



Meeting Date: July 29, 2020

File No.(s): PLN2020-14468

Location: 2771 Pruneridge Avenue, an 8,510 square-foot site located on the north side of Pruneridge Avenue, approximately 140 feet east of Kiely Boulevard; APN: 294-31-038; property is zoned Single-Family Residential (R1-6L).

Applicant: Young and Borlik Architects

Owner: Rakesh Ghiya

Request: **Architectural Review** of a 412 square-foot first-floor expansion and a 727 square-foot second-story addition to an existing 1,461 square-foot three-bedroom, two-bathroom residence resulting in a 3,102 square-foot four-bedroom, three-bathroom home including an attached 502 square-foot garage to remain.

Mailing Radius: 300 feet

CEQA Determination: Categorical Exemption per CEQA 15301 (e)(1), Existing Facilities

Project Planner: Jeff Schwilk, Associate Planner

Staff Recommendation: **Approve**, subject to conditions

Project Data

Lot Size: 8,510 sq. ft.			
	Existing Floor Area (sq. ft.)	Proposed New Building (sq. ft.)	Proposed Floor Area (sq.ft.)
First Floor	1,461	412	1,873
Second Floor	n/a	727	727
Porch covers	199	-10	189
Garage	502	-	502
Sheds	0	0	0
Gross Floor Area	1,570		3,102
Lot Coverage	2,162/8,510 = 25%		2,564/8,510 = 30%
F.A.R.	1,963/8,510 = .23		3,102/8,510 = .36
% of 2 nd floor to 1 st floor	n/a		727/2,564 = 28%
Bedrooms/Baths	3/2	1/1	4/3
Flood Zone	X		

Points for consideration

- The existing house was constructed in 1960 and is located in the Forest Park Tract.
- The project includes the construction of a 412 square foot ground floor addition to the rear of the existing house, and a 727 square foot second-floor addition above the area of the ground floor addition and above a rear portion of the existing house.
- The project would expand on the living area footprint of the existing house by adding a family room on the ground floor and a new master bedroom and bathroom upstairs.
- The exterior of the addition would be clad in composition shingle roofing, and a combination of stucco siding and board and batten siding to match the exterior materials of the existing house.
- The house is bordered on the north and east by single-story homes, to the south by one- and two-story homes, and by an existing two-story house to the west.

- Overall proposed building height is 23-feet, 4-inches.
- 300-foot neighborhood notice was distributed for this project review.
- There are no active code enforcement cases for this property.

Findings supporting the Staff Recommendation

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
 - The proposal provides the required two covered parking spaces.
 - The required parking spaces are not located in the required front yard or side yard landscaped areas.
 - The proposed project provides areas surfaced with all-weather materials for parking of vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
 - The proposed house reconstruction and expansion resulting in one additional bedroom and bathroom would not create traffic congestion or hazards.
 - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
 - The proposed development is a two-story home that is consistent with the scale and design similar to that of the existing surrounding neighborhood.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
 - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*
 - The project would create a house design that is compatible scale and character with the housing types that are typical in the neighborhood.

Conditions of Approval:

- 1) Garage or carport shall be maintained clear and free for vehicle parking use at all times. It shall not be used only for storage.

- 2) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, lighting and signage.
- 3) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- 4) Rehabilitate the front yard landscaping between the fence and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 5) The applicant shall plant and maintain a street tree in the front yard.
- 6) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 7) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 8) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.

Attachments

- 1) Development Plans
- 2) Applicant Statement of Justification

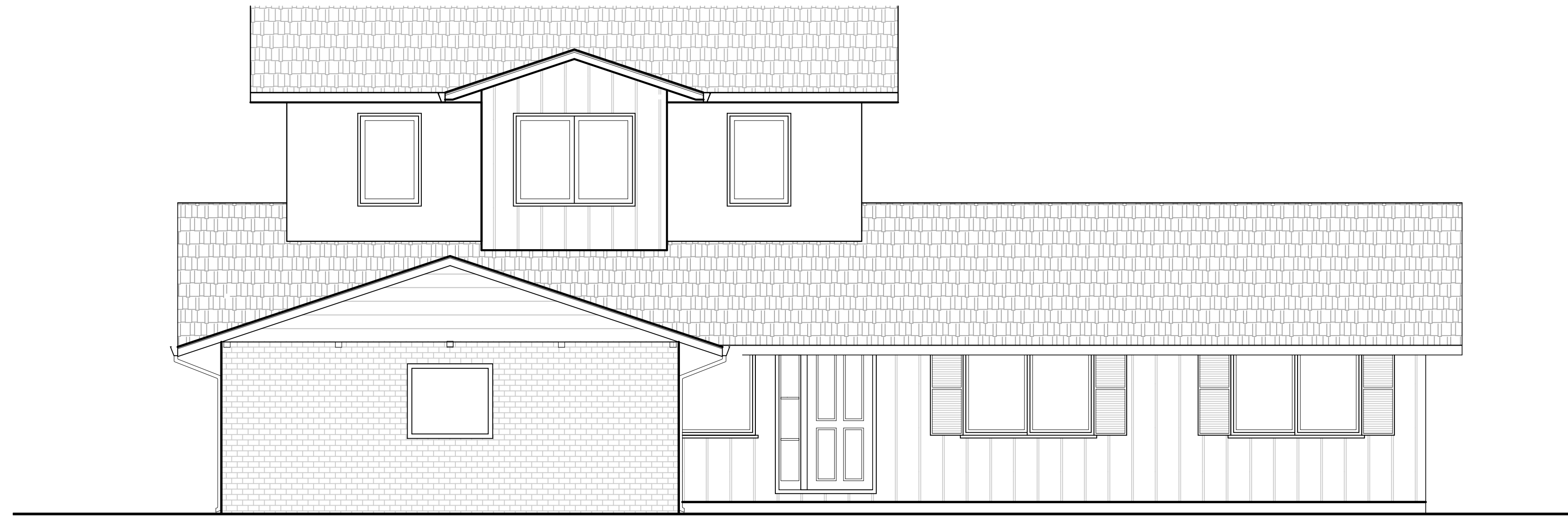
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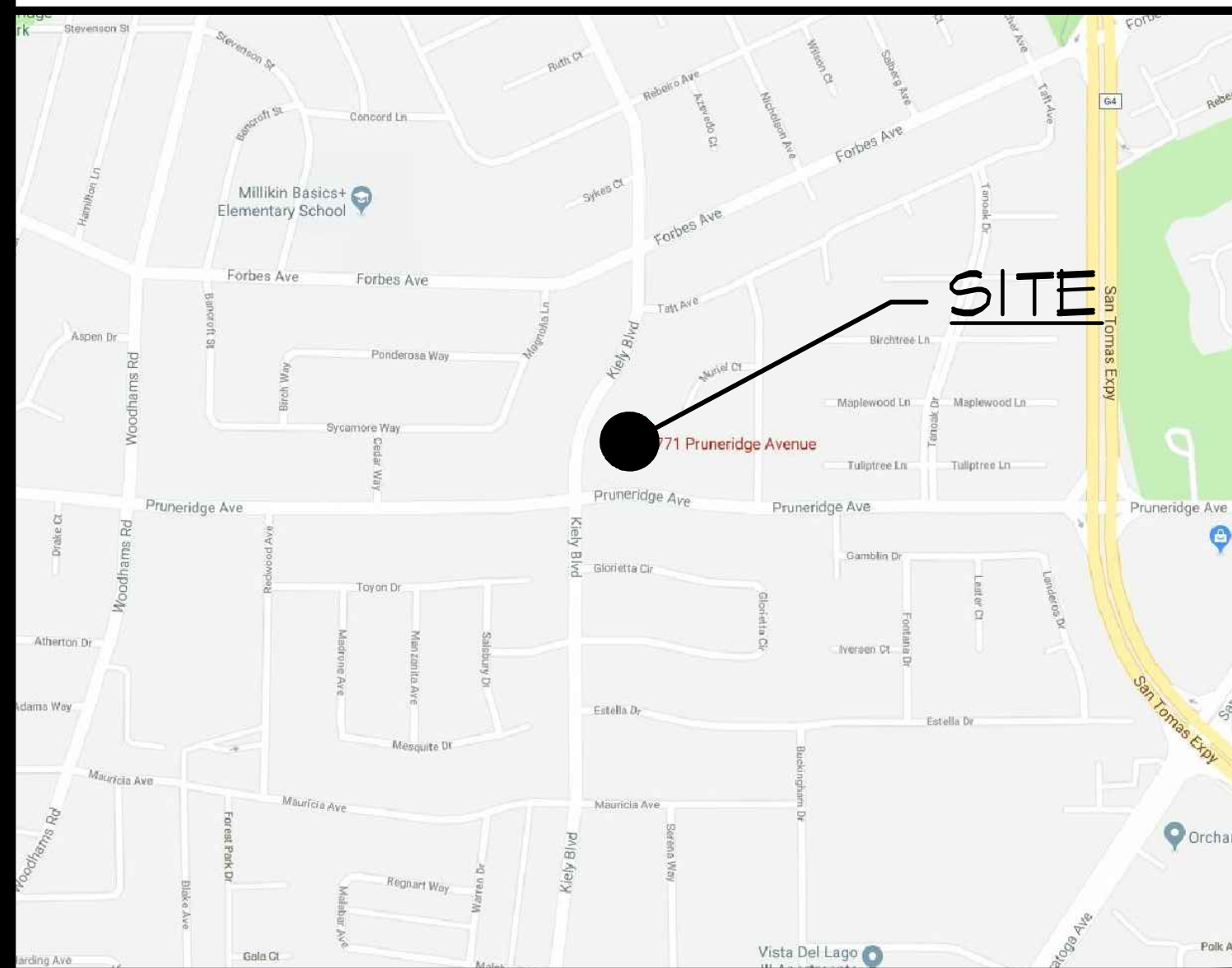
GHIYA RESIDENCE

SANTA CLARA, CALIFORNIA



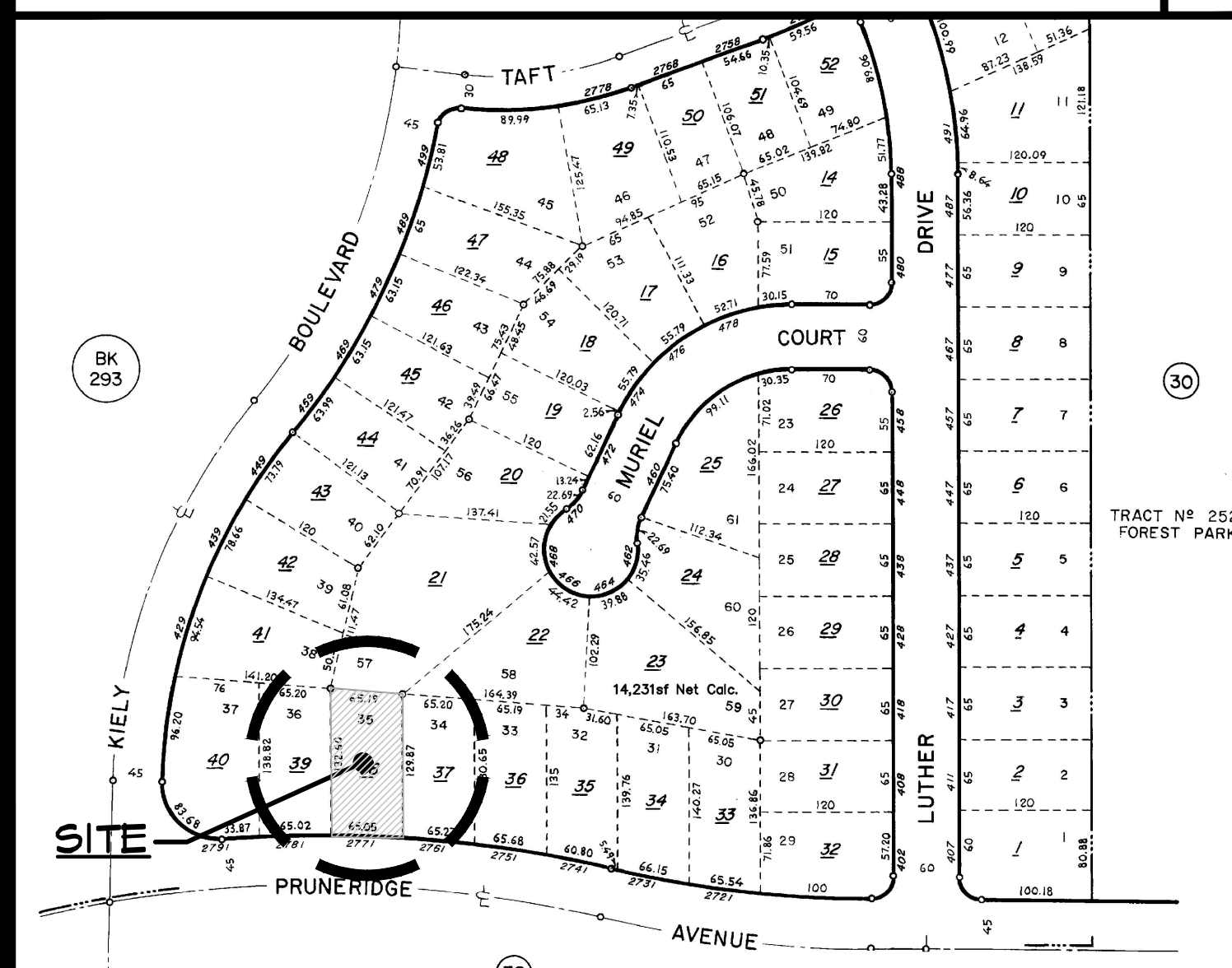
PROPOSED FRONT ELEVATION

2



VICINITY MAP

6



PARCEL MAP

5

LAND SURVEY
LEA & BRAZE ENGINEERING INC.
2495 INDUSTRIAL PARKWAY WEST
HAYWARD, CA 94545
TEL: (510) 887-4086
ATTN: MIRKO FERREIRA

ENERGY CONSULTANT
TITLE 24 EXPRESS
3335 PLACER STREET, #350
REDDING, CA 96001
TEL: (888) 828-9488
ATTN: MICHAEL KUNZ, CEPE

ARCHITECT
YOUNG AND BORLIK ARCHITECTS, INC.
4962 EL CAMINO REAL, SUITE 218
LOS ALTOS, CA 94022
TEL: (650) 688-1950
ATTN: DAN RHOADS

STRUCTURAL ENGINEER
RAHMANI & ASSOCIATES INC.
1870 HAMILTON AVE.
SAN JOSE, CA 95125
TEL: 408-377-4000
ATTN: MOHAMMAD RAHMANI, P.E.

