



**Meeting Date:** August 20, 2020

**File No.(s):** PLN2020-14509

**Location:** 1890 Graham Ln, a 7,062 square-foot site located on the West side of Graham Lane; APN: 224-12-119; property is zoned Single-Family Residential (R1-6L).

**Applicant:** Fernando Gutierrez

**Owner:** Darryl/Jocelyn Smith

**Request:** **Architectural Review** of substantial demolition of an existing 1,021 square-foot three-bedroom, one-bathroom one-story single-family residence with a 437 square-foot attached garage resulting in a 2,821 square-foot with four bedrooms, one office, and three and half bathrooms one-story single-family residence including an existing 437 attached two-car garage.

**Mailing Radius:** 300 feet

**CEQA Determination:** Categorical Exemption per CEQA 15301(e)(1), Existing Facilities

**Project Planner:** Ela Kerachian, Associate Planner

**Staff Recommendation:** **Approve**, subject to conditions

**Project Data**

<b>Lot Size: 7,062 sf.</b>			
	<b>Existing Floor Area (sq. ft.)</b>	<b>Proposed New Building (sq. ft.)</b>	<b>Proposed Floor Area (sq.ft.)</b>
<b>First Floor</b>	1,021		2,384
<b>Garage</b>	437	-	437
<b>Gross Floor Area</b>	1,458		2,821
<b>Lot Coverage</b>	1,458/7,062 =21%		2,821/7,062 = 39.9%
<b>F.A.R.</b>	0.21		0.40
<b>Bedrooms/Baths</b>	3/1		4/3
<b>Flood Zone</b>	AO		

**Points for consideration**

- The project site is 7,062 square-foot site located the West side of Graham Lane.
- The proposed project is located in a predominantly one-story homes with occasional two-story homes throughout the neighborhood.
- A 300-foot neighborhood notice was distributed for this project review.
- There are no active City code enforcement cases for this property.

**Findings supporting the Staff Recommendation**

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
  - The proposal provides the required two covered parking spaces with the proposed two-car garage.

- The development provides the minimum required driveway length of twenty feet between the parking and any street right-of-way line.
  - The proposed project provides areas surfaced with all-weather materials for parking of vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
- There is no expansion of the parking or intensification of use that would significantly cause increased traffic congestion or hazards.
  - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
- The design of the proposed single-story is compatible with the architectural style of adjacent residential properties and is consistent with the City's Design Guidelines, in that the addition will maintain the ranch-style style architecture with stucco siding and composition shingle roofing to match the primary exterior materials of other homes in the neighborhood.
  - The project will maintain the house as a single-story building, matching the scale and height of the one-story houses adjoining the project site to both sides and to the rear.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
- The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*
- The substantial demolition and construction of a single-family home will enhance the neighborhood by bringing new investment and the rehabilitation of an older style home in this neighborhood.

**Conditions of Approval:**

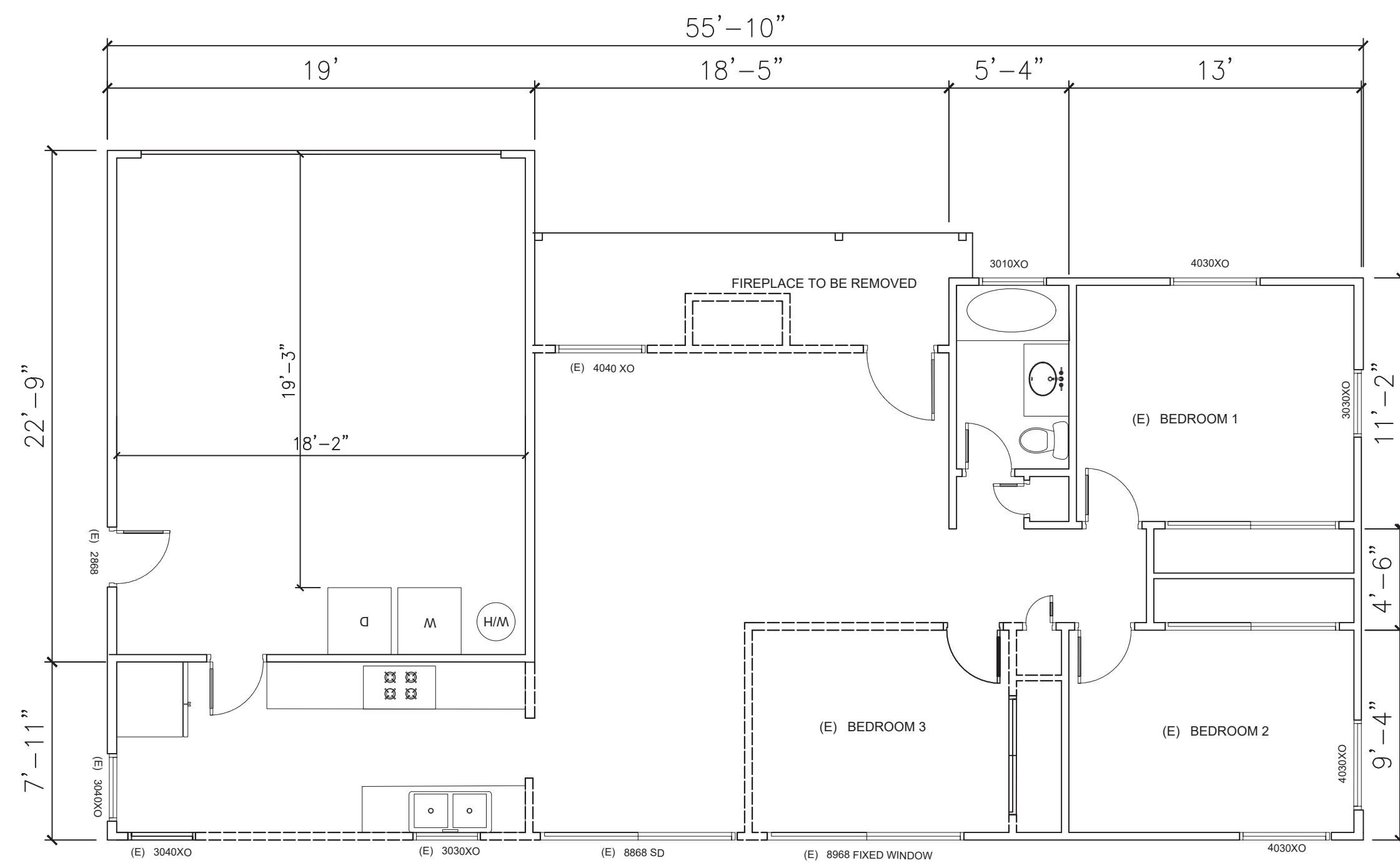
- 1) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, lighting and signage.
- 2) Garage or carport shall be maintained clear and free for vehicle parking use at all times. It shall not be used as only storage.
- 3) Thirty-five percent (35%) of the front yard must be landscaped, prior to final building permit issuance.

- 4) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- 5) New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 6) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 7) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 8) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.

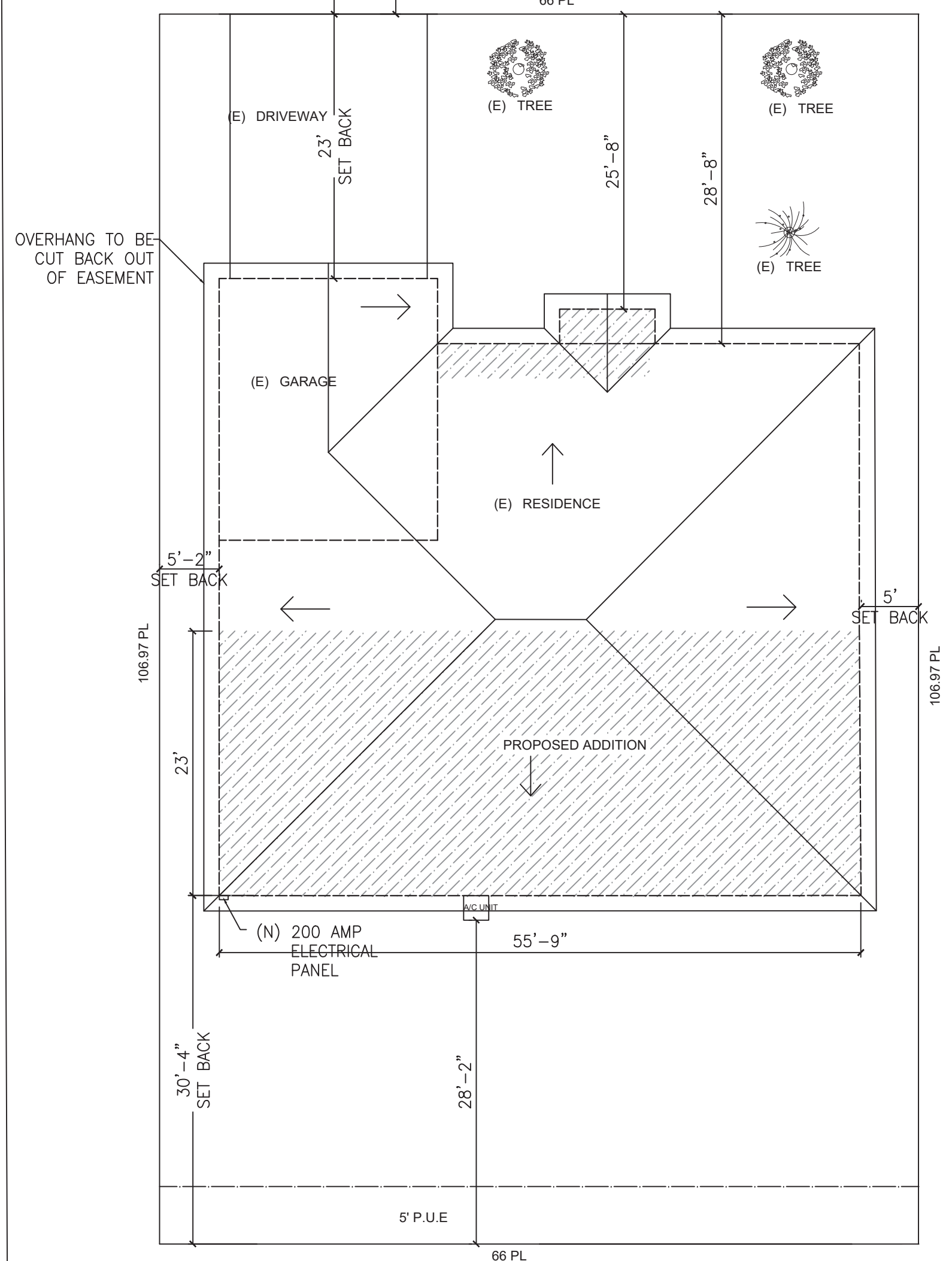
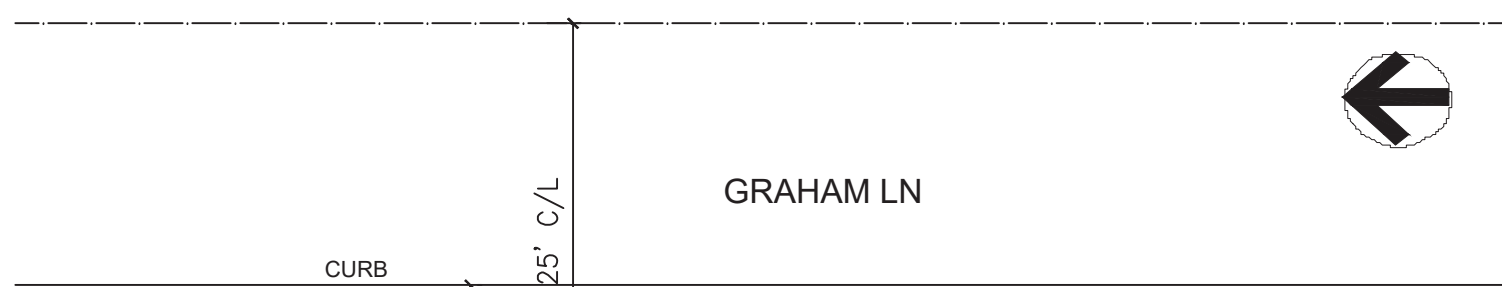
**Attachment**

