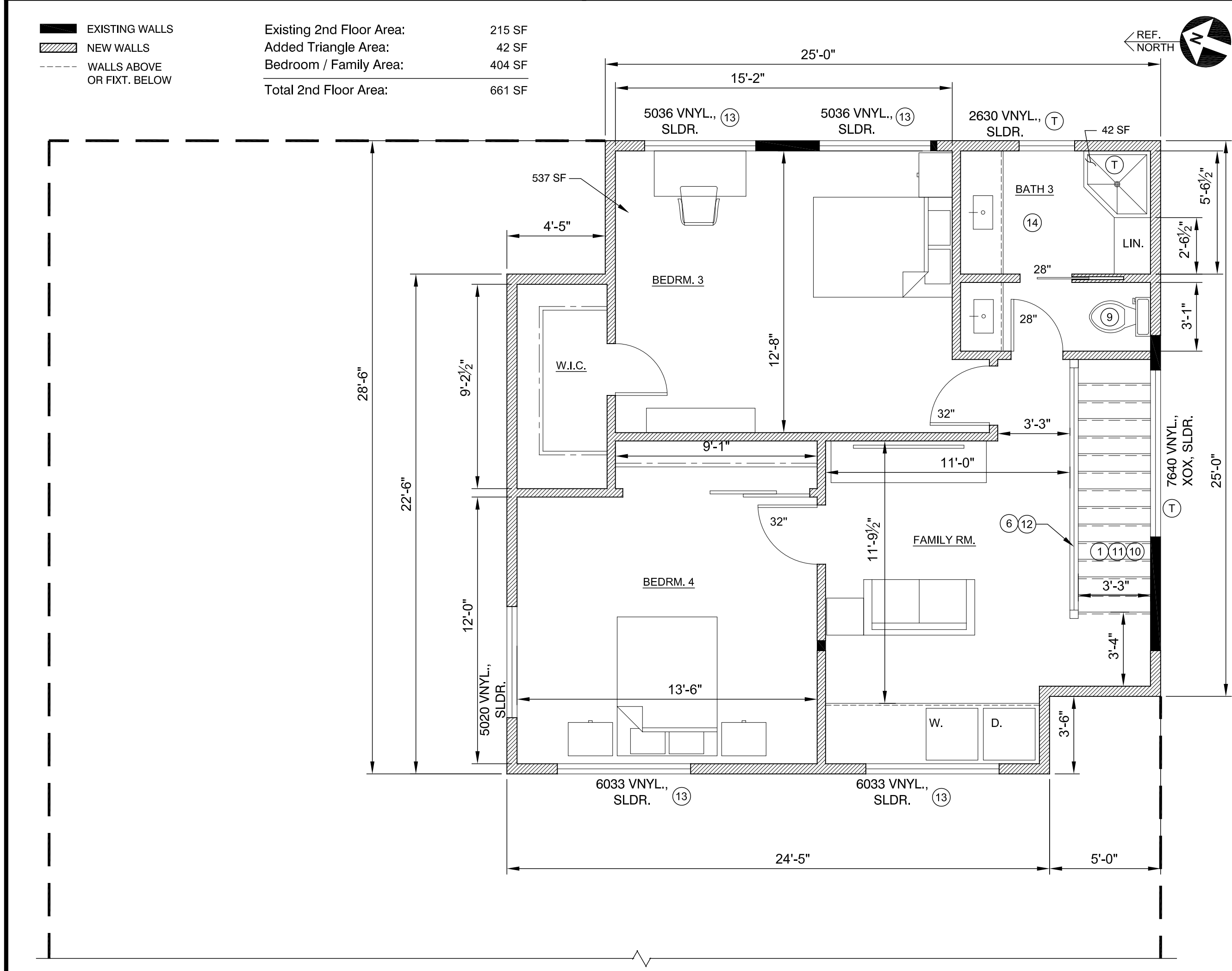
DIMENSION POINT TO FACE OF FRAMING

DIMENSION POINT TO CENTER OF FRAMING OPENING



EXISTING 2ND FLOOR DEMO. PLAN

SCALE: 1/8" = 1'-0"



PROPOSED 2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING WALLS	Existing 2nd Floor Area:	215 SF
NEW WALLS	Added Triangle Area:	42 SF
WALLS ABOVE OR FIXT. BELOW	Bedroom / Family Area:	404 SF
	Total 2nd Floor Area:	661 SF

Leopold Vandeneynde, A.I.A. t. 650-224-6852

**Leopold Design**

777 ENRIGHT AVE., SANTA CLARA, CA 95050



MODIFICATIONS TO THE HOME OF:

**JESSE & KATY KERNS**

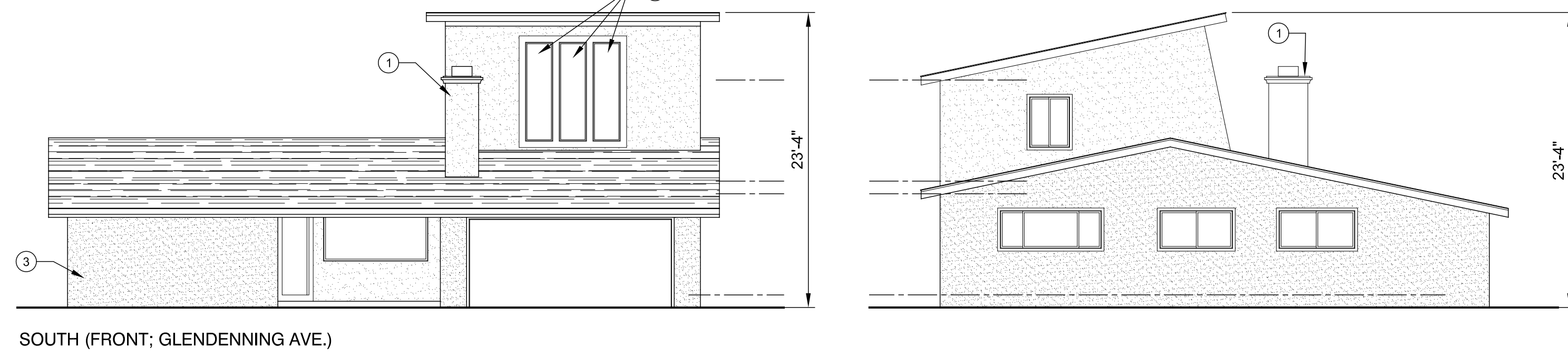
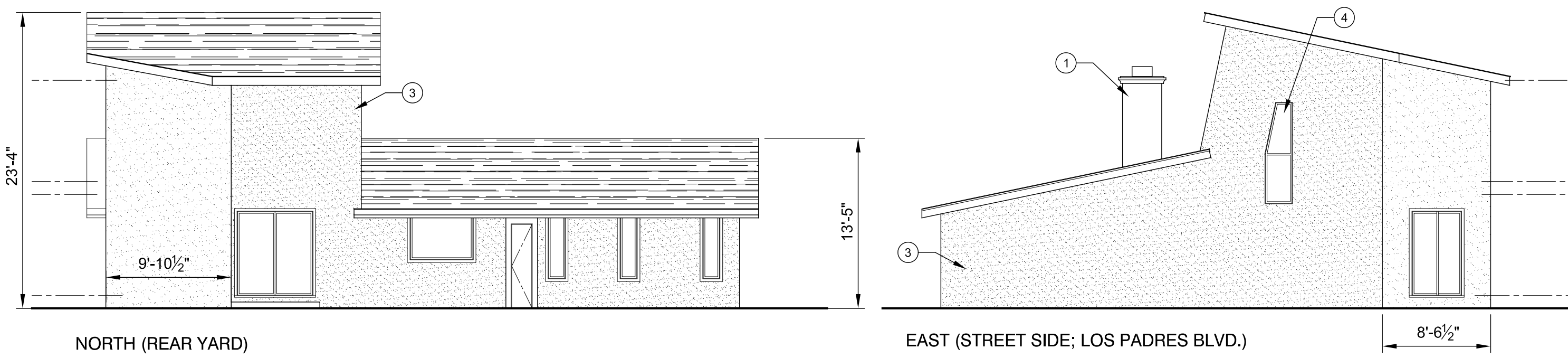
2317 GLENDENNING AVE., SANTA CLARA, CA 95050