- ARCHITECTURAL**
- A0.1 COVER SHEET, VICINITY MAP, CONSULTANTS, SHEET INDEX, PROJECT SUMMARY
 - A0.2 GENERAL NOTES
 - A0.4 EXISTING SITE PLAN
 - A0.5 PROPOSED SITE PLAN
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 - A2.3 PROPOSED ROOF PLAN
 - A3.1 PROPOSED & EXISTING FRONT (SOUTH) ELEVATIONS
 - A3.2 PROPOSED & EXISTING SIDE (WEST) ELEVATIONS
 - A3.3 PROPOSED & EXISTING REAR (NORTH) ELEVATIONS
 - A3.4 PROPOSED & EXISTING SIDE (EAST) ELEVATIONS
 - A4.1 PROPOSED & EXISTING SECTION
 - A4.2 PROPOSED SECTION & EAVE DETAIL

SURVEY
TOPOGRAPHIC SURVEY

SCOPE:

SECOND STORY ADDITION TO THE EXISTING ONE STORY HOUSE (726.8 SF), WITH 1ST FLOOR ADDITION TO THE SIDE AND REAR (411.5 SF) INCLUDING KITCHEN AND GUEST BATH INTERIOR REMODEL.

PROJECT DESIGN DATA:

- 2019 CALIFORNIA BUILDING CODE - VOL. 1&2
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRIC CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA GREEN BUILDING CODE (CalGreen)
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND REGULATIONS.

THE DOCUMENTS PREPARED BY THESE CONSULTANTS ARE AN INTEGRAL PART OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS AND SHALL BE INCORPORATED INTO THIS SET BY REFERENCE. I.E. SOILS REPORT, TITLE-24, STRUCTURAL CALCULATIONS, ETC. THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED. THE CONTRACTOR SHALL OBTAIN CURRENT COPIES OF ALL DOCUMENTS, READ, UNDERSTAND AND CONFIRM ANY CONFLICTS OR DISCREPANCIES OR QUESTIONS WITH APPROPRIATE CONSULTANTS.

CONSULTANTS

4

TOPOGRAPHIC SURVEY

SHEET INDEX

3

APN#: 294 - 31 - 038
OWNER: RAKESH & SHALINI GHIYA
PROJECT ADDRESS: 2771 PRUNERIDGE AVE, SANTA CLARA, CA 95051
BUILDING OCCUPANCY: R-3/ U
TYPE OF CONSTRUCTION: V-B, NOT SPRINKLED
ZONING: R1-6L
LOT SIZE: 8,510 sf (0.19 ACRES)
HISTORIC STATUS: NO
FLOOD ZONE: X
STORIES: 1
ALLOWABLE LOT COVERAGE: 3,404 SF

FRONT SETBACK: 20'
SIDE SETBACK: 5'
REAR SETBACK: 20'
HEIGHT LIMIT: 25'

AREA CALCULATION:

EXISTING CONDITIONED FLOOR AREA:	1,460.8 SF
EXISTING UNCONDITIONED SPACE (GARAGE):	501.5 SF
TOTAL EXISTING FLOOR AREA:	1,962.3 SF
COVERED PORCH:	199.3 SF
EXISTING LOT COVERAGE:	2,161.6 SF
PROPOSED 1ST FLOOR ADDITION	411.5 SF
PROPOSED 2ND FLOOR ADDITION	726.8 SF
TOTAL AREA OF ADDITION	1,138.3 SF
PROPOSED 1ST FLOOR AREA (CONDITIONED):	1,872.3 SF
PROPOSED 2ND FLOOR AREA (CONDITIONED):	726.8 SF
PROPOSED UNCONDITIONED SPACE (GARAGE):	501.5 SF (NO CHANGE)
TOTAL PROPOSED FLOOR AREA:	3,100.6 SF
COVERED PORCHES	188.9 SF
PROPOSED LOT COVERAGE:	2,562.7 SF < 3,404 SF

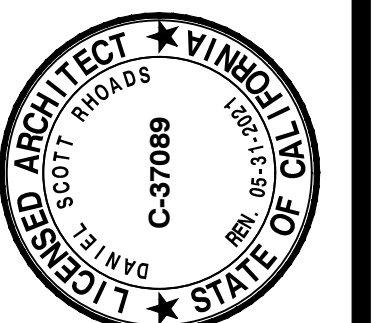
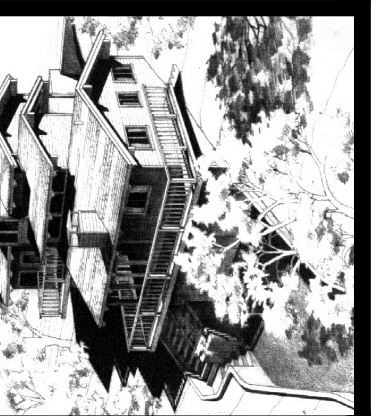
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PROJECT SUMMARY

1

ISSUE LOG
PLANNING APPLICATION
PLAN 17-20030
1 PLANNING REV 1
JULY 14, 2020

YOUNG AND BORLIK ARCHITECTS, INCORPORATED
4962 EL CAMINO REAL, SUITE #218 LOS ALTOS, CA 94022
TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarchitects.com



REMODEL AND ADDITION FOR:
RAKESH & SHALINI GHIYA
2771 PRUNERIDGE AVE,
SANTA CLARA, CA 95051

A.P.N. 294-31-038
CHECKED DSR DRAWN TP, NP
DATE JUN. 17, 2020
JOB # GHIYA

A0.1

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**SECTION 4.106
SITE DEVELOPMENT**

4.106.1 General. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.

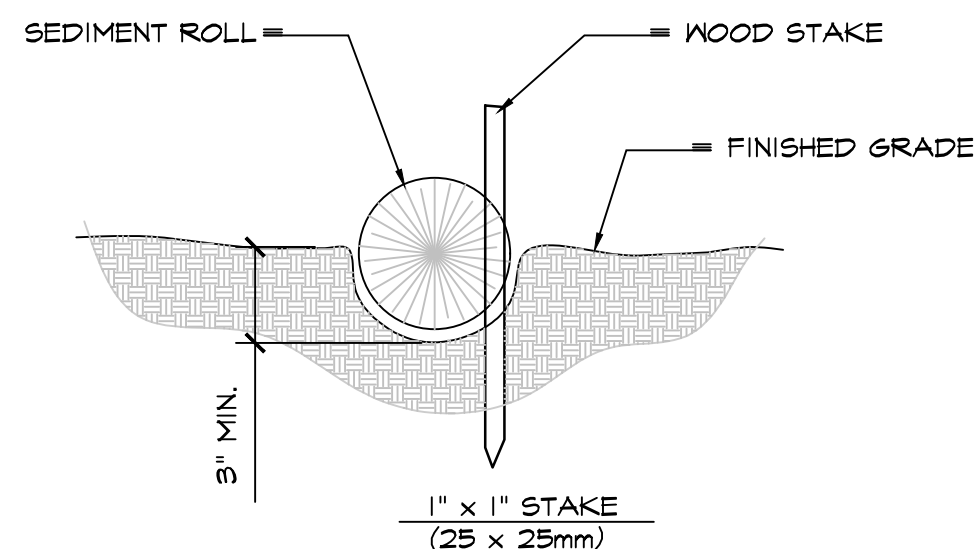
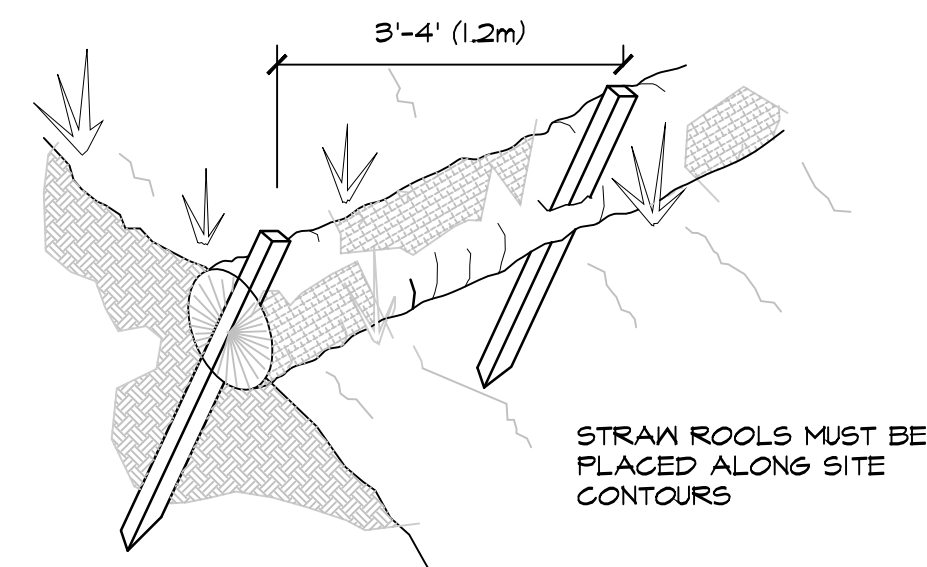
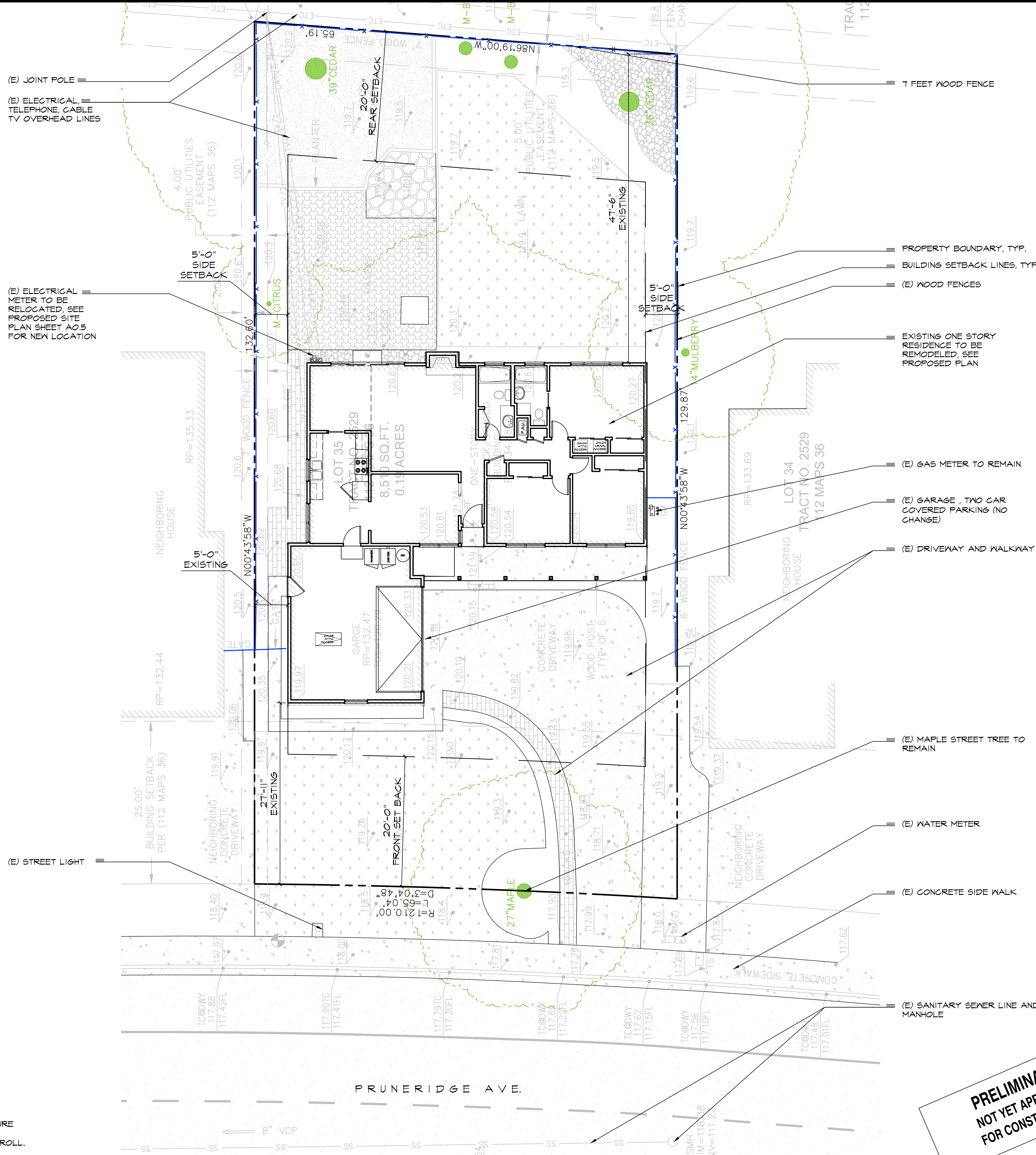
4.106.2 Storm water drainage and retention during construction.

Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.

1. Retention basins of sufficient size shall be utilized to retain storm water on the site.
2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.
3. Compliance with a lawfully enacted storm water management ordinance.

4.106.3 Surface drainage. The site shall be planned and developed to keep surface water from entering buildings. Construction plans shall indicate how the site grading or drainage system will manage surface water flows. Examples of methods to manage surface water include, but are not limited to, the following:

1. Swales
2. Water collection and disposal systems
3. French drains
4. Water retention gardens
5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.