- 1) Development Plans

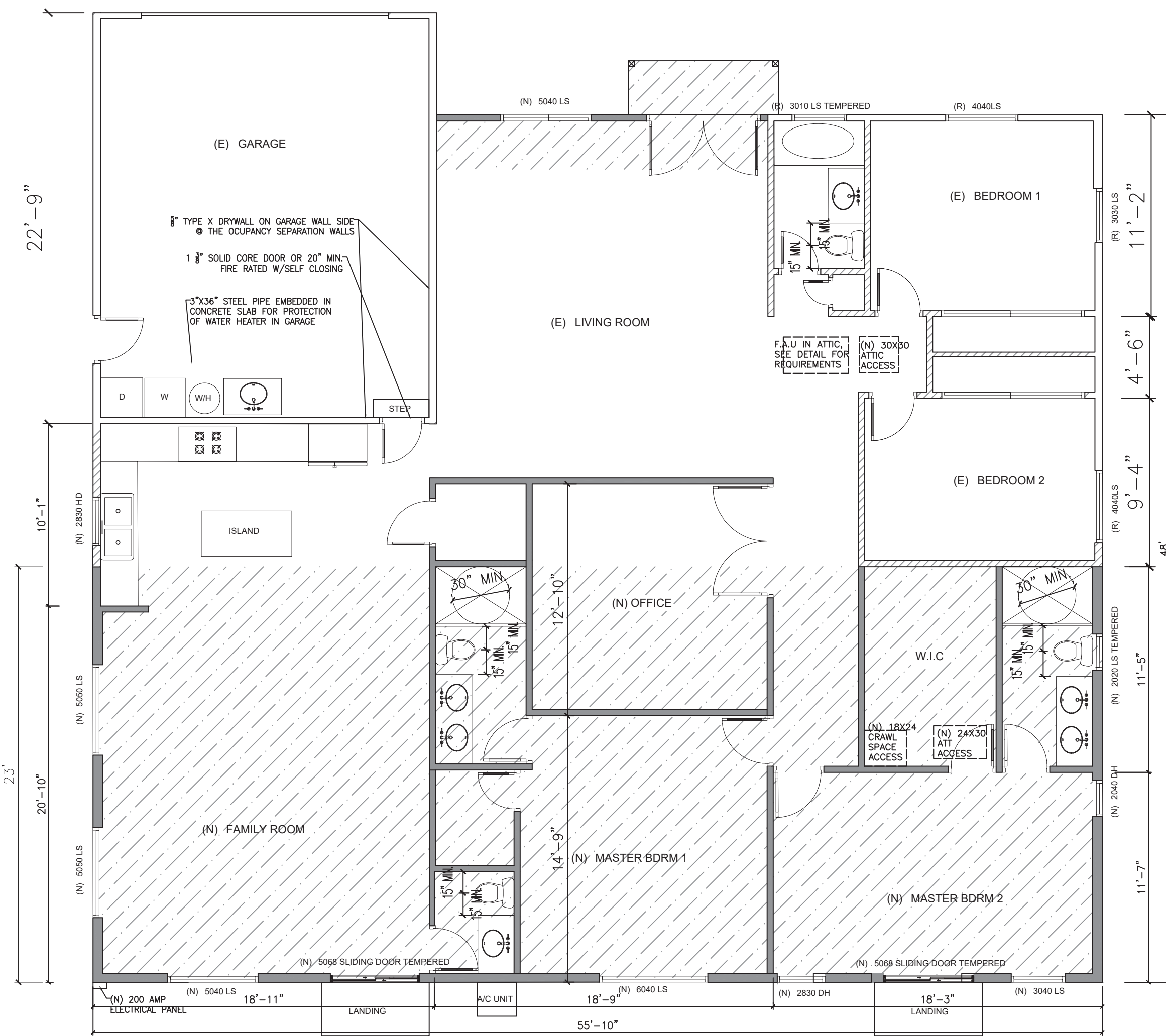




EXISTING/DEMOLITION FLOOR PLAN  
3/16"=1'-0"



SITE PLAN  
1"=10'



PROPOSED FLOOR PLAN  
3/16"=1'-0"

**SITE & BUILDING INFORMATION**

4 BEDS, 3 1/2 BATHS  
 BUILDING TYPE: VB  
 OCCUPATION CLASSIFICATION: R-3/U  
 BUILDING USE: SINGLE FAMILY  
 TYPE OF CONSTRUCTION: VB  
 CONVENTIONAL LIGHT FRAME CONSTRUCTION  
 ZONING: R1  
 APN: 224-12-119  
 LOT SIZE: 7062 SF  
 EXISTING LIVING AREA: 1021 SF  
 EXISTING GARAGE AREA: 437 SF  
 ADDITION AREA: 1363 SF  
 TOTAL LIVING AREA: 1021 + 1363 = 2384 SF  
 TOTAL GROSS AREA: 2384 + 437 = 2821 SF  
 LOT COVERAGE: 2821 / 7062 = 39.9 %

PERMIT NUMBER: BLD2018-51902

**PROJECT DESCRIPTION**

CONSTRUCT 1303 SF ADDITION  
 ADD 2 1/2 BATHS  
 ADD 1 BEDROOM  
 (N) ELECTRICAL AND PLUMBING  
 (N) ROOF FRAMING  
 ELEVATE (E) FOUNDATION 6" TO ACCOMMODATE BASE FLOOR ELEVATION REQUIREMENT REPORT

**INDEX OF DRAWING**

- A1: SITE PLAN, EXISTING FLOOR PLAN & PROPOSED FLOOR PLAN
- D1: NEW DRIVEWAY INSTALLATION PLAN
- A2: EXISTING ELEVATIONS & NEW ELEVATIONS
- A3: FOUNDATION PLAN & SECTION
- A4: ROOF FRAMING PLAN & DETAILS
- S1: FOUNDATION DETAILS
- S2: ROOF FRAMING DETAILS
- A5: ELECTRICAL PLAN
- CG1: CALGREEN
- CG2: CALGREEN
- T1: TITLE 24