(E) & (N) 2ND FLOOR PLANS  
SECTION - A

JOB NO. 2317-19  
 DATE: MAY 22, 2020

REVISIONS

SHEET NO. **A1.01**  
 2 OF 5

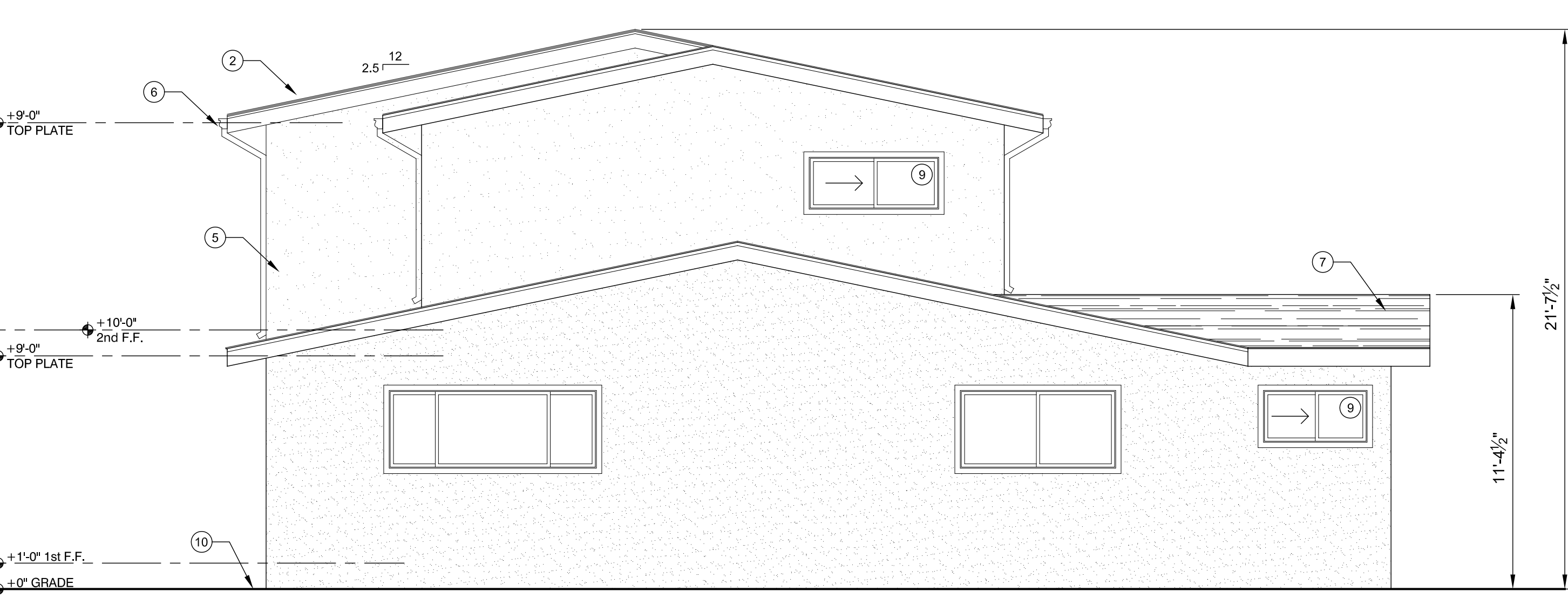