NOTE:
1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH 3"-5" (75-125mm) DEEP DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER AROUND ROLL.

TREE PROTECTION NOTES:

PROVIDE TEMPORARY CONSTRUCTION FENCING AS SHOWN TO PROTECT ENTIRE ROOT ZONE TO OUTSIDE OF THE TREE CANOPY PERIMETER. FENCE SHOULD BE 6 FOOT CHAIN LINK, AND BE IN PLACE PRIOR TO ARRIVAL OF ANY MATERIALS OR EQUIPMENT AND SHOULD REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED AND GIVEN FINAL APPROVAL.

OR IN SELECTED LOCATIONS, WRAP W/ MULTIPLE LAYERS OF ORANGE SNOW FENCING WITH 2X4'S VERTICALLY AROUND TRUNK TO PREVENT DAMAGE DUE TO CONTACT IN TIGHT PROXIMITY LOCATIONS.

PROVIDE 5" WOOD CHIP MULCH WITHIN TREE DRIP LINE.

PROTECTIVE FENCING MEASURES MUST NOT BE TEMPORARILY MOVED DURING CONSTRUCTION. REVIEW TREE PROTECTION MEASURES IN PLACE WITH OWNER, ARCHITECT, AND CONSULTING ARBORIST PRIOR TO COMMENCEMENT.

NO GRADING, TRENCHING, OR SURFACE SCRAPING INSIDE THE CANOPY PERIMETER OF RETAINED TREES, UNLESS SPECIFICALLY INDICATED ON THE ENCLOSED PLANS. EXCAVATED SOIL OR EQUIPMENT MAY NOT BE STORED, TEMPORARILY OR EXTENDED, UNDER THE CANOPIES OF TREES.

LANDSCAPE MATERIALS (COBBLE, DECORATIVE BARK, STONES, FENCING, ETC.) MUST NOT BE INSTALLED DIRECTLY IN CONTACT WITH THE BARK OF TREES TO PREVENT RISK OF SERIOUS DISEASE OF INFECTION. LANDSCAPE PATHWAYS OR OTHER AMENITIES (IF ANY) CONSTRUCTED UNDER TREE CANOPIES MUST BE COMPLETELY ON GRADE WITHOUT EXCAVATION.

ANY PRUNING MUST BE DONE BY I.S.A. CERTIFIED ARBORIST AND ACCORDING TO I.S.A. WESTERN CHAPTER STANDARDS, 1988

BEFORE EXCAVATION CALL U.S.A. OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR LOCATION & VERIFICATION OF ALL EXISTING UNDERGROUND UTILITIES. UNDERGROUND SERVICE ALERT (USA) SHOULD BE NOTIFIED FOR ASSISTANCE IN THIS MATTER AT (800) 227-2600, 48 HOURS PRIOR TO ANY CONSTRUCTION. THE (USA) AUTHORIZATION NUMBER SHALL BE KEPT AT THE JOB SITE. LOCATION & CHARACTER OF ANY UTILITIES IF SHOWN HEREON ARE APPROXIMATE, AND TAKEN FROM A COMBINATION OF SURFACE STRUCTURE OBSERVATION AND/OR THE RECORDS OF THE CONTROLLING AGENCY.

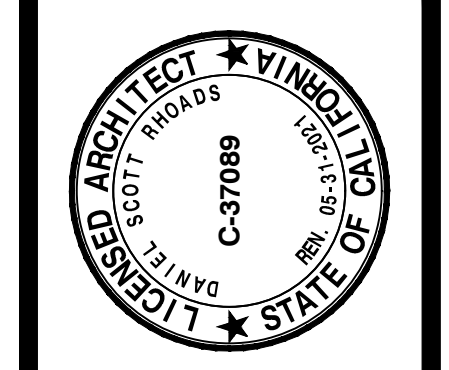
YOUNG & BORLIK ARCHITECTS DOES NOT ASSUME RESPONSIBILITY FOR THE LOCATION OF ANY EXISTING UTILITIES OR OTHER UNDERGROUND FEATURES SUCH AS VAULTS, TANKS, BASEMENTS, BURIED OBJECTS, ETC.

ANY WORK IN THE RIGHT-OF-WAY UNDER SEPARATE APPROVAL BY PUBLIC WORKS DIVISION.

ISSUE LOG	
PLANNING APPLICATION	JUN. 17. 2020

YOUNG AND BORLIK
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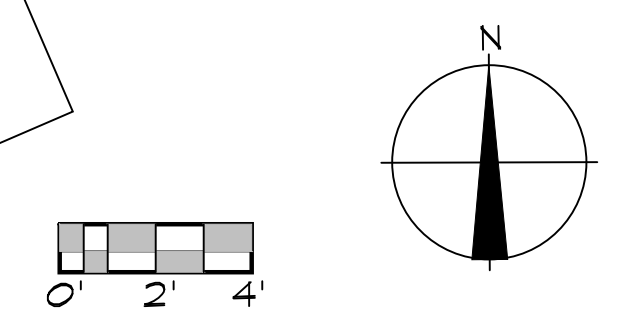


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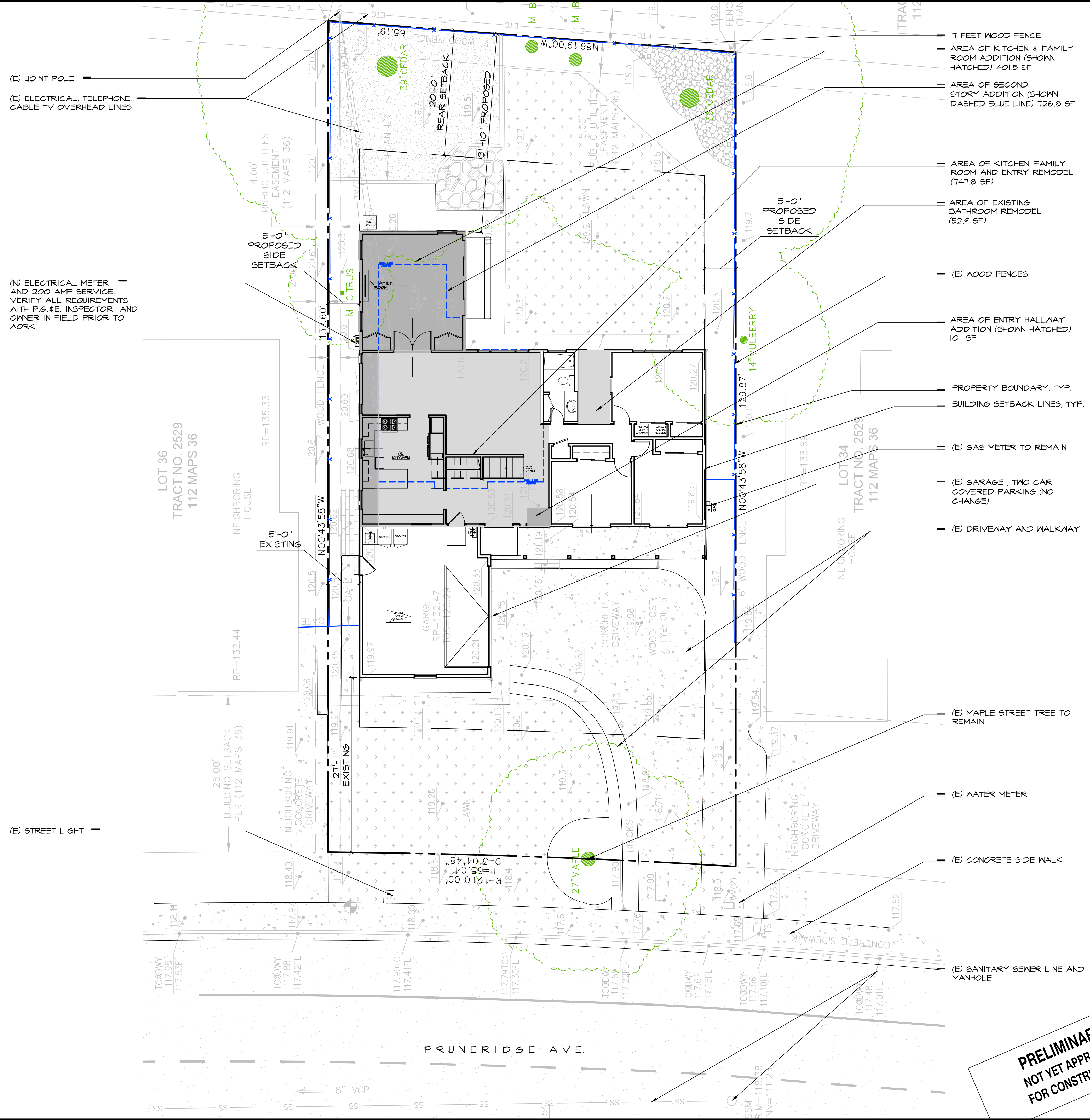
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PRELIMINARY - NOT YET APPROVED FOR CONSTRUCTION



EXISTING SITE PLAN

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GENERAL SITE NOTES:

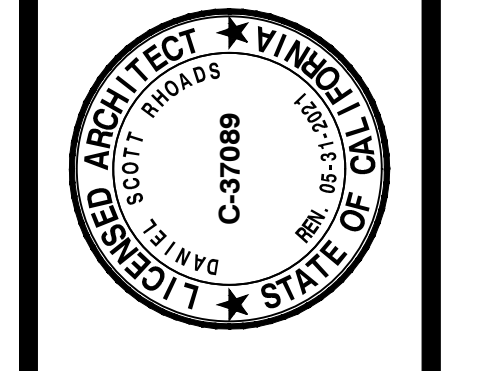
DIRECT ROOF DOWNSPOUTS TO SPLASHBLOCKS AT GRADE. FINAL GRADING AT FINISHED SURFACES TO SLOPE AWAY FROM STRUCTURE. MIN. 5% LANDSCAPE AREAS, MIN. 2% PAVED SURFACES. DIRECT SURFACE RUN-OFF TO VEGETATED BEDS & SWALES, AND SLOPED TO DRAIN TOWARDS THE STREET OR PUBLIC FRONTAGE WITHOUT CROSSING ADJACENT PROPERTY LINES.

FINISH GRADE AROUND STRUCTURE SHALL SLOPE AWAY FROM FOUNDATION A MIN. OF 5% FOR A MIN. DISTANCE OF 10' (CBC 1804.3)

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PLANNING APPLICATION	JUN. 17. 2020

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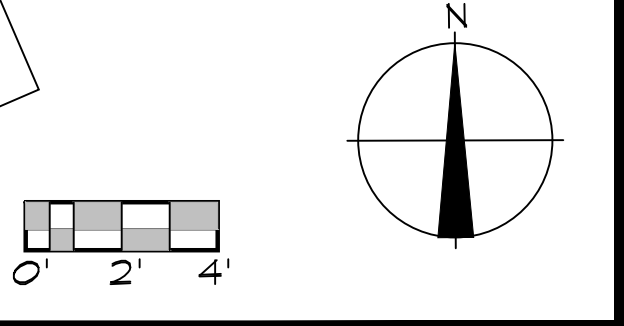


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CHECKED DSR	DRAWN TP, NP
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A0.5

PRELIMINARY - NOT YET APPROVED FOR CONSTRUCTION



PROPOSED SITE PLAN

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**SECTION 4.408
CONSTRUCTION WASTE REDUCTION,
DISPOSAL AND RECYCLING**

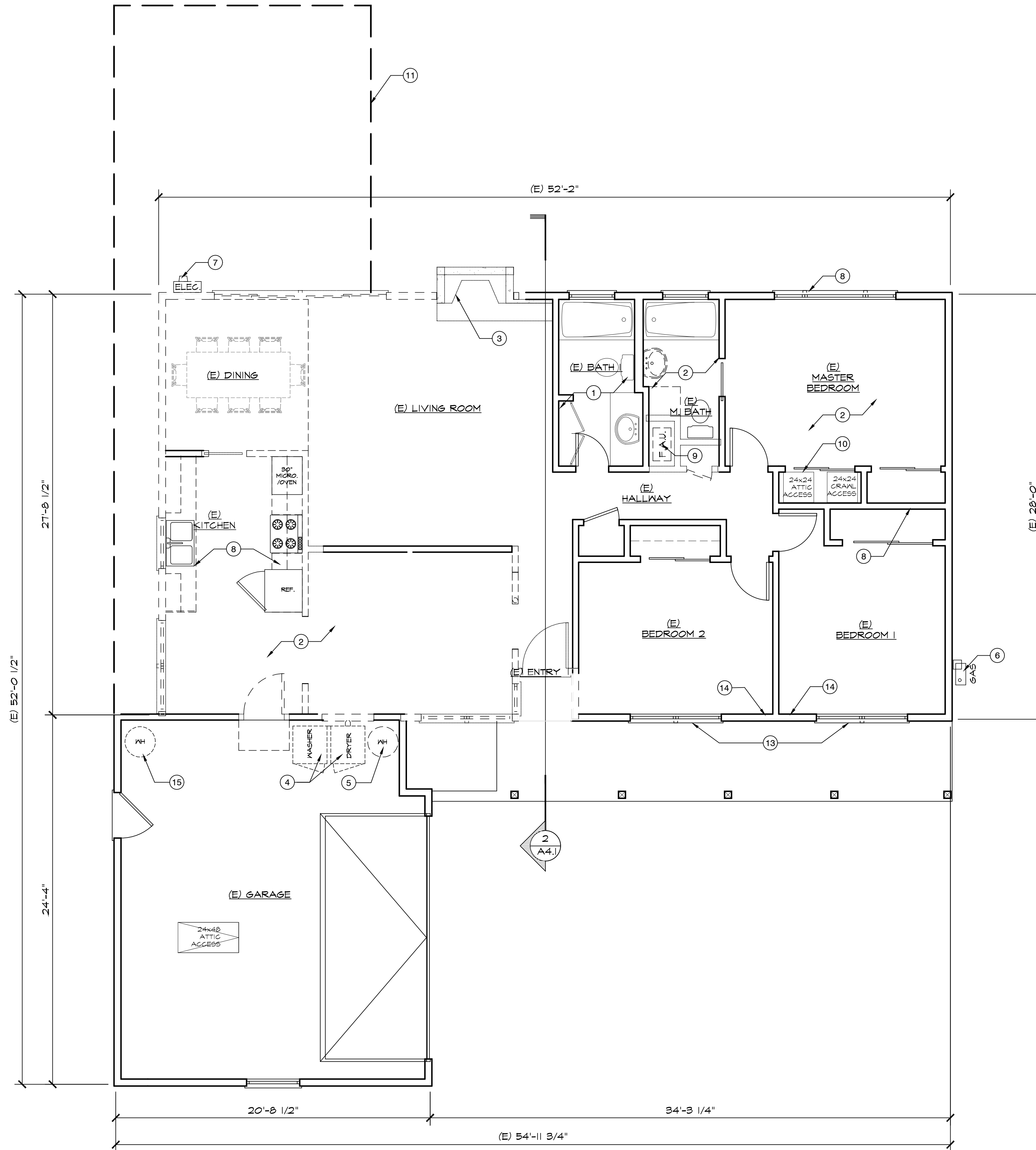
4.408.1 Construction waste reduction of at least 65 percent.
Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition debris, or meet a local construction and demolition waste management ordinance, whichever is more stringent.
Exceptions:
1. Excavated soil and land-clearing debris.
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.