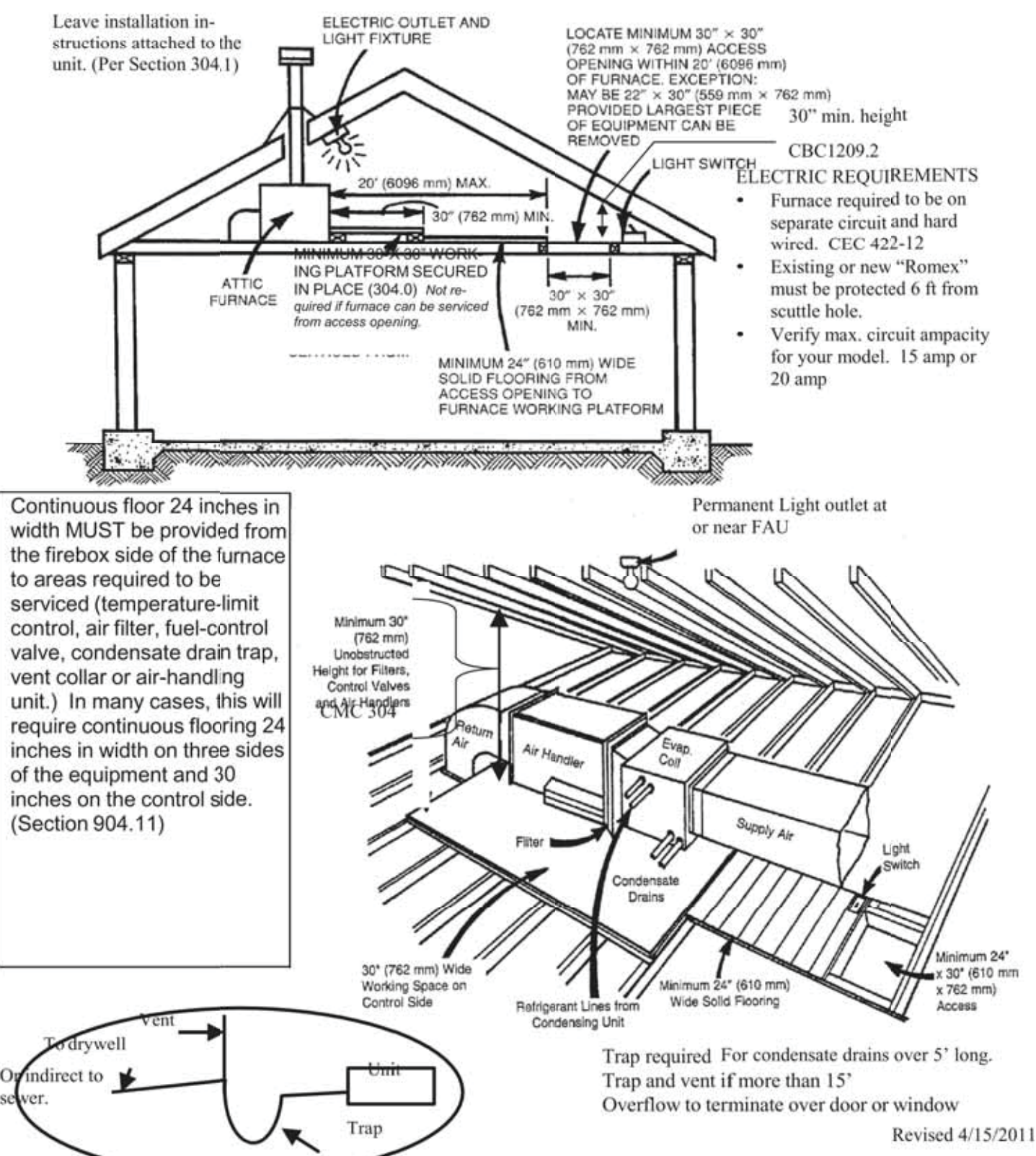
**FLOOR PLAN LEGEND**

- REPLACE WALL
- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- PROPOSED NEW WALL
- REPLACE

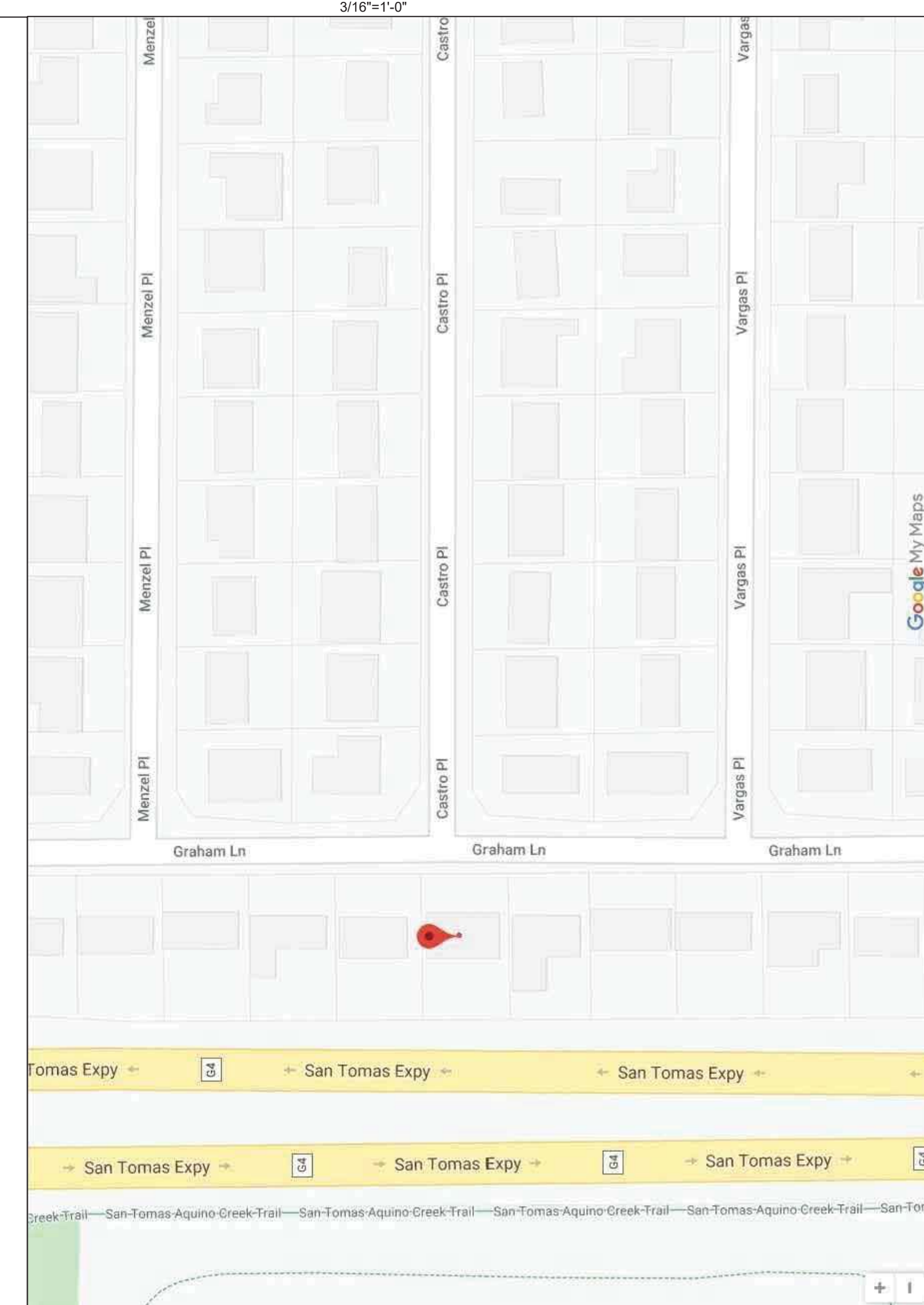
**City of Santa Clara**  
 Building Division  
 1500 Warburton Ave.  
 Santa Clara, CA 95050  
 www.santaclara.gov

Building Division: (408) 615-2440  
 Email: Building@santaclaraca.gov  
 Permit Center: (408) 615-2420  
 Email: PermitCenter@santaclaraca.gov  
 Automated Inspection Scheduling System: (408) 615-2400

**ATTIC FURNACE**



ATTIC FURNACE REQUIREMENT  
NTS



VICINITY MAP  
NTS

**A1**

**EXISTING SITE PLAN & EXISTING FLOOR PLAN**

**DARRYL & JOISE SMITH RESIDENCE**

1890 GRAHAM LN

SANTA CLARA CA 95050

**BDS CONST GROUP**

1261 S ALMADEN AVE

SAN JOSE CA 95110

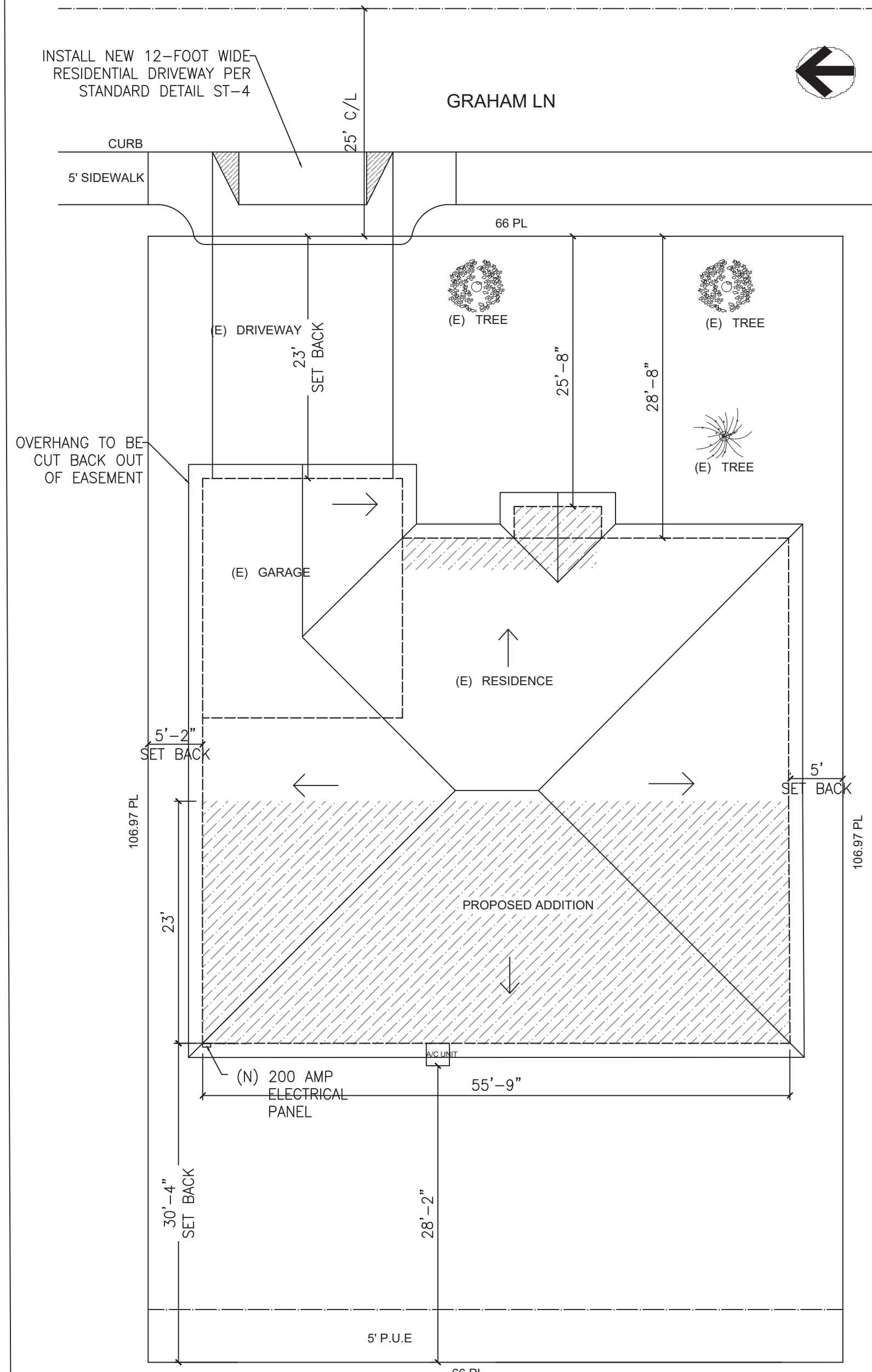
(408) 531-7165

DATE:

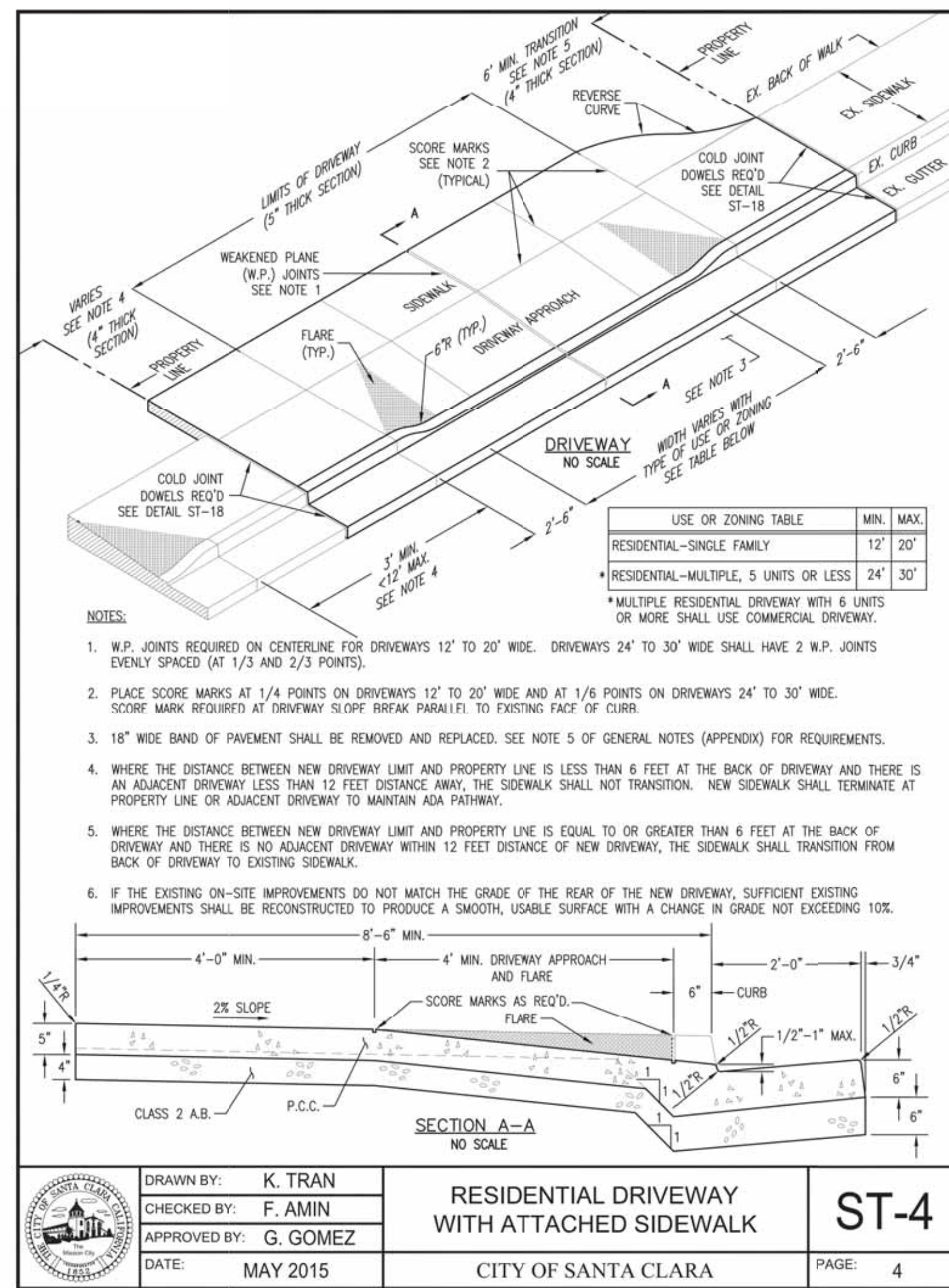
Plan sign by BDS Const Group

*Richy*

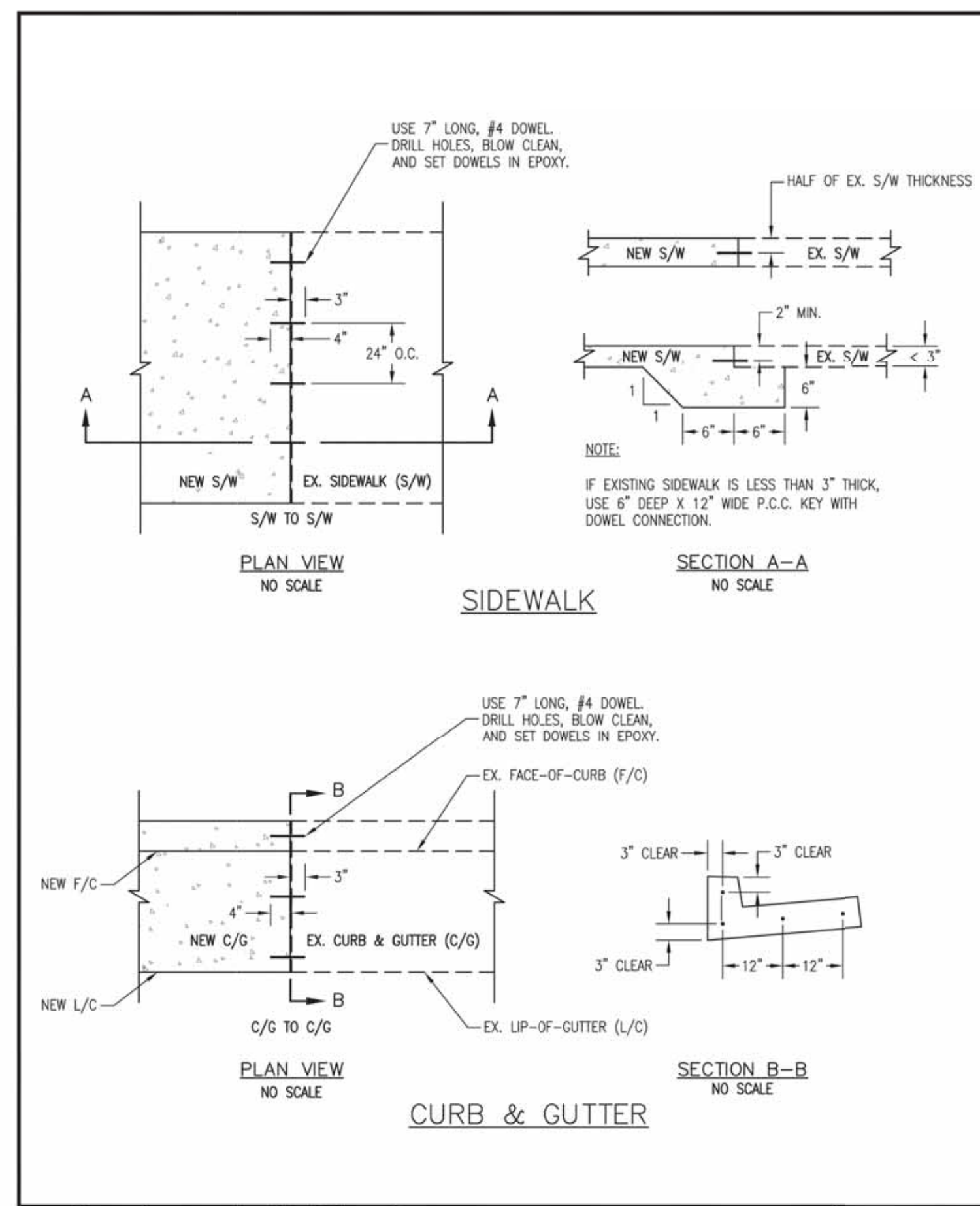




**NEW DRIVEWAY INSTALLATION PLAN**  
1" = 10'



DRAWN BY: K. TRAN	<b>RESIDENTIAL DRIVEWAY WITH ATTACHED SIDEWALK</b> <b>ST-4</b>	
CHECKED BY: F. AMIN		
APPROVED BY: G. GOMEZ		
DATE: MAY 2015		
	CITY OF SANTA CLARA	PAGE: 4



DRAWN BY: K. TRAN	<b>DOWEL CONNECTIONS</b> <b>ST-18</b>	
CHECKED BY: F. AMIN		
APPROVED BY: G. GOMEZ		
DATE: OCTOBER 2013		
	CITY OF SANTA CLARA	PAGE: 18

All receptacles along the countertop and within 6' of a sink including refrigerator, below counter & behind appliance shall be GFCI protected. All 15 & 20 Amp outlets shall be AFCI protected. All 15 & 20 Amp receptacles shall be TR. Countertop receptacles shall be located so that no point is more than 24" from a receptacle outlet. Counter top areas with a minimum dimension of 12" in width shall be provided with a receptacle. Receptacles shall be located no more than 20" above counter top measures horizontally along the wall. Countertop receptacles shall be supplied by a minimum of two 20-amp branch circuits. Garage disposal, dishwasher, exhaust hood, & built-in microwave may require dedicated circuits based on the manufacturer's requirements & the motor rating. Electric ranges shall be equipped with a 4 wire 40 or 50-amp branch circuit.

All existing non-water efficient plumbing fixtures throughout the house be upgraded as follows. Houses constructed after Jan. 1, 1994 are exempt. Kitchen faucet => 2.2 gallons/minute shall be replaced with 1.8 gallons/minute. Under cabinet lighting shall be on a separate switch for all other lighting. All lighting fixtures shall be high efficiency and be controlled by either a dimmer switch or by a vacancy sensor switch that requires a manual on activation and automatically turns off within 30 minutes after the room is vacated. Smoke alarms shall be provided in all sleeping rooms and adjacent hallways, multi-levels, and basements. Existing smoke alarms shall be replaced if older than 10 years. Newly installed smoke alarms shall have a 10-year battery. Carbon monoxide alarm shall be installed in hallways adjacent to bedrooms and each level

Provide an automatic fire sprinkler system installed in accordance with NFPA 13D and the City of Sunnyvale requirements. AC - 16 contractor shall submit shop drawings and calculations to the One-Stop Permit Center for review and approval. The underground water line from the meter to the house must be coordinated with the sprinkler contractor and sized in accordance with the approved sprinkler drawings. Water Meters: City of Sunnyvale: If the hydraulic calculations dictate a meter upgrade is required, contract the Public Works Department at the One-Stop permit Center to obtain a permit and schedule installation of a new water meter. California Water Service: Contact Cal Water to schedule replacement of water service and meter. Replacement must be accomplished before project final.