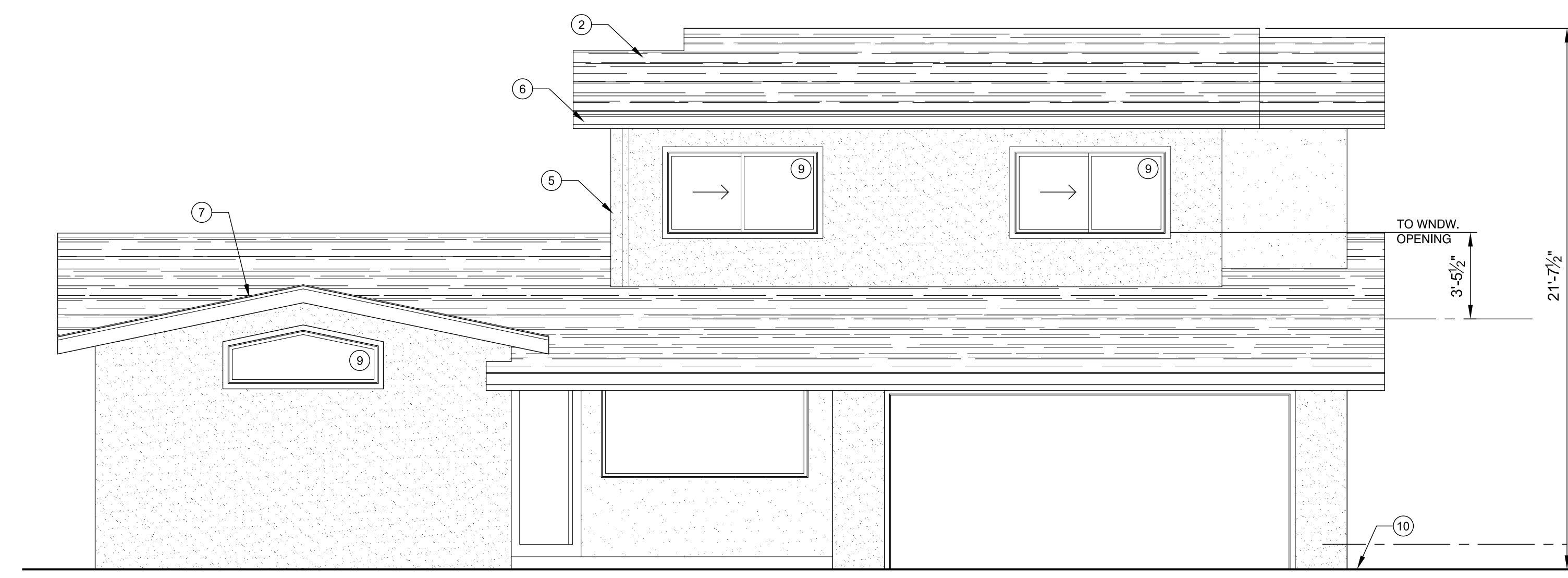
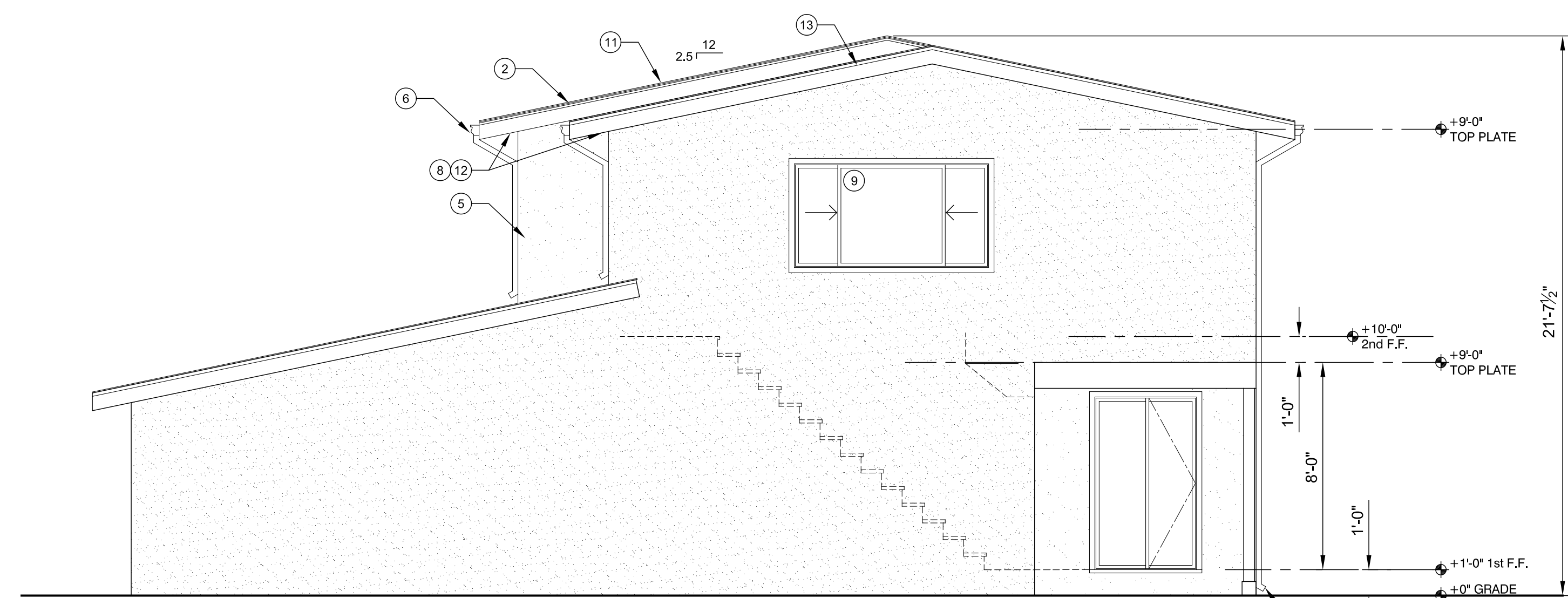
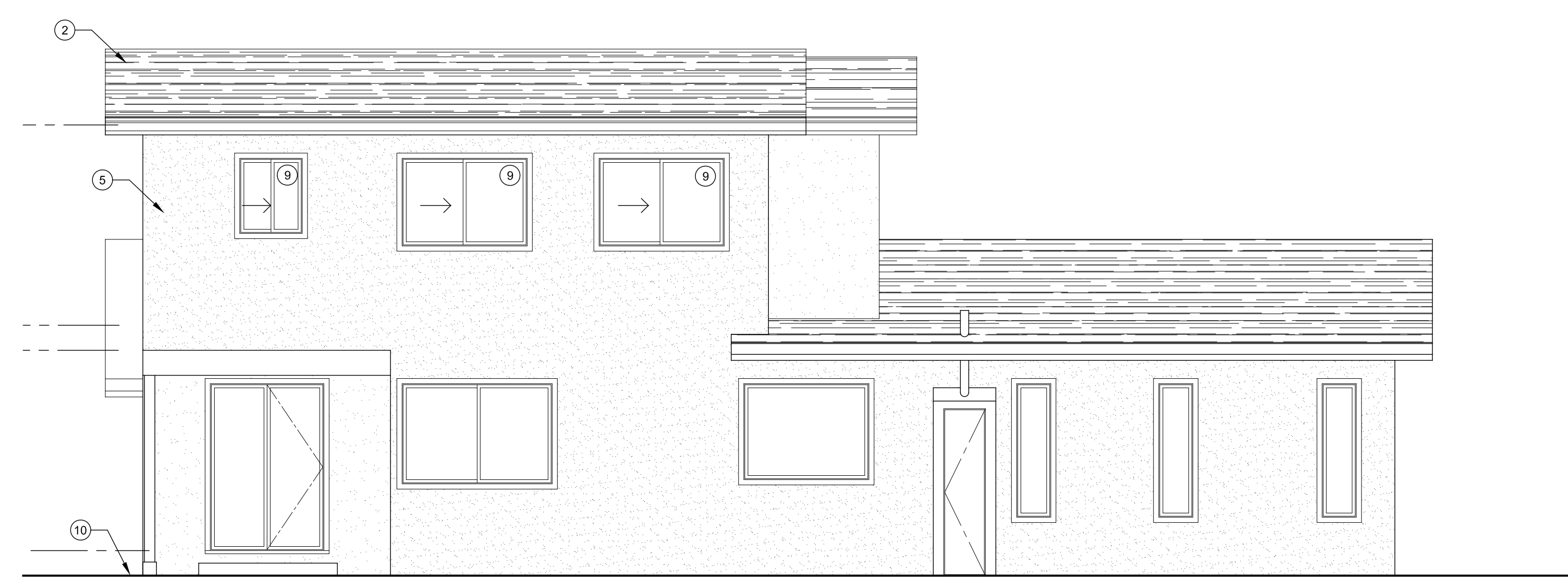