4.408.2 Construction waste management plan. Where a local jurisdiction does not have a construction and demolition waste management ordinance, a construction waste management plan shall be submitted for approval to the enforcing agency that:
1. Identifies the materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
2. Specifies if materials will be sorted on-site or mixed for transportation to a diversion facility.
3. Identifies the diversion facility where the material collected will be taken.
4. Identifies construction methods employed to reduce the amount of waste generated.
5. Specifies that the amount of materials diverted shall be calculated by weight or volume, but not by both.

4.408.2.1 Documentation. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5. The waste management plan shall be updated as necessary and shall be accessible during construction for examination by the enforcing agency.

4.408.2.2 Isolated jobsites. The enforcing agency may make exceptions to the requirements of this section when jobsites are located in areas beyond the haul boundaries of the diversion facility.

Notes:
1. Sample forms found in Chapter 8 may be used to assist in documenting compliance with the waste management plan.
2. Mixed construction and demolition debris (C&D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).



DEMOLITION NOTES:

EXISTING ELEMENTS TO BE REMOVED OR MODIFIED SHOWN DASHED, TYPICAL. SEE ALSO PROPOSED FLOOR PLANS A2.1 & A2.2.

PRIOR TO DEMOLITION, WALK THROUGH WITH OWNER AND VERIFY ANY REMOVED PLUMBING, LIGHTING, FINISHES, WINDOWS, DOORS, ETC. TO BE SAVED FOR REUSE OR RELOCATION.

VERIFY CITY REQ'D WASTE DIVERSION PROGRAMS FOR DEMOLITION & CONSTRUCTION DEBRIS PRIOR TO DEMOLITION.

PROVIDE DUST SCREENING AS NECESSARY TO PROTECT UNTOUCHED AREAS DURING CONSTRUCTION.

SEAL OFF DUCT OPENINGS & VENTS PRIOR TO DEMOLITION & THROUGHOUT CONSTRUCTION TO PREVENT DUST INFILTRATION.

SEE ADDITIONAL DEMOLITION & FLOOR PLAN NOTES ON GENERAL NOTES SHEET A0.2

PRIOR TO DEMOLITION, VERIFY COMPLIANCE WITH E.P.A. REQ'D PRACTICES & CERTIFICATION FOR LEAD CONTAMINATION.

THE ENVIRONMENTAL PROTECTION AGENCY (E.P.A.) REQUIRES THAT FIRMS PERFORMING RENOVATION, REPAIR, AND PAINTING PROJECTS THAT DISTURB LEAD-BASED PAINT IN PRE-1978 HOMES, CHILD CARE FACILITIES, AND SCHOOLS BE CERTIFIED BY E.P.A. AND THAT THEY USE CERTIFIED RENOVATORS WHO ARE TRAINED BY E.P.A.-APPROVED TRAINING PROVIDERS TO FOLLOW LEAD-SAFE WORK PRACTICES.
<http://www.epa.gov/lead/pubs/renovation.htm>

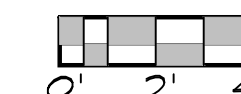
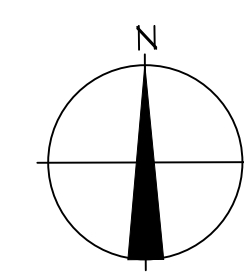
CONTRACTORS TO PROVIDE ALL WORK IN COMPLIANCE WITH REQUIRED LEAD-SAFE WORK PRACTICES, PROJECT DOCUMENTATION, AND PROFESSIONAL CERTIFICATIONS.

KEY NOTES:

1. EXISTING SPACE TO REMAIN UNCHANGED, PROTECT DURING CONSTRUCTION.
2. EXISTING INTERIOR SPACE TO BE REMODELED, DEMO INTERIOR FEATURES & FINISHES.
3. EXISTING MASONRY FIRE PLACE TO BE DEMOLISHED.
4. EXISTING WASHER/DRYER TO BE RELOCATED. SEE SHEET A2.1 FOR NEW LOCATION.
5. EXISTING WATER HEATER TO BE RELOCATED. SEE SHEET A2.1 FOR NEW LOCATION.
6. EXISTING GAS METER TO REMAIN.
7. EXISTING ELECTRIC METER TO BE RELOCATED FOR NEW FAMILY ROOM ADDITION. SEE SHEET A2.1 FOR PROPOSED LOCATION.
8. EXISTING WALLS, DOORS, ETC TO BE REMOVED (SHOWN DASHED, TYPICAL)
9. EXISTING FURNACE TO BE REPLACED.
10. EXISTING ATTIC ACCESS TO BE RELOCATED.
11. NEW FAMILY ROOM AND BEDROOM ADDITION FOOTPRINT SHOWN DASHED.
12. EXISTING WINDOWS TO BE REPLACED WITHIN EXISTING OPENING.
13. EXISTING PORCH & OVERHANG TO REMAIN.
14. EXISTING ROOM TO REMAIN, REMOVE EXISTING DRYWALL FOR ANY ELECTRICAL UPGRADES AND ACOUSTIC INSULATION UPGRADES.
15. EXISTING WATER HEATER TO BE REMOVED.

LEGEND

- KEY NOTES
- (E) WALL TO REMAIN
- - - (E) WALL TO BE DEMOLISHED



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EXISTING FIRST FLOOR PLAN w/ DEMOLITION NOTES

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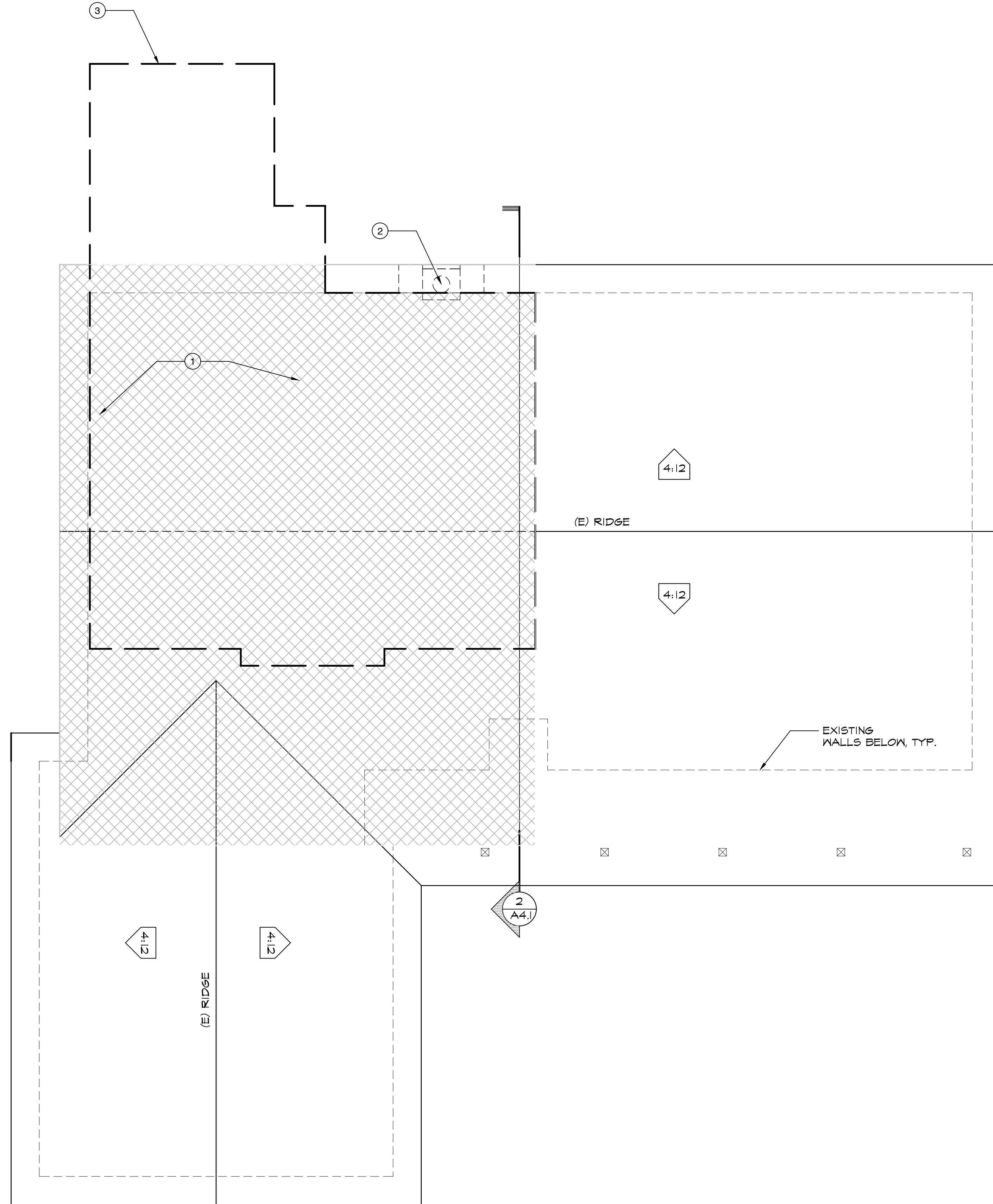


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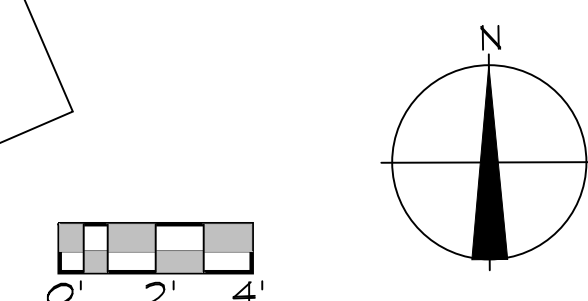
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SEE A1J FOR ALL ADDITIONAL DEMOLITION NOTES.
KEY NOTES:
 1. EXISTING ROOF TO BE CAREFULLY DEMOLISHED FOR NEW SECOND STORY ADDITION.
 2. DEMOLISHED EXISTING FULL FROM THE ROOF.
 3. NEW SECOND STORY MASTER BEDROOM ADDITION SHOWN DASHED.

LEGEND
 ○ KEY NOTES
 — (E) WALL TO REMAIN
 - - - (E) WALL TO BE DEMOLISHED

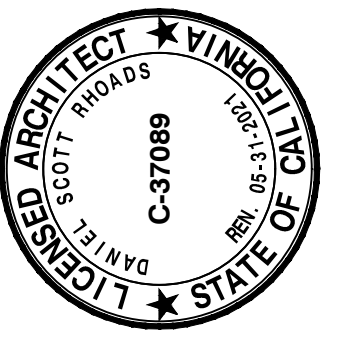


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EXISTING ROOF PLAN w/ DEMOLITION NOTES

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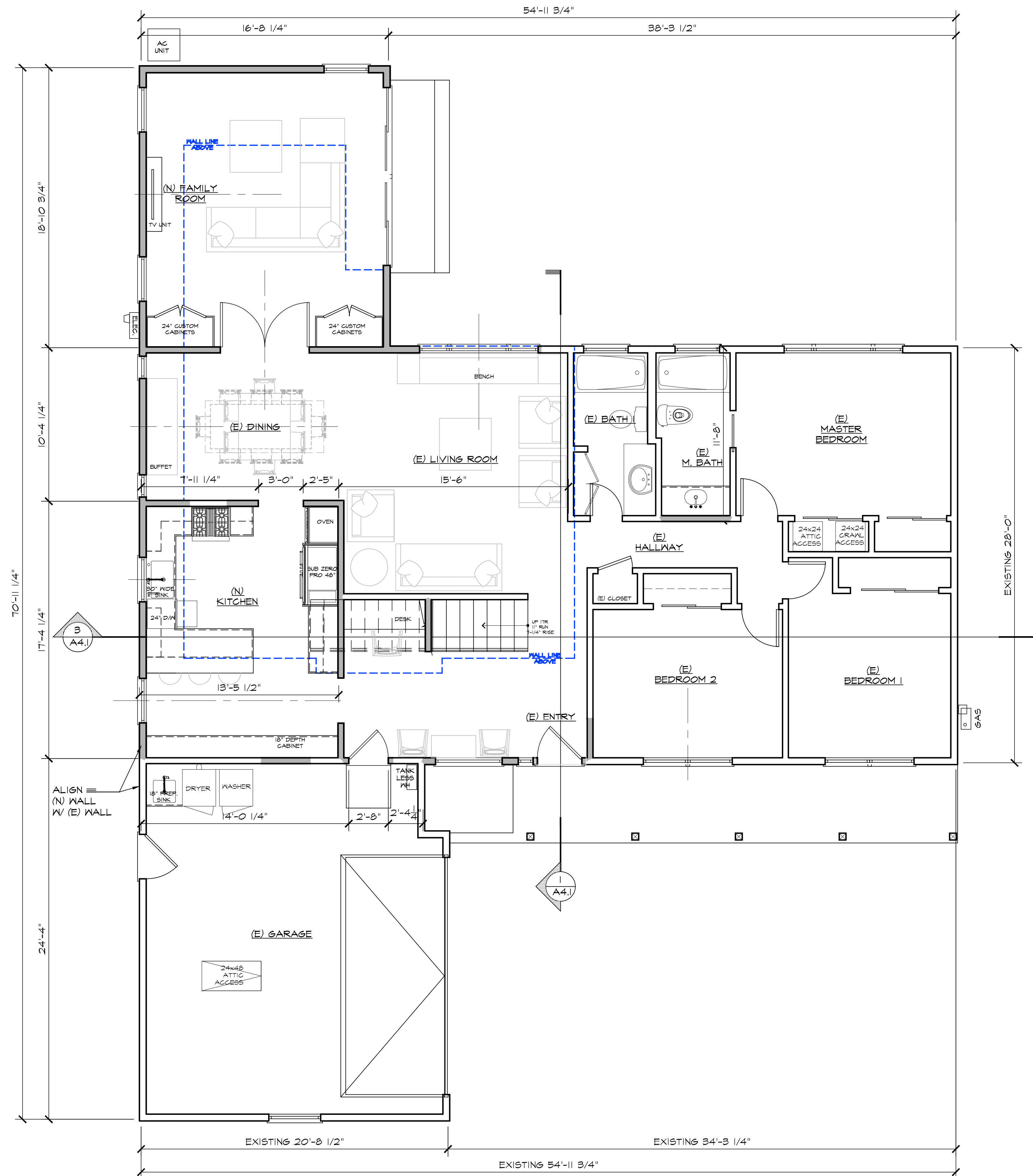


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GENERAL NOTES:

VERIFY ALL HARDSCAPE & LANDSCAPE LAYOUTS & FINISHES WITH OWNER.