All lighting shall be high efficiency. One lighting fixture shall be controlled by a vacancy sensor that requires manual on activation and automatically turns off within 30 minutes after room is vacated. All other lighting shall be controlled by a vacancy sensor or dimmer. All existing non-water efficient plumbing fixtures throughout the house be upgraded as follows. Houses constructed after Jan. 1, 1994 are exempt. Toilets -> 1.6 gallons, shall be replaced with 1.28 gallons/flush. Showerheads -> 2.5 gallons/minute shall be replaced with max. 1.8 gallons/minute. Both sink faucets -> 2.2 gallons/minute shall be replaced with max. 1.2 gallons/minute. Kitchen sink faucet -> 2.2 gallons/minute shall be replaced with max. 1.8 gallons/minute. Smoke alarms shall be provided in all sleeping rooms and adjacent hallways, multi-levels, and basements. Existing smoke alarms shall be replaced if older than 10 years. Newly installed smoke alarms shall have a 10-year battery. Carbon monoxide alarm shall be installed in hallways adjacent to bedrooms and each level.

LANDING NOTES:  
 - LANDING NO MORE THAN 1 1/2" BELOW THRESHOLD @ DOOR SWING OVER LANDING  
 - FLOOR ELEVATION AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1 1/2" LOWER THAN THE TOP OF THRESHOLD  
 - THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR

Mixing valve in a shower shall be pressure balancing, thermostatic or combination set at a max. 120°F. Water-filler valve in bathtubs shall have a temp. limiting device set at 120°F max. Shower stalls shall be a min. finished interior of 1,024 sq. inches, clear center dimension of a 30", & doors shall swing out with openings 22" min. The water closet shall have min. clearances of 30" width (15" on center) and 24" on the front. All receptacles shall be GFCI & tamper-resistant (TR). New/relocated outlets shall have a dedicated 20-amp circuit. Hydro-massage tubs shall have motor access, a dedicated circuit protected by GFCI and be UL listed. All metal cables, fittings, piping, etc. within 5' of the inside wall of the tub shall be properly bonded with an access panel. Lighting fixtures located within 3' horizontally and 8' vertically of the tub/shower shall be listed for a damp location, or wet locations if subject to shower spray. Min. 50 CFM exhaust fan shall be provided and installed and have a separate switch. Glazing in tub/shower enclosures shall be safety glazing when > 60" above the standing surface. Glazing within 60" of a tub/shower and less than 60" above the finished floor shall be safety glazing.

GENERAL NOTES:  
 - ALL SMOKE DETECTORS IN BEDROOM ARE TO BE ON ARC FAULT CIRCUIT INTERRUPTER WITH BATTERY BACK UP  
 - PROVIDE ARC FAULT CIRCUIT INTERRUPTER AFCI PROTECTION FOR OUTLETS IN DWELLING UNIT KITCHENS, FAMILY ROOM, DINING ROOM, PARLOR, LIBRARY, DEN, BEDROOMS, SUNROOM, RECREATION ROOM, CLOSETS, HALLWAYS. LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS (CEC210.12)  
 - ALL EXTERIOR RECEPTACLE OUTLETS TO BE GFCI/WP PROTECTED PER CEC210.8  
 - ALL 125 VOLT, 15 AMP AND 20 AMP RECEPTABLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTABLES  
 - ALL PROPOSED LIGHTING SHALL BE HIGH EFFICACY FIXTURES. RECEPTABLE 15.0-A CREW-BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW-BASED JAB COMPLIANT LAMPS. JAB COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JAB-2016" OR "JAB-2016-E" ("JAB-2016-E" LUMINAIRES ARE DEEMED APPROPRIATE FOR USE IN ENCLOSED LUMINAIRES) CEC150.0(k)G  
 - ALL EXTERIOR LIGHT FIXTURES TO BE DOWNLIGHT ONLY AND SHIELDED  
 - THE MAXIMUM FLOW RATES SET BY THE CALIFORNIA ENERGY COMMISSION:  
 -- WATER CLOSETS 1.28 GPM  
 -- SINGER SHOWERHEAD-2.0 GPM AT 80 PSI. COMBINED FLOWRATE OF MULTIPLE SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE-2.0 GPM AT 80 PSI.  
 -- LAVATORY FAUCETS-1.2 GPM AT 60 PSI (MIN. SHALL NOT LESS THAN 0.8 GPM AT 20 PSI)  
 -- KITCHEN SINK FAUCETS 1.8 GPM AT 60 PSI  
 - INSTALL CEMENT BOARD (DUROCK, WONDERBOARD) FOR THE TUB SURROUNDING WALLS  
 - NEW TUB/SHOWER TO HAVE SMOOTH, HARD, NON ABSORBENT SURFACE OVER A MOISTURE RESISTENT UNDERLAYMENT TO 72" ABOVE DRAIN  
 - PROVIDE PRESSURE MIXING VALVE AT TUB/SHOWER  
 - EXTERIOR LIGHTS TO BE PHOTOCELL AND MOTION SENSOR  
 - SHOWERS SHALL HAVE 1024 SQUARE INCH MIN. FLOOR AREA AND 30 INCH DIAMETER  
 - SHOWER DOOR SHALL HAVE MIN. 22" OPENING  
 - BATHROOM OUTLETS SHALL BE GFI PROTECTED  
 - EXHAUST FAN SHALL BE CONTROLLED ON SEPARATE SWITCH WITH THE LIGHT  
 - LIGHT SHALL BE ON VACANCY SENSOR SWITCH  
 - EXHUST FAN IN BATHROOMS AND LAUNDRY ROOM TO BE HUMIDITY SENSOR SWITCH