(E) EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

KEY NOTES

- ① (E) CHIMNEY TO BE REMOVED
- ② (N) CLASS 'B' MIN., COMPOSITION ROOF
- ③ (E) STUCCO SIDING
- ④ (E) ALUMINUM WINDOWS TO BE REMOVED
- ⑤ 3 COAT, 7/8" THK. CEM. PLASTER SIDING OVER 2 LAYERS OF TYPE-D BLDG. FELT OVER PLYWD. SHTG., TEXTURE TO MATCH EXISTING.
- ⑥ (N) MTL. PAINTED GUTTERS AND DOWNSPOUTS
- ⑦ (N) GABLE END ROOF. REFER TO ROOF PLAN
- ⑧ V-RUSTIC BOARDS AT EAVES, RAKE, & UNDERSIDE OF PORCH.
- ⑨ (N) WINDOWS TO BE VINYL DUAL GLAZED, LOW-E WINDOWS.
- ⑩ ROOF WATER LEADERS LEAD TO DOWNSPOUTS THAT ARE DIRECTED TO SPLASHBLOCKS (OR OTHER IMPERVIOUS SURFACE) THAT DEFLECT THE WATER AWAY FROM THE BUILDING. SLOPE 2% AWAY FROM FOUNDATION AREA.
- ⑪ (N) ROOF VENTS PER VENTILATION CALCULATIONS. DISTRIBUTE EQUALLY.
- ⑫ PROVIDE EAVE VENTS ALONG SIDES. PER THE VENTILATION CALCS. THIS SHEET.
- ⑬ 2x8 FASCIA BOARD AND BARGE RAFTER. PROVIDE 1x10 TRIM AT TOP OF BARGE RAFTER AND PLACE METAL ROOF FLASHING OVER THIS TRIM.



PROPOSED EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"



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 2317 GLENDENNING AVE., SANTA CLARA, CA 95050

(E) & (N) EXT. ELEVATIONS

JOB NO.	DRAWN BY
2317-19	LV
DATE:	
MAY 22, 2020	
REVISIONS	
SHEET NO.	

**A2.00**  
 1 OF 5