ALL NEW WALLS SHOWN SHADED, TYPICAL. SEE DEMOLITION PLAN A1.1 FOR WALLS TO BE REMOVED OR REMAIN.

EXTERIOR WALLS- 1/8" STUCCO FINISH (3-COAT APPLICATION W/ CONTINUOUS G.I. KEEP SCREED AT MUDSILL), OVER METAL LATHE, OVER 2-LAYERS GRADE "D" BLDG. PAPER (OR EQUIVALENT HOME WRAP MEMBRANE) OVER EXTERIOR SHEAR PLYWD., OVER 2x FRAMING @ 16"o.c. U.N.O. SEE STRUCTURAL PLANS FOR SHEAR WALL & HOLDDOWN LOCATIONS & NAILING.

INTERIOR WALLS - 5/8" GYP. BD. ON 2x4 STUDS @ 16"o.c. U.N.O. SEE STRUCTURAL PLANS FOR SHEAR WALL & HOLDDOWN LOCATIONS & NAILING. (2x6 MIN. @ PLUMBING WALLS). 5/8" TYPE 'X' GYPSUM BOARD @ ALL SEPARATION WALLS & CEILING IN GARAGE AND AT ENCLOSED SPACE UNDER STAIRS. PROVIDE ACOUSTICAL BATT INSULATION AT EXPOSED WALLS THROUGHOUT RESIDENCE.

ALL NEW WINDOWS & FRENCH DOORS TO BE DUAL-PANE, VINYL OR ALUMINUM CLAD, W/ DIVIDED LIGHTS AS SHOWN ON ELEVATIONS. PROVIDE TEMPERED GLASS AT ALL GLAZED DOORS AND GLAZING WITHIN 24" OF A DOOR OR WITHIN 18" OF FINISHED FLOOR. PROVIDE TEMPERED GLAZING AT WINDOWS AT SHOWERS AND ABOVE BATHTUBS. SEE C.R.C. NOTES ON SHEET A0.2.

FRAMING CONTRACTOR SHALL CAREFULLY REVIEW ALL ELECTRICAL, MECHANICAL, & STRUCTURAL PLANS AND CONSIDER ALL ISSUES IN LOCATION OF SIGNIFICANT BEAMS AND LAYOUT OF FLOOR & CEILING JOISTS TO ACCOMMODATE LIGHT CANS, PLUMBING, MINIMIZE HEADING OFF, CENTER FLOOR REGISTERS W/ DOORS, ALIGN CHUTES & CHASES, ETC.

ALL DIMENSIONS ARE TO FACE OF STUD OR CENTERLINE OF WINDOW/DOOR, TYP. U.N.O. VERIFY ALL CRITICAL DIMENSIONS AT EXISTING ELEMENTS IN FIELD PRIOR TO FRAMING.

ALIGN FRAM'S, PATCH DRYWALL, TIE IN W/ EXISTING FINISHES. CONTRACTOR TO PROVIDE SCREENING FOR DUST & NOISE DURING CONSTRUCTION- VERIFY W/ OWNER.

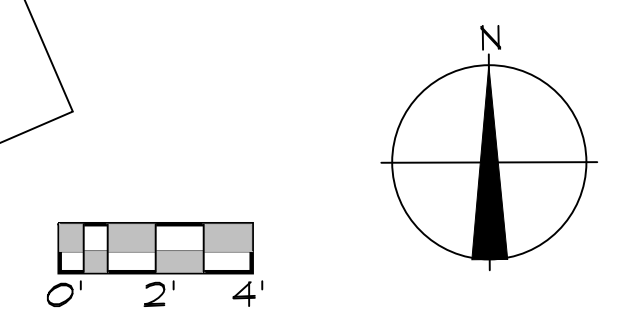
VERIFY FINISH SELECTIONS, BASEBOARD, CEILING TRIM, AND DOOR & WINDOW CASINGS W/ OWNER IN FIELD. PROVIDE BLOCKING AS NECESSARY. VERIFY PAINT AND COLOR SECTIONS W/ OWNER IN FIELD.

MECHANICAL CONTRACTOR TO VERIFY ALL AIR DUCTS, CHASES, LOCATIONS, CONFIGURATIONS, ETC. W/ FRAMING CONTRACTOR DURING FOUNDATION WORK, PRIOR TO FRAMING. PLACE DUCTS OUT OF THE WAY IN ATTICS, CRAWLSPACES, ETC.

KEY TO SYMBOLS:

- PROPOSED WALL (SHOWN SHADED)
 - EXISTING WALL
 - FLOOR PLAN KEY NOTES
 - ⊠^E EXTERIOR UNIT SYMBOLS, SEE SHEET A9.1
 - (W/ "E" FOR EGRESS WINDOW)
 - (W/ "T" FOR TEMPERED GLAZING)
 - (W/ "A" FOR ACTIVE LEAF ON A DOOR PAIR)
 - ⊠ INTERIOR UNIT SYMBOLS, SEE SHEET A9.1
- WINDOWS ARE IN ALPHABETICAL ORDER.
DOORS ARE IN NUMERICAL ORDER.

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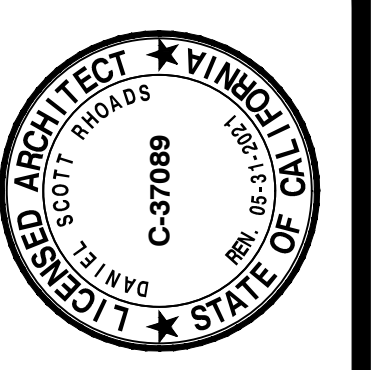
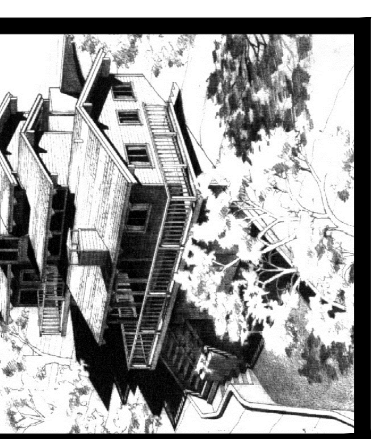


PROPOSED FIRST FLOOR PLAN

1/4" = 1'-0" 1

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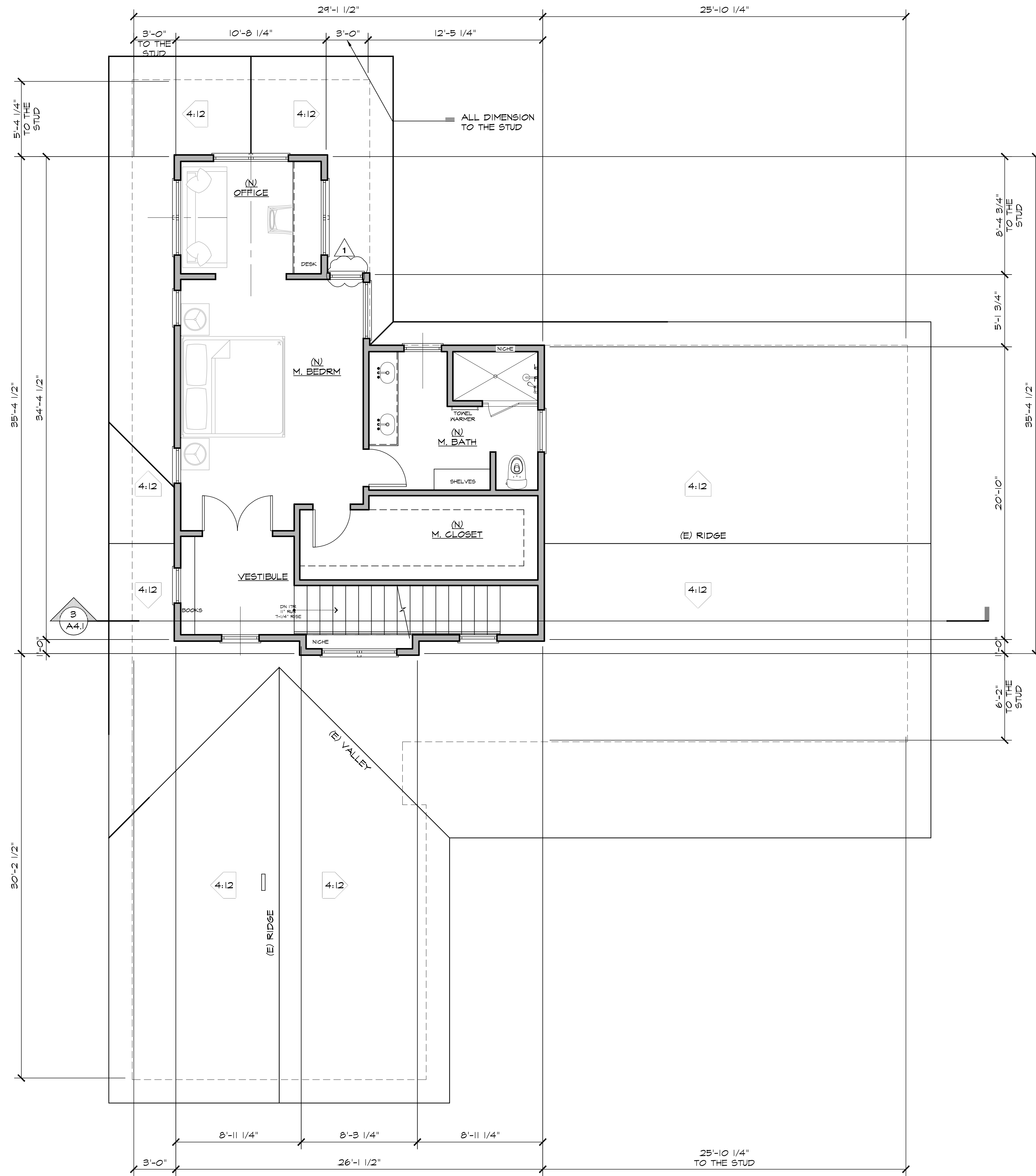


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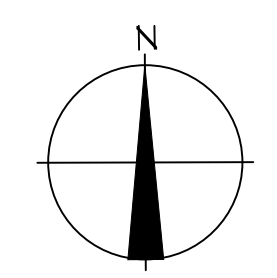
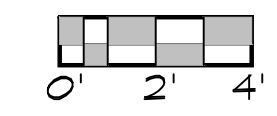
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- KEY TO SYMBOLS:**
- PROPOSED WALL (SHOWN SHADED)
 - EXISTING WALL
 - FLOOR PLAN KEY NOTES
 - EXTERIOR UNIT SYMBOLS, SEE SHEET A9.1
 - (/ W/ "E" FOR EGRESS WINDOW)
 - (/ W/ "T" FOR TEMPERED GLAZING)
 - (/ W/ "A" FOR ACTIVE LEAF ON A DOOR PAIR)
 - INTERIOR UNIT SYMBOLS, SEE SHEET A9.1
- WINDOWS ARE IN ALPHABETICAL ORDER.
DOORS ARE IN NUMERICAL ORDER.