**D1**

**NEW DRIVEWAY INSTALLATION PLAN**

**DARRYL & JOISE SMITH RESIDENCE**

1890 GRAHAM LN

SANTA CLARA CA 95050

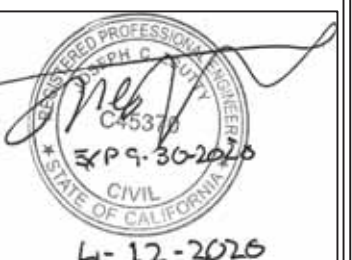
**BDS CONST GROUP**

1261 S ALMADEN AVE

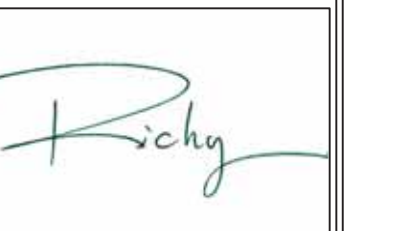
SAN JOSE CA 95110

(408) 531-7165

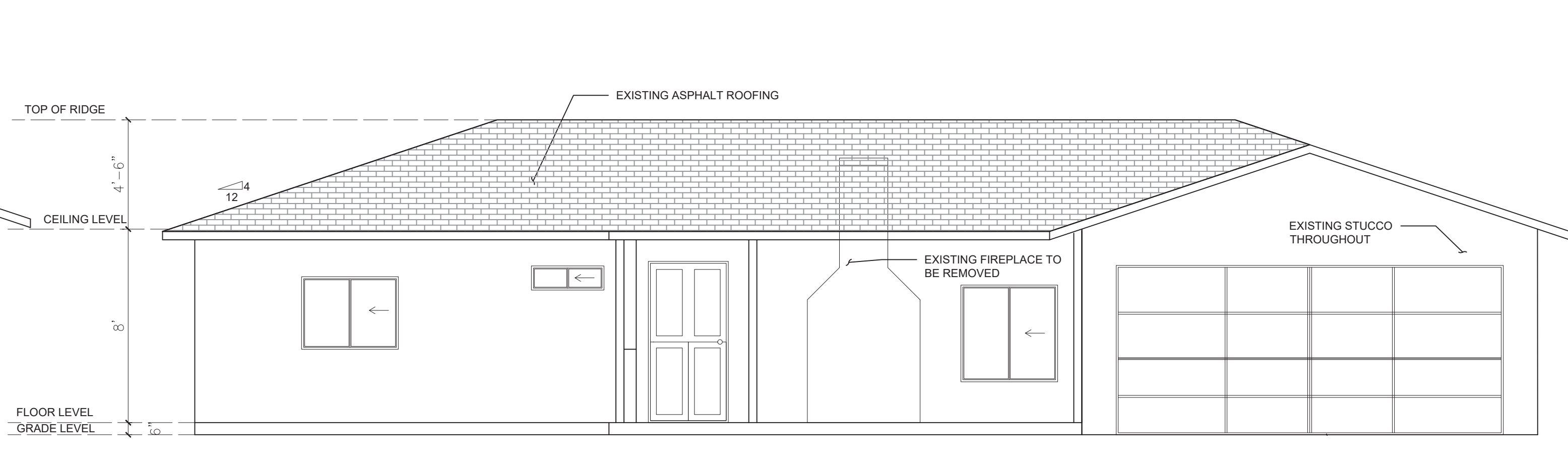
**ENGINEER:**



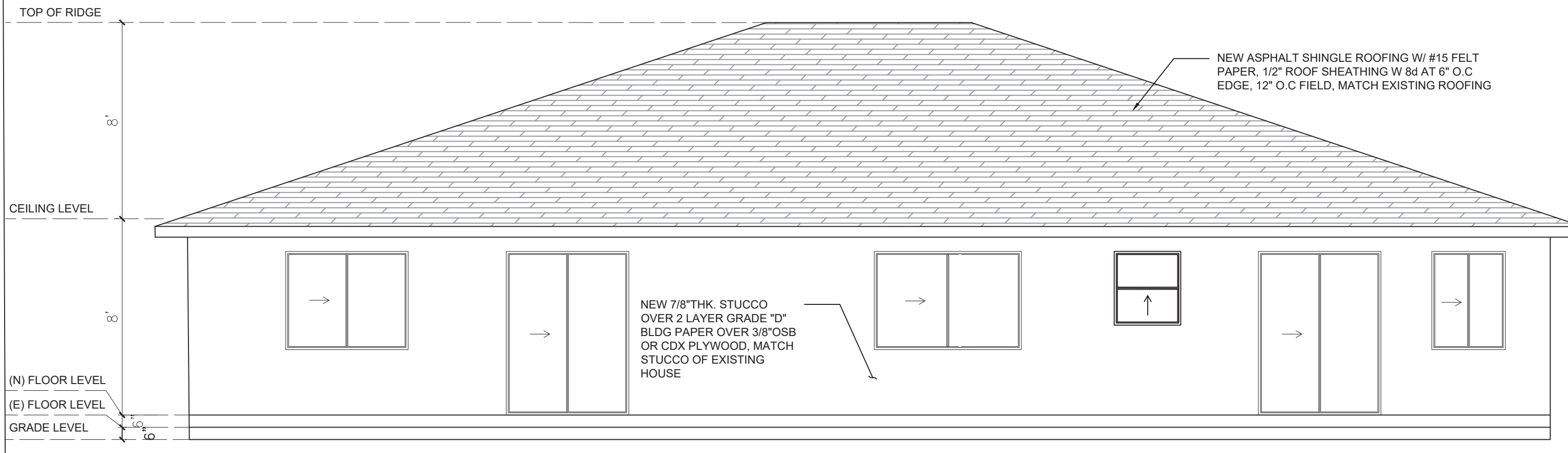




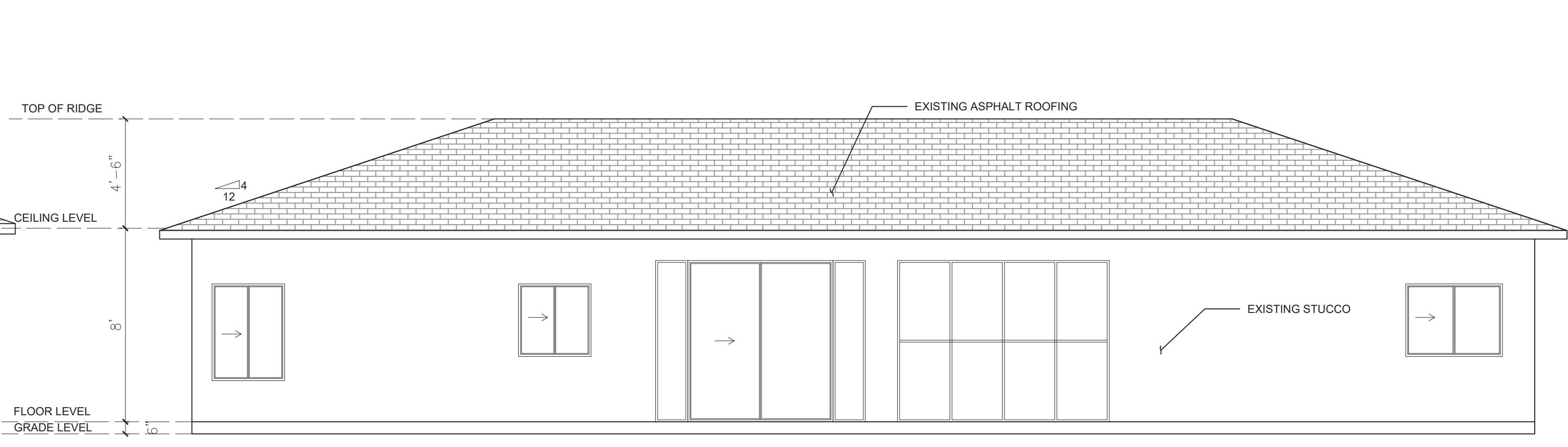
(N) FRONT ELEVATION (EAST)



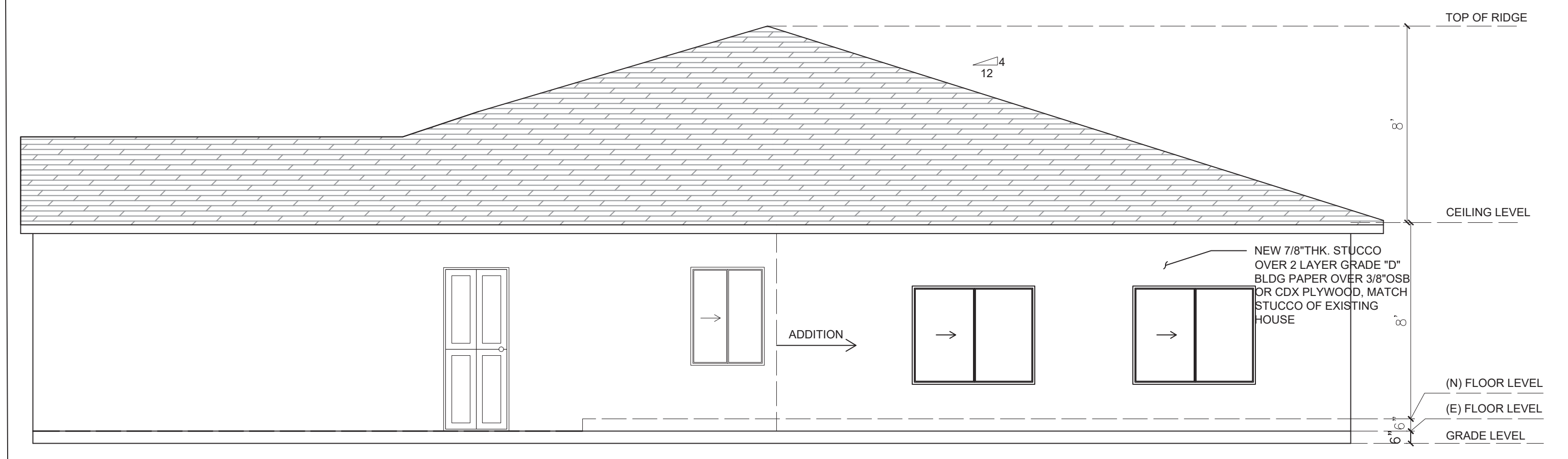
(E) FRONT ELEVATION (EAST)



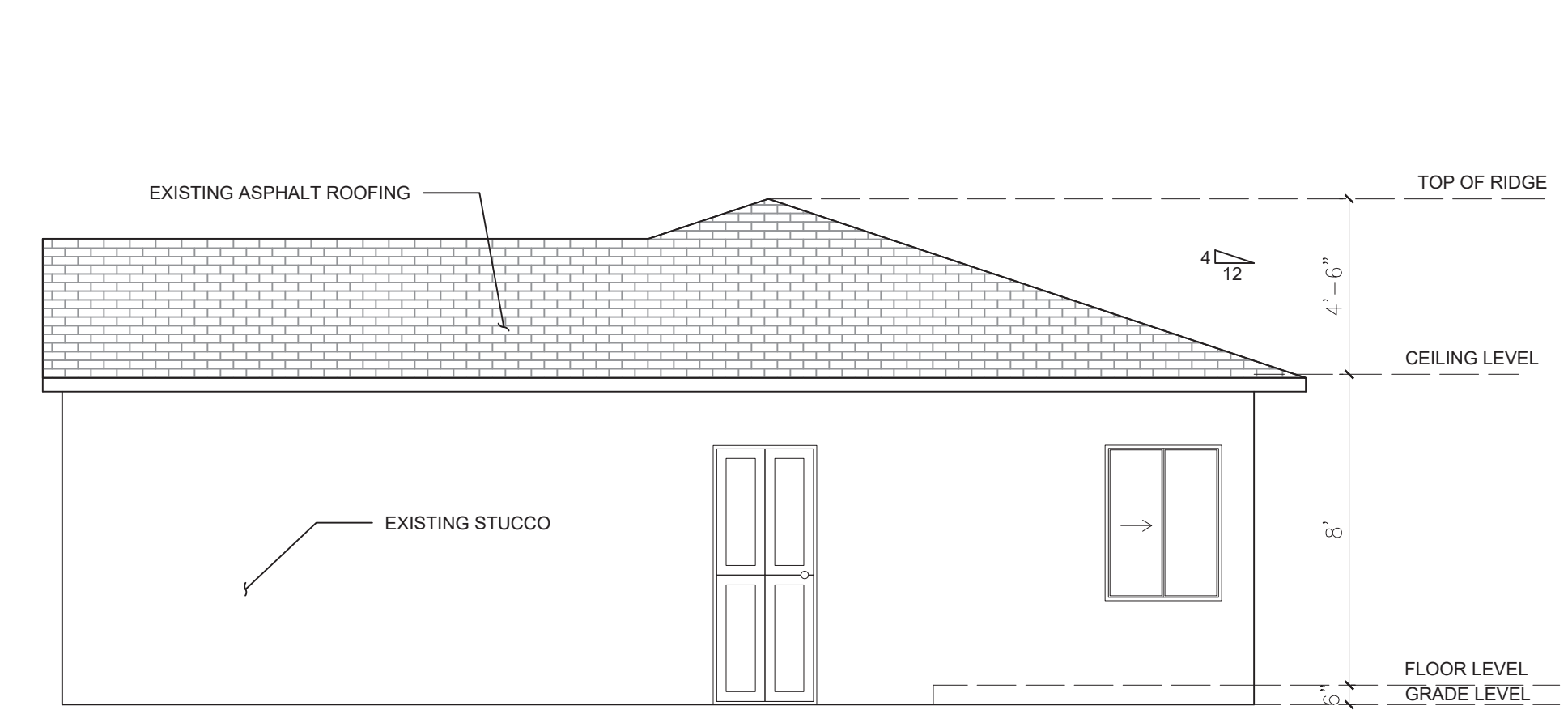
(N) BACK ELEVATION (WEST)