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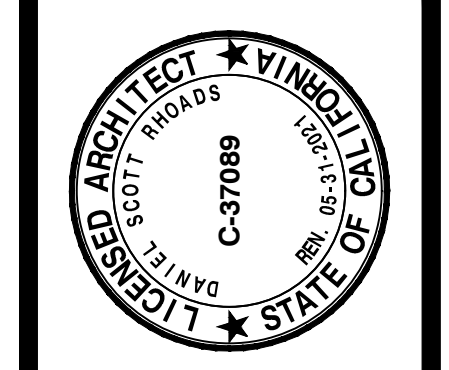


PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0" 1

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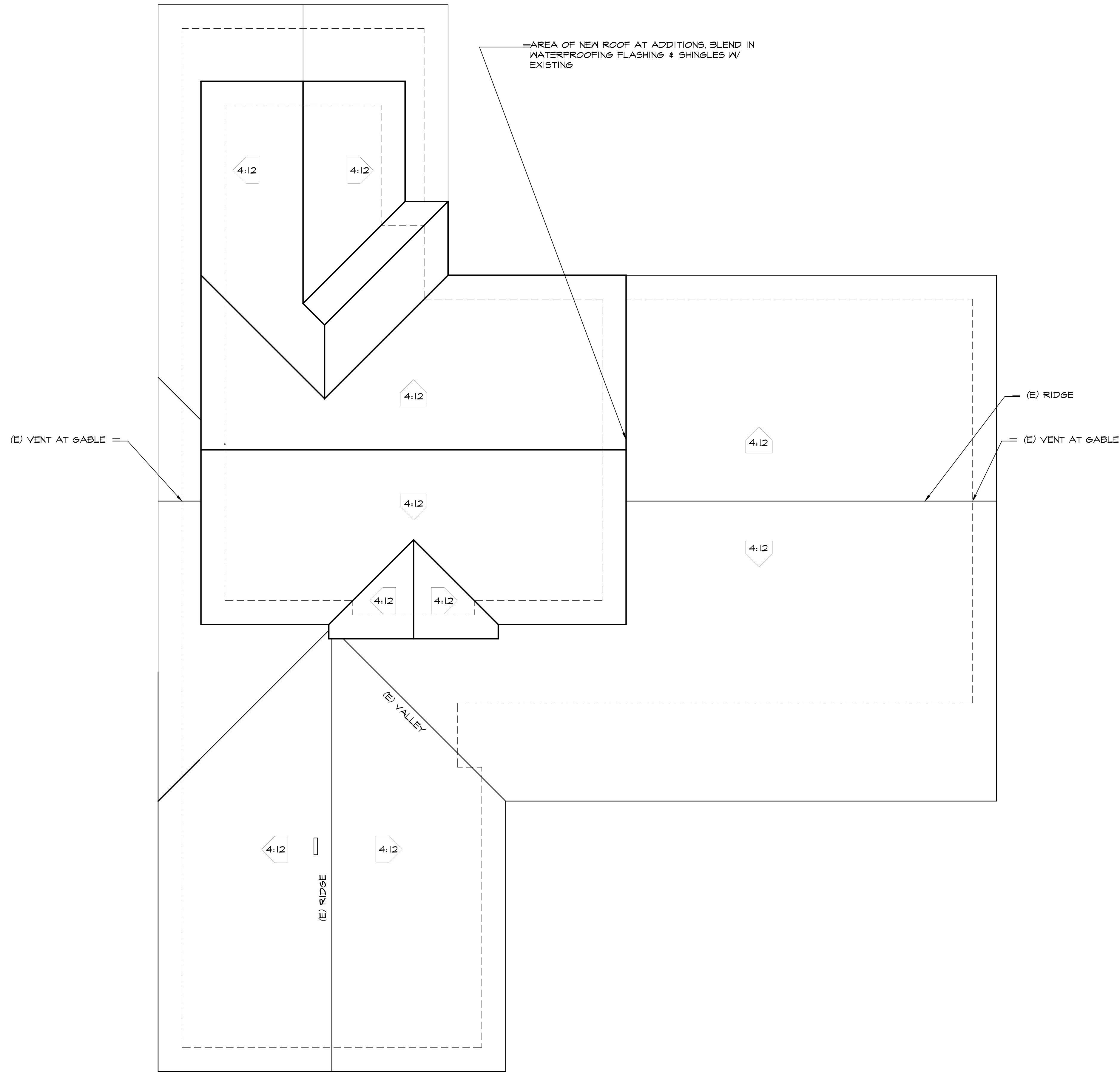


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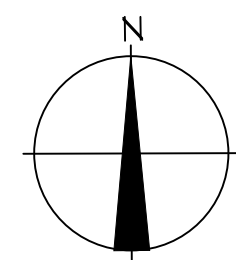
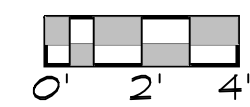
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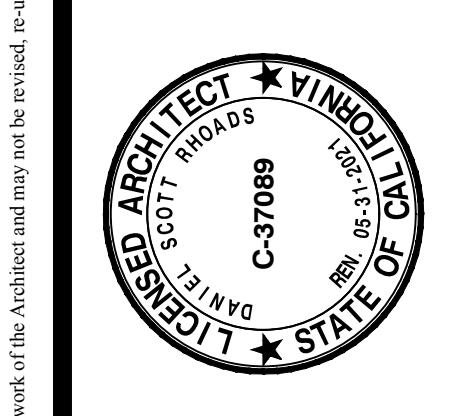
PROPOSED ROOF PLAN

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1" = 1'-0"

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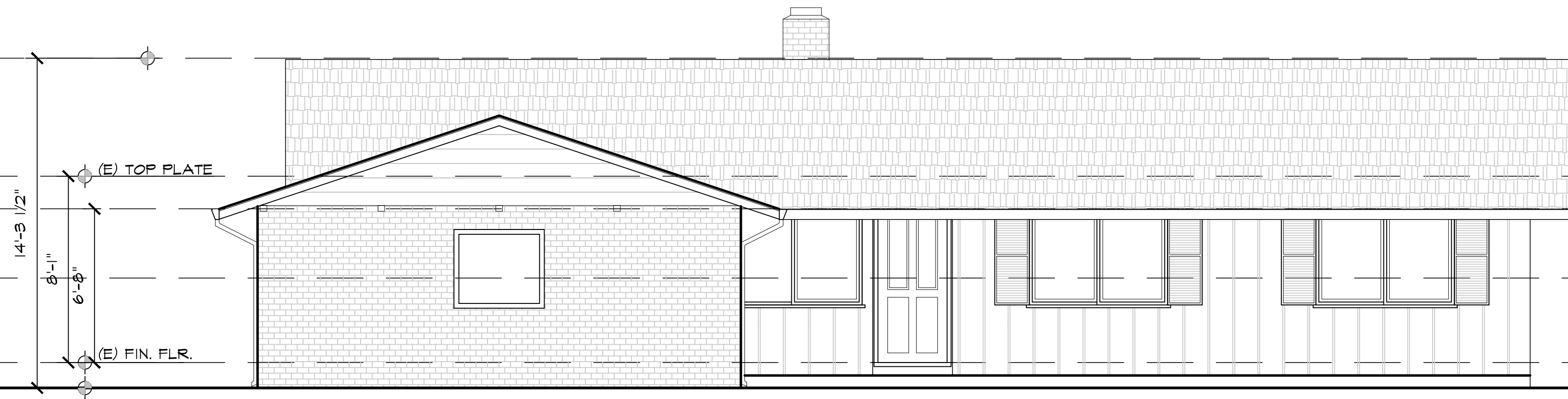


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EXISTING FRONT (SOUTH) ELEVATION

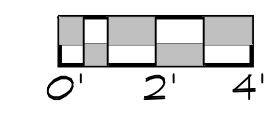
1/4" = 1'-0" **2**



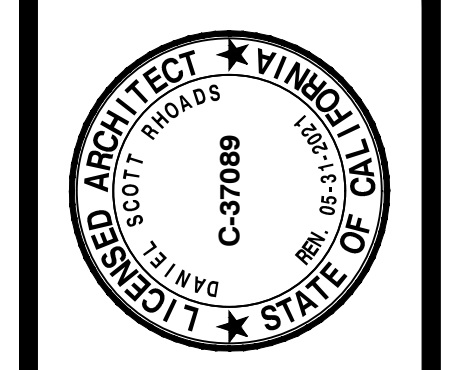
PROPOSED FRONT (SOUTH) ELEVATION

1/4" = 1'-0" **1**

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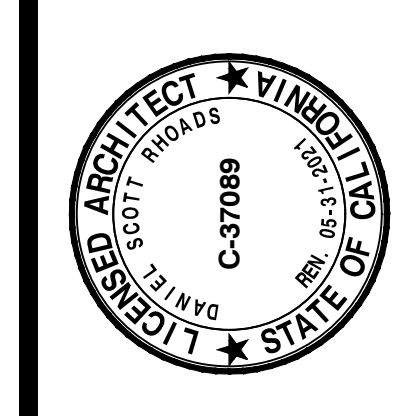
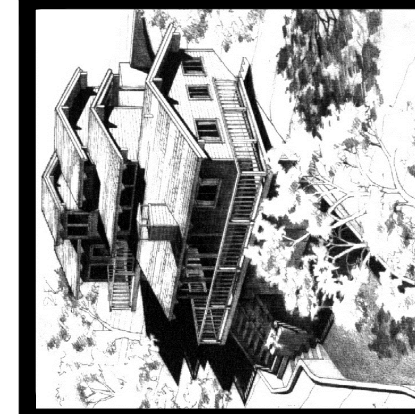
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A3.1

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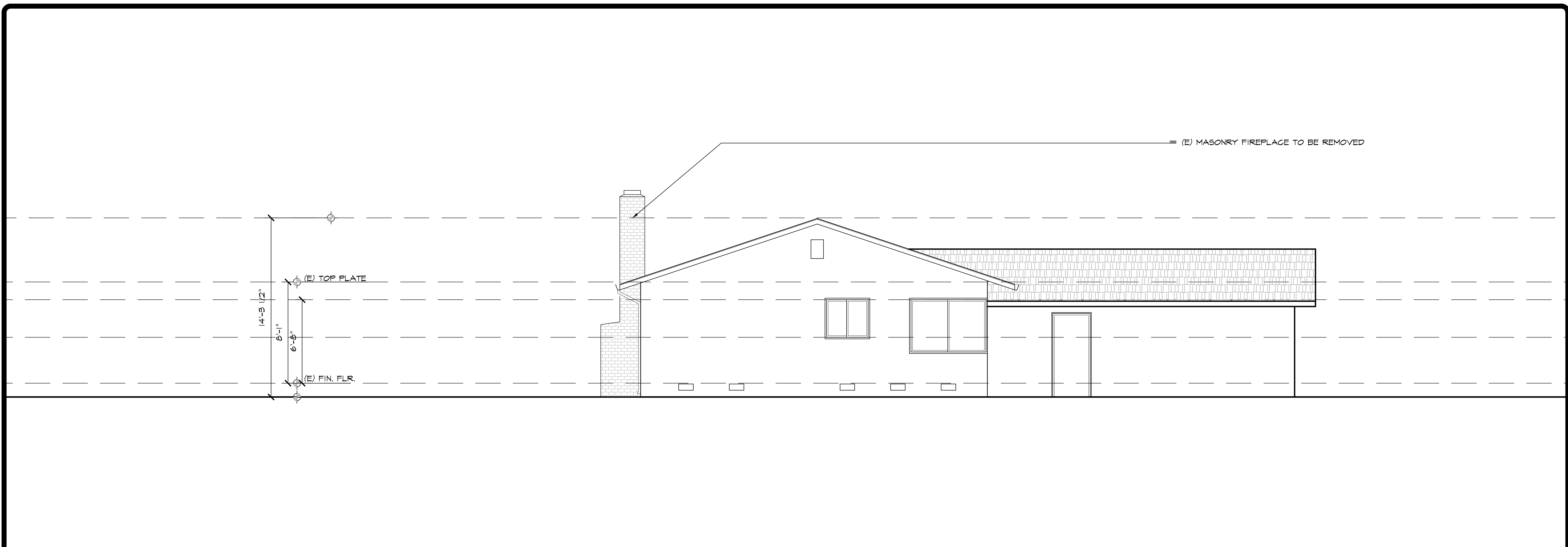
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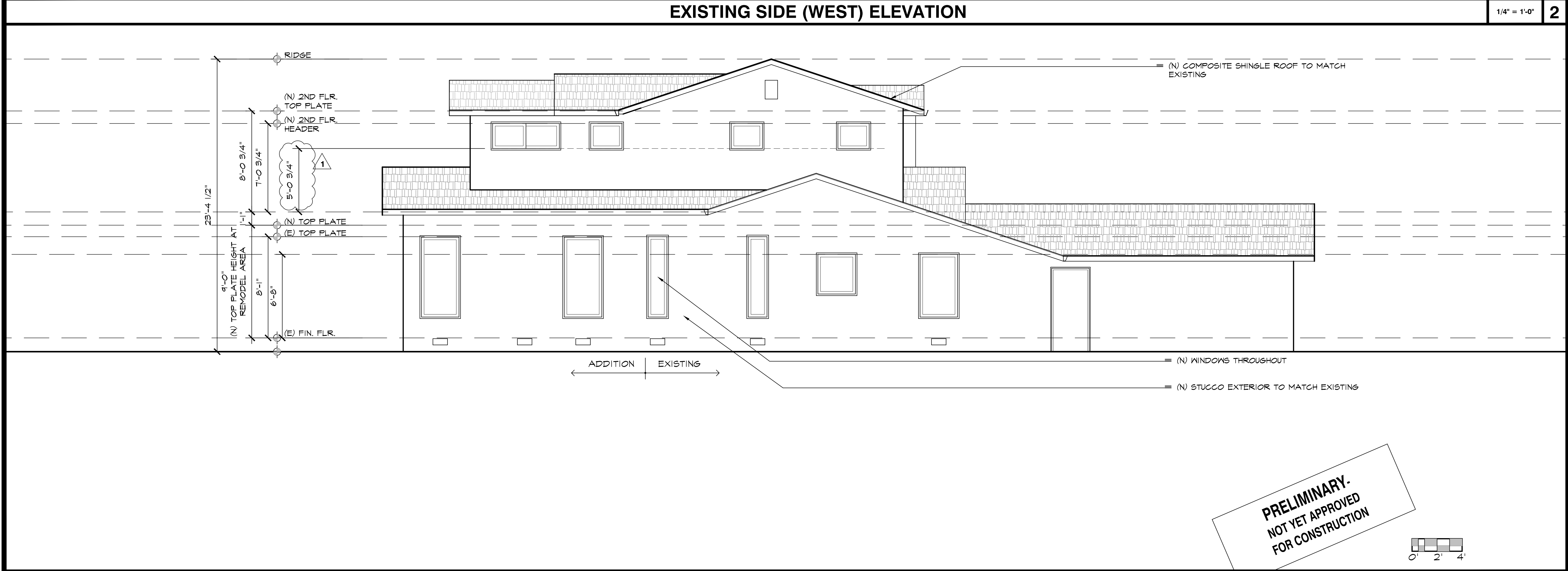
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JOB # GHIYA	

A3.2



EXISTING SIDE (WEST) ELEVATION

1/4" = 1'-0" **2**



PROPOSED SIDE (WEST) ELEVATION

1/4" = 1'-0" **1**

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EXISTING REAR (NORTH) ELEVATION

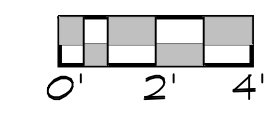
1/4" = 1'-0" **2**



PROPOSED REAR (NORTH) ELEVATION

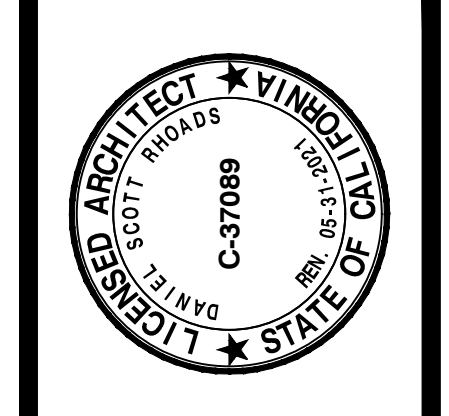
1/4" = 1'-0" **1**

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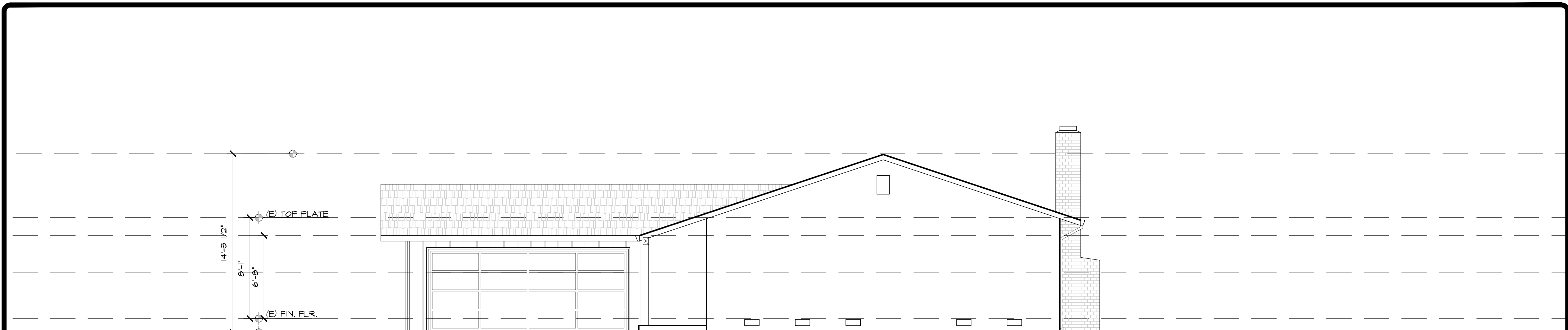


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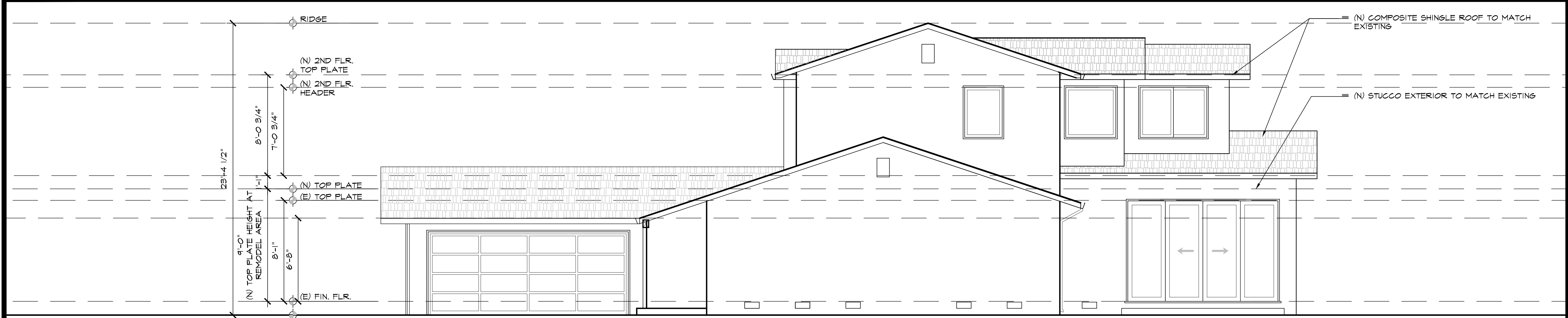
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EXISTING SIDE (EAST) ELEVATION

1/4" = 1'-0" **2**



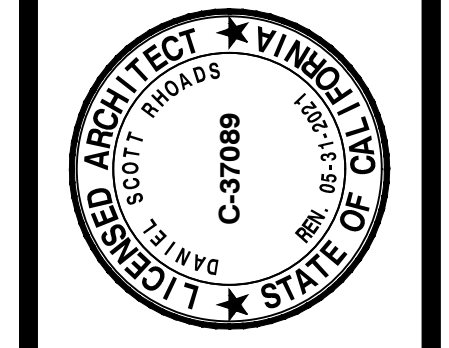
PROPOSED SIDE (EAST) ELEVATION

1/4" = 1'-0" **1**

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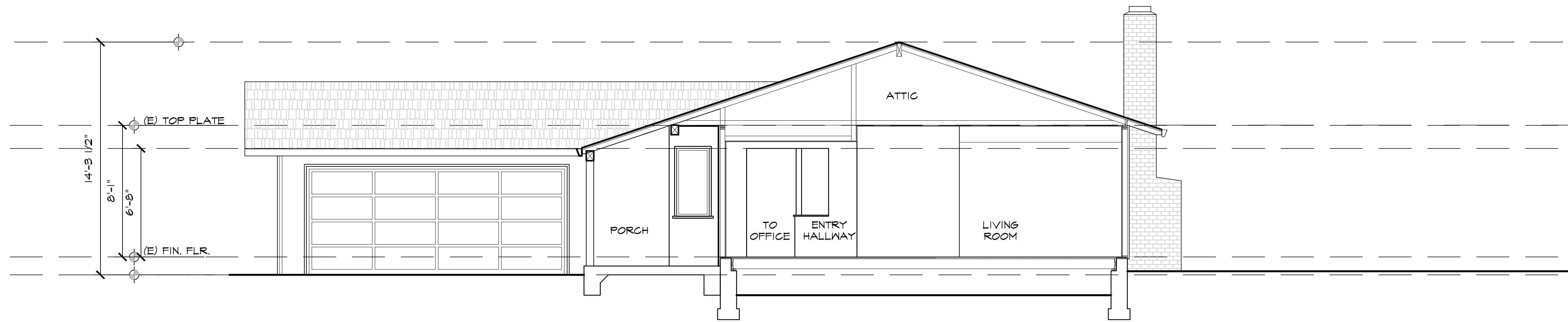


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A3.4

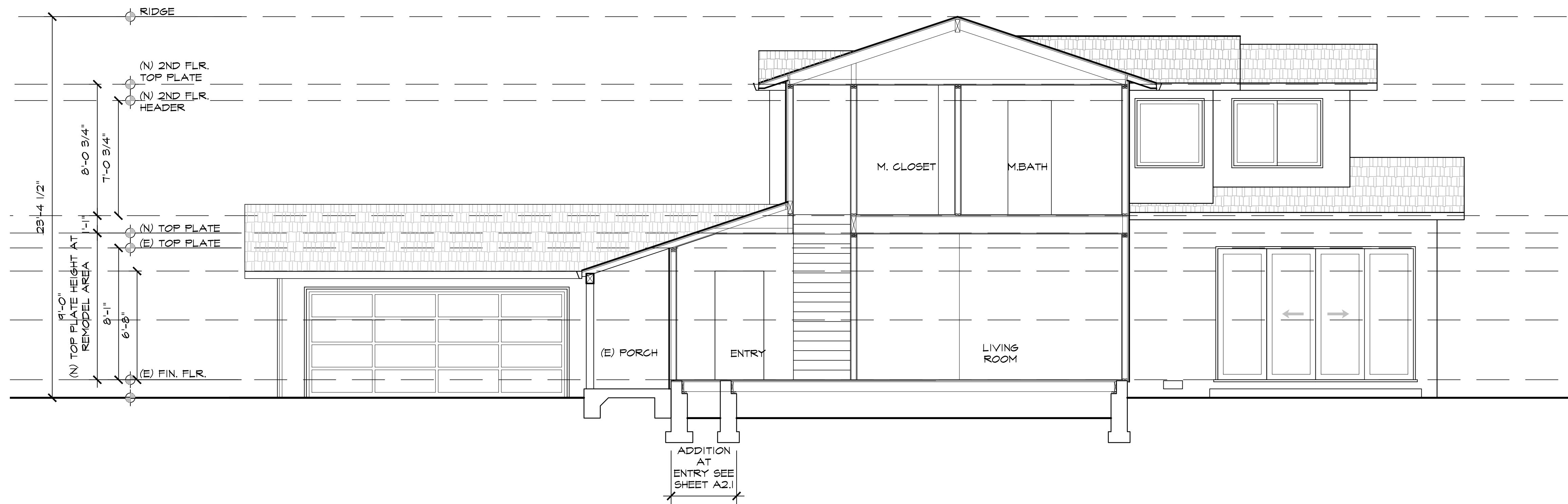
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EXISTING SECTION

1/4" = 1'-0"

2

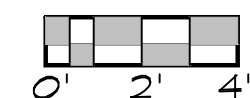


PROPOSED SECTION

1/4" = 1'-0"

1

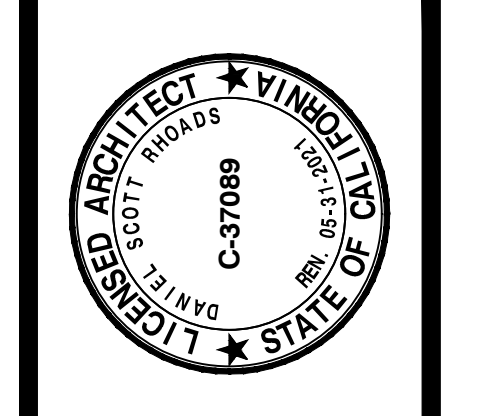
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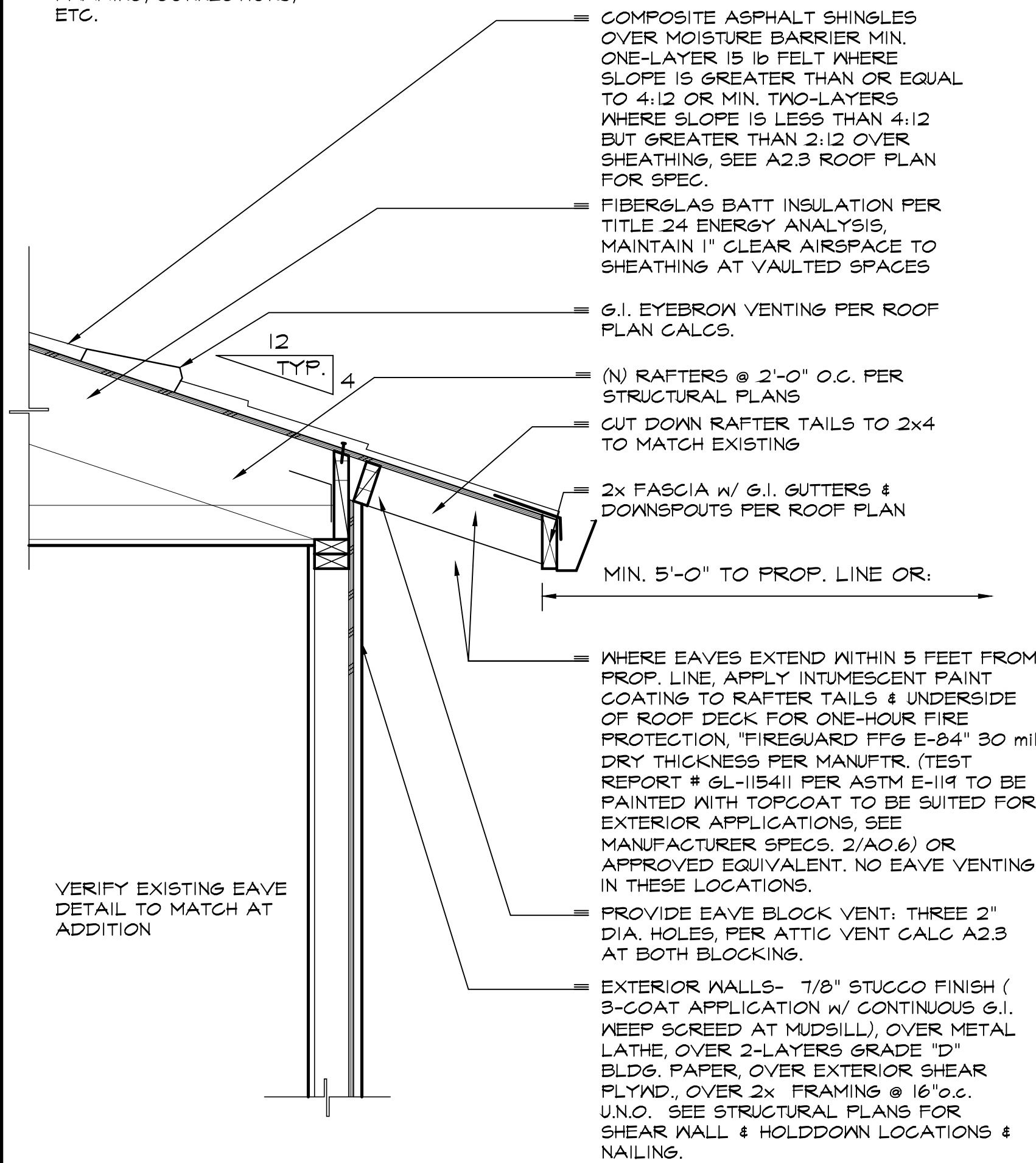
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A4.1

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SEE STRUCTURAL DETAILS FOR ADD'L INFORMATION ON FRAMING, CONNECTIONS, ETC.