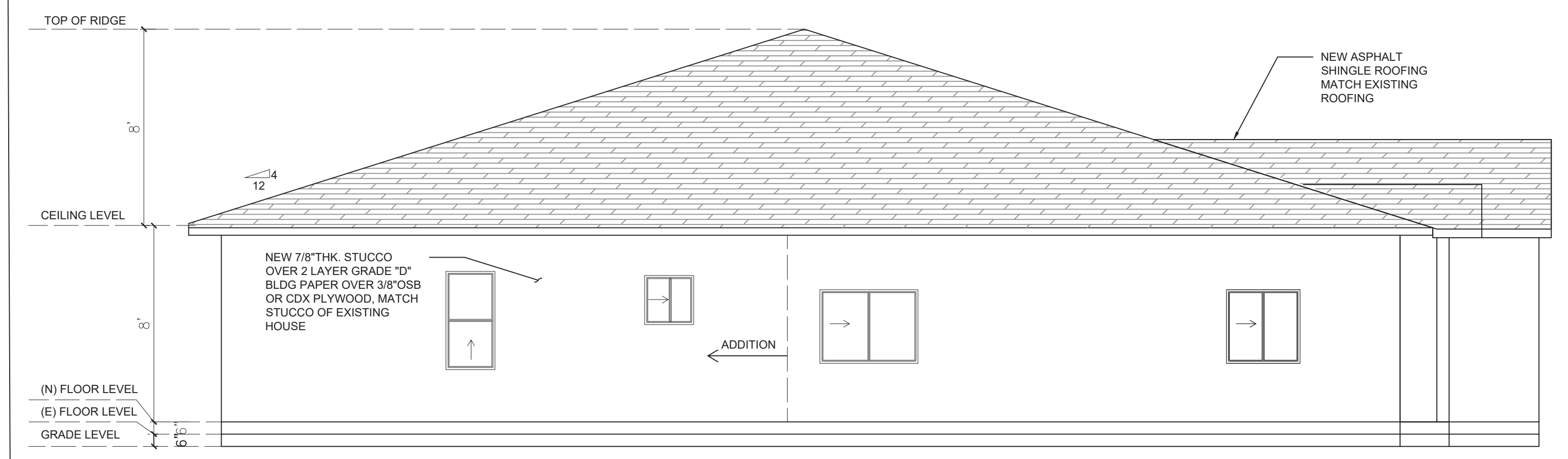
(E) BACK ELEVATION (WEST)



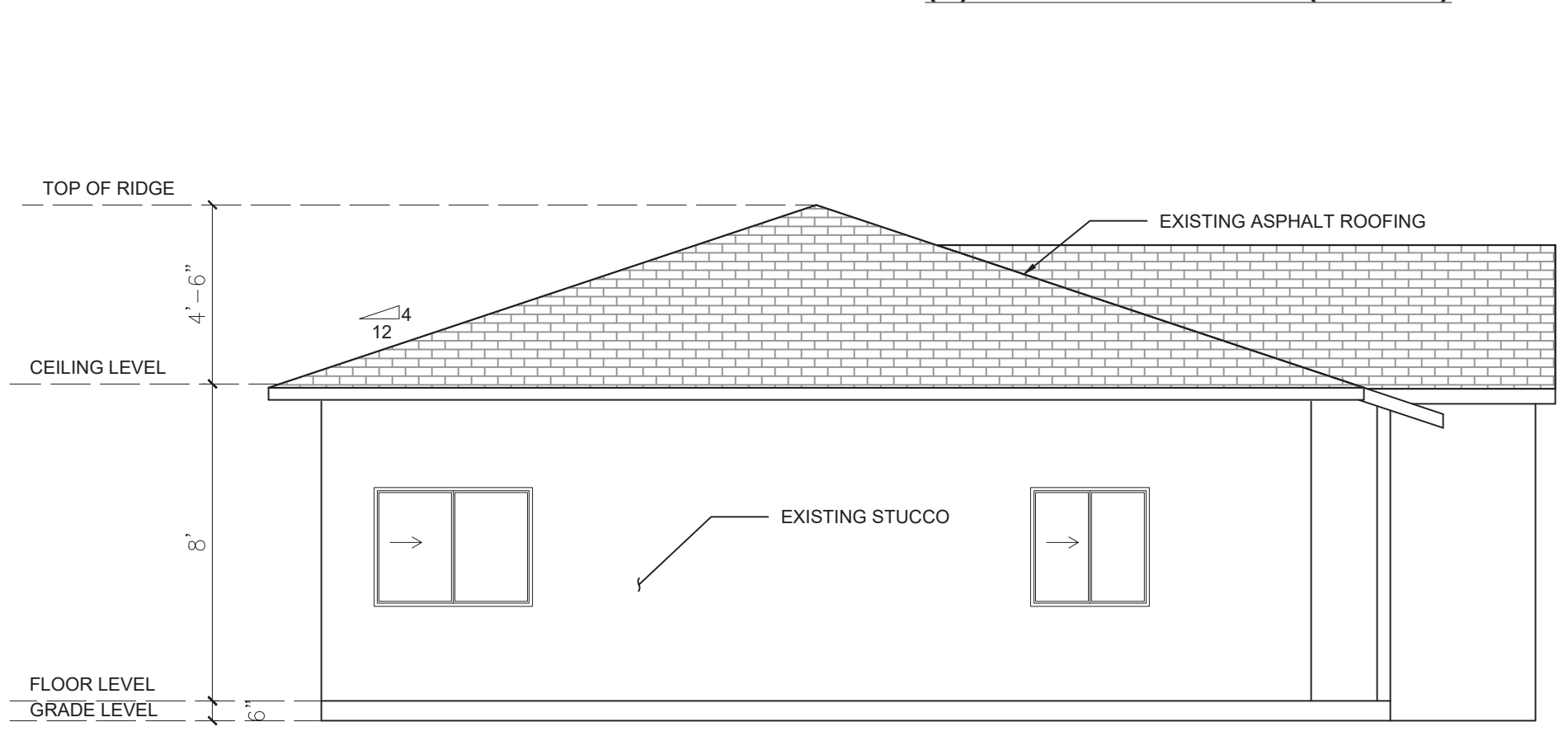
(N) RIGHT ELEVATION (NORTH)



(E) RIGHT ELEVATION (NORTH)



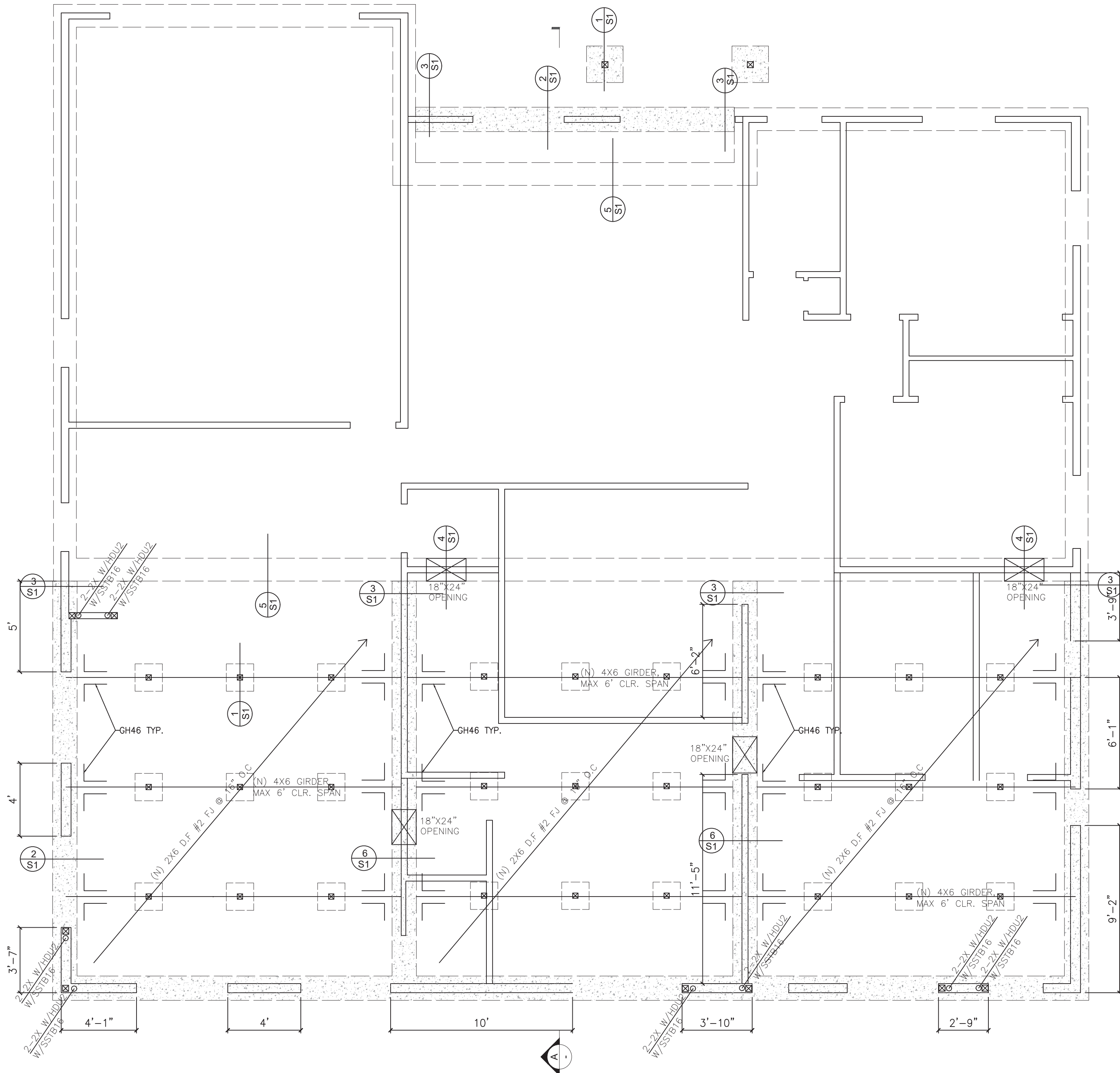
(N) LEFT ELEVATION (SOUTH)



(E) LEFT ELEVATION (SOUTH)