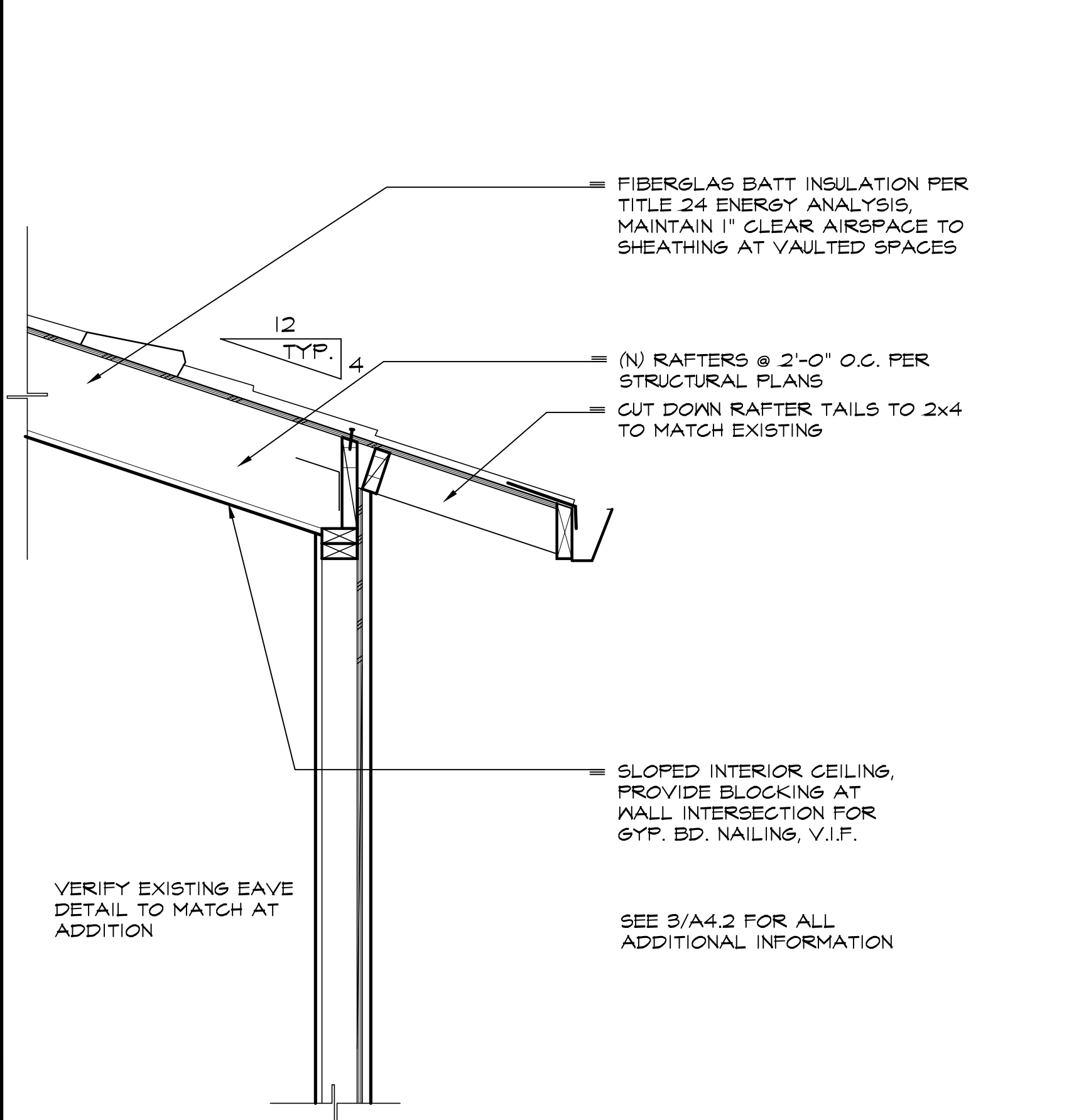


TYP. EAVE DETAIL

1" = 1'-0"

4

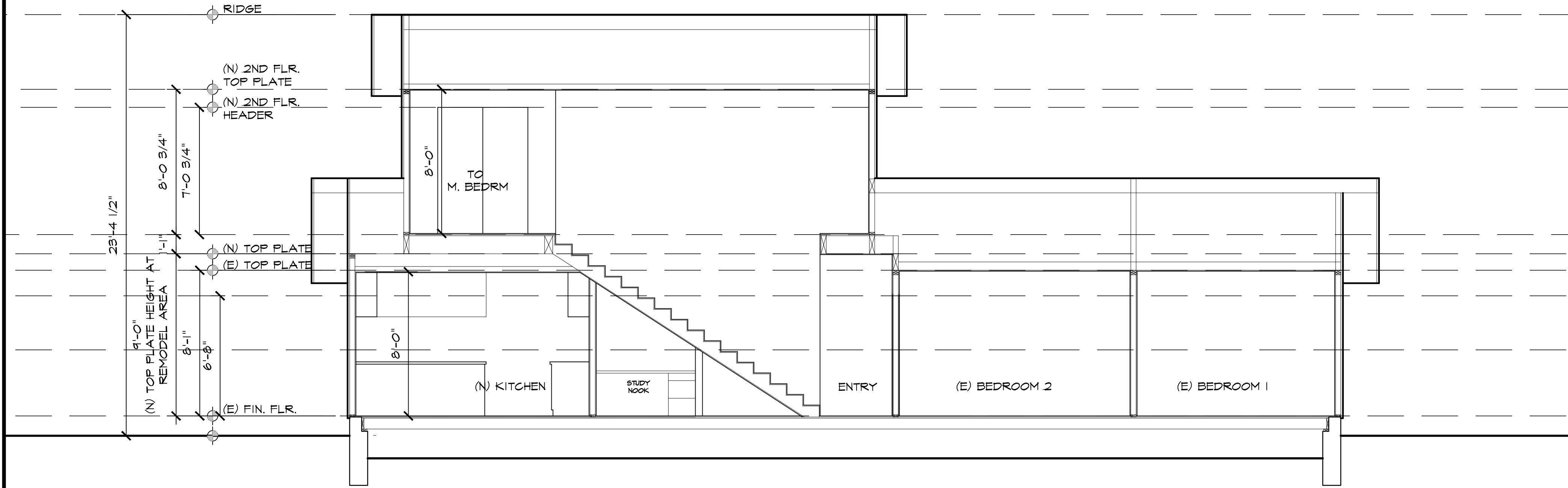
SEE STRUCTURAL DETAILS FOR ADD'L INFORMATION ON FRAMING, CONNECTIONS, ETC.



TYP. EAVE DETAIL

1" = 1'-0"

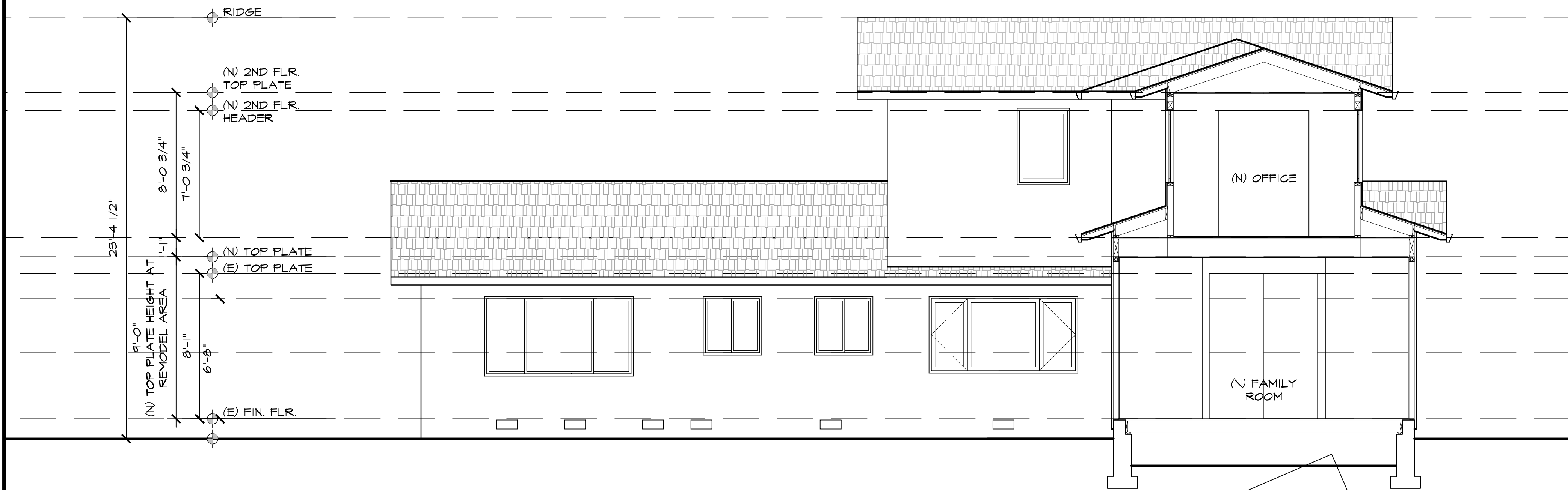
3



PROPOSED SECTION

1/4" = 1'-0"

2

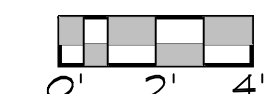


PROPOSED SECTION

1/4" = 1'-0"

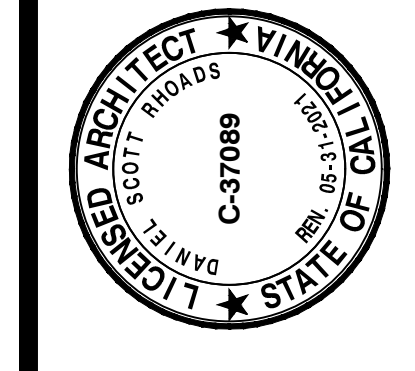
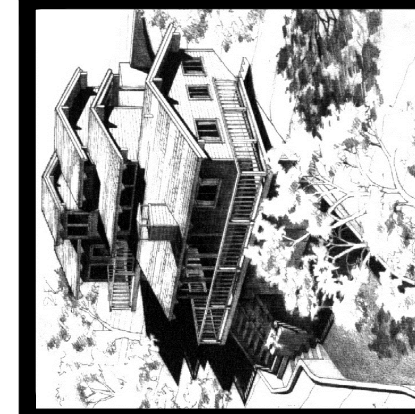
1

PRELIMINARY - NOT YET APPROVED FOR CONSTRUCTION



ISSUE LOG
PLANNING APPLICATION
JUN. 17. 2020

YOUNG AND BORLIK
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4962 EL CAMINO REAL, SUITE #218 LOS ALTOS, CA 94022
TEL: (650) 688-1950 FAX: (650) 323-1112 www.ybarchitects.com



REMODEL AND ADDITION FOR:
RAKESH & SHALINI GHIYA
2771 PRUNERIDGE AVE,
SANTA CLARA, CA 95051

A.P.N. 294-31-038
CHECKED DSR DRAWN TP, NP
DATE JUN. 17. 2020
JOB # GHIYA

A4.2

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June 16, 2020

Community Development Department
Planning Division
City of Santa Clara
1500 Warburton Avenue
Santa Clara, CA 95050

Re: Ghiya Residence, 2771 Pruneridge Ave.
Statement of Justification for the second story addition and remodel

The purpose of this letter is to describe the proposed addition and remodel project at 2771 Pruneridge Ave and provide justifications for approval. The overall project includes first floor addition of 411.5 sf plus interior remodeling to within the existing 1,962.3 sf footprint, with a second story addition of 726.8 sf above. The total proposed residence will be 3,100.6 sf.

The existing residence is a classic ranch home style of architecture, one of several similar throughout the tract. It is a simple "L" shape footprint, with front facing entry porch and a side facing garage at the front. Its current characteristics include simple roof lines with one main ridge running side to side and an intersecting ridge over the garage which presents a front facing gable to the street. The block is mostly single story homes with a couple existing two-story homes. There are similar versions of two story homes across the street, which also appear to be part of the same tract development.

The proposed design is configured to respect the original architectural style, blend harmoniously into existing structure and forms, and the maintain compatibility with adjacent homes on the block. The first floor addition is primarily to the rear of the home, to include a new family room space. Except for infilling a small section of recessed entry, there are no visible changes to the first floor exterior from the street. The second floor is designed with a similar simple roof line with a main ridge running side to side. For architectural interest we've added a central gable to the front façade, to provide articulation across the front wall and to be consistent with the form of the front garage gable. Additional portion of second floor addition will sit above the first floor family room addition below. The position of the second floor is set back slightly from the first story to maintain some roof line and break up the perception of height. The mass of the second floor is positioned on the same side as the garage, which also adds buffer between the pedestrian viewer and the second floor. The left side wall of the second floor is also stepped inward from the first floor wall, to increase the setback from the side property line and maintain roof lines to break up the wall lines. Finish materials and trim details for the second will match the character of the existing residence, to blend the addition into the overall home.

Project Justifications Statement
2771 Pruneridge Ave.

Windows are minimized on the left side, to respect neighbor privacy. There are no bedroom windows located along the first floor of the neighboring side façade. There is an existing second story next door on that left side, but the neighboring second story is located on the opposite side of the property, further away from the proposed second floor addition and avoiding any direct views. Larger second floor windows are facing the rear, where solid tree screening and large distances from rear neighbor structures minimize views.

Thank you for your time in review of this project. We are proud to present this design for your consideration, and look forward to the opportunity to see this new design compliment the neighborhood.

Sincerely,



Daniel S. Rhoads
Young and Borlik Architects Inc.