NOTE

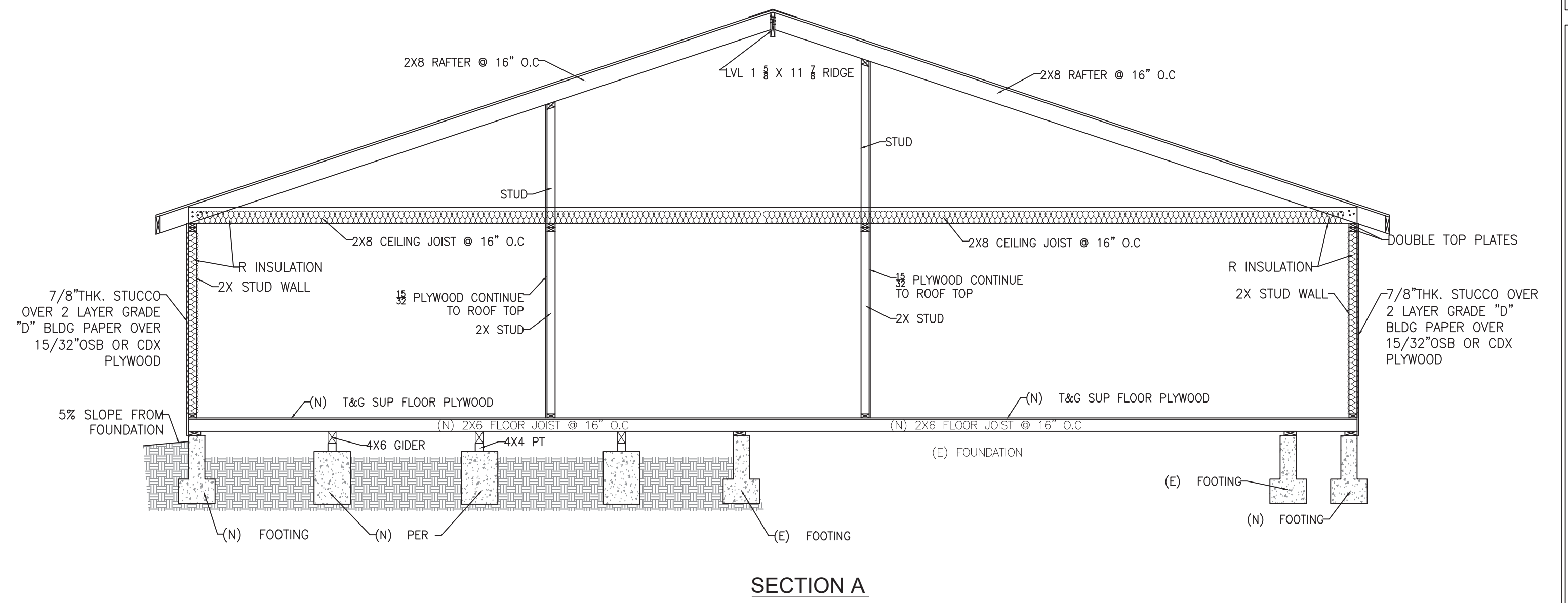
(N) FLOOR LEVEL: FINISH FLOOR LEVEL RAISING 6" ABOVE EXISTING FLOOR LEVEL PER ELEVATION REPORT



FOUNDATION PLAN

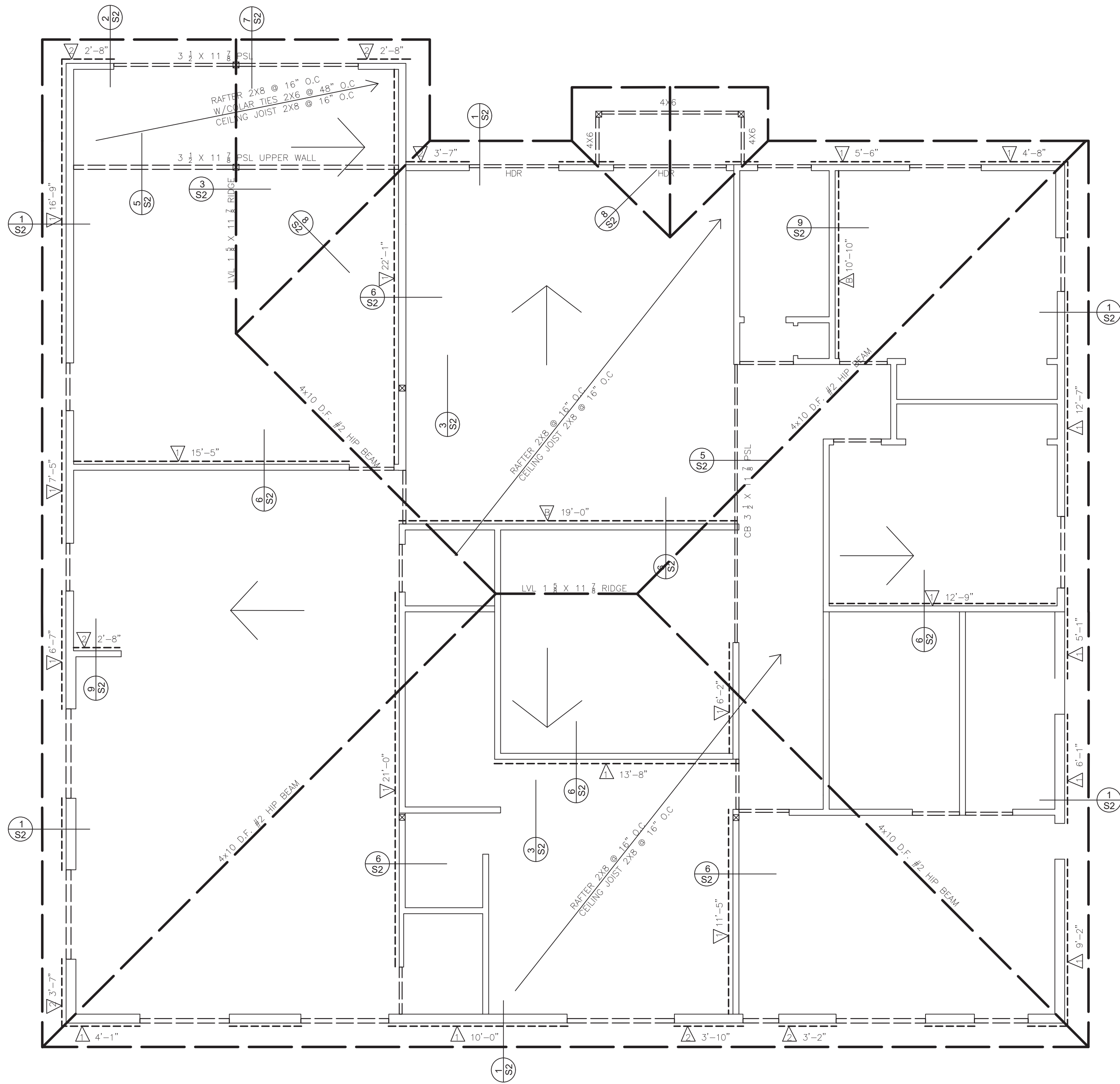
LEGEND

- EXISTING FOUNDATION
- NEW 16" WIDTH FOUNDATION
- 18"x24" OPENING
- GH 46-6 / HU46
- HDU2 W/SSTB24
- 4X4 POST

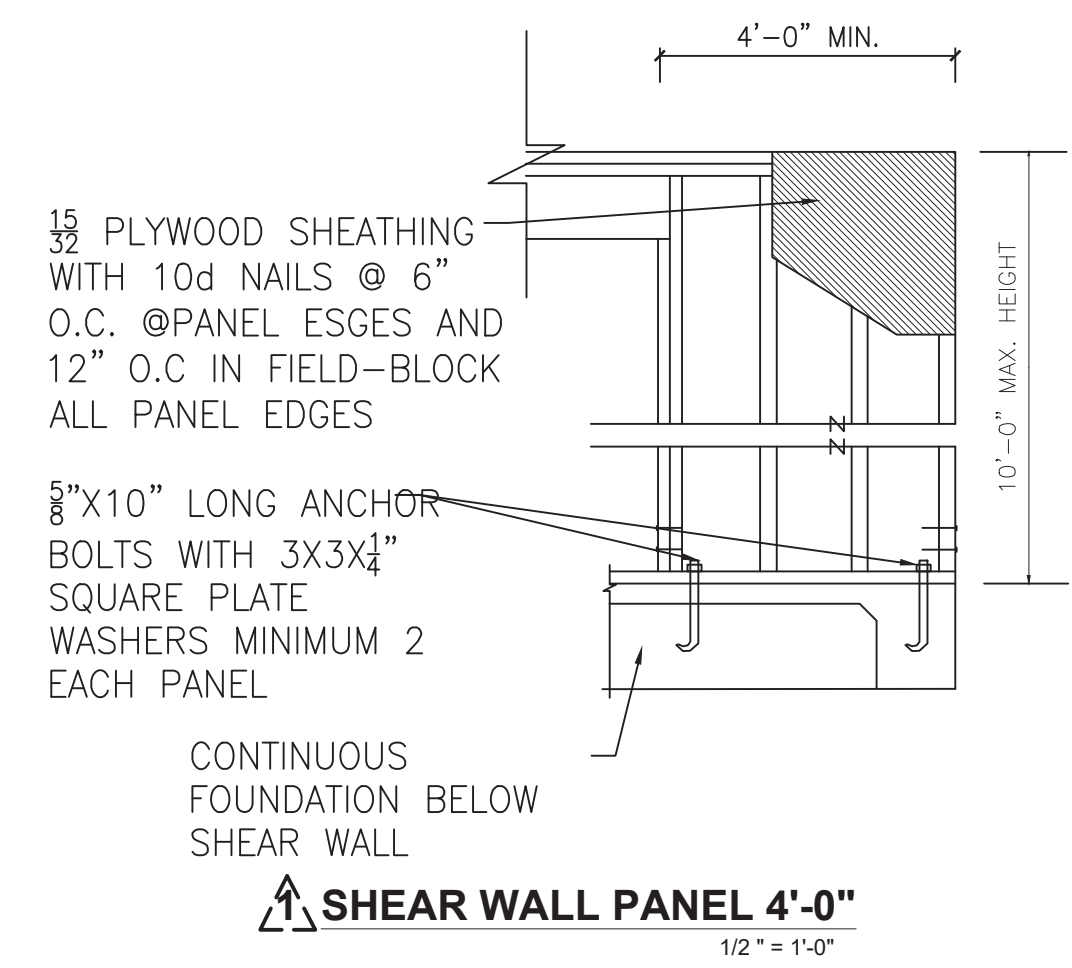


SECTION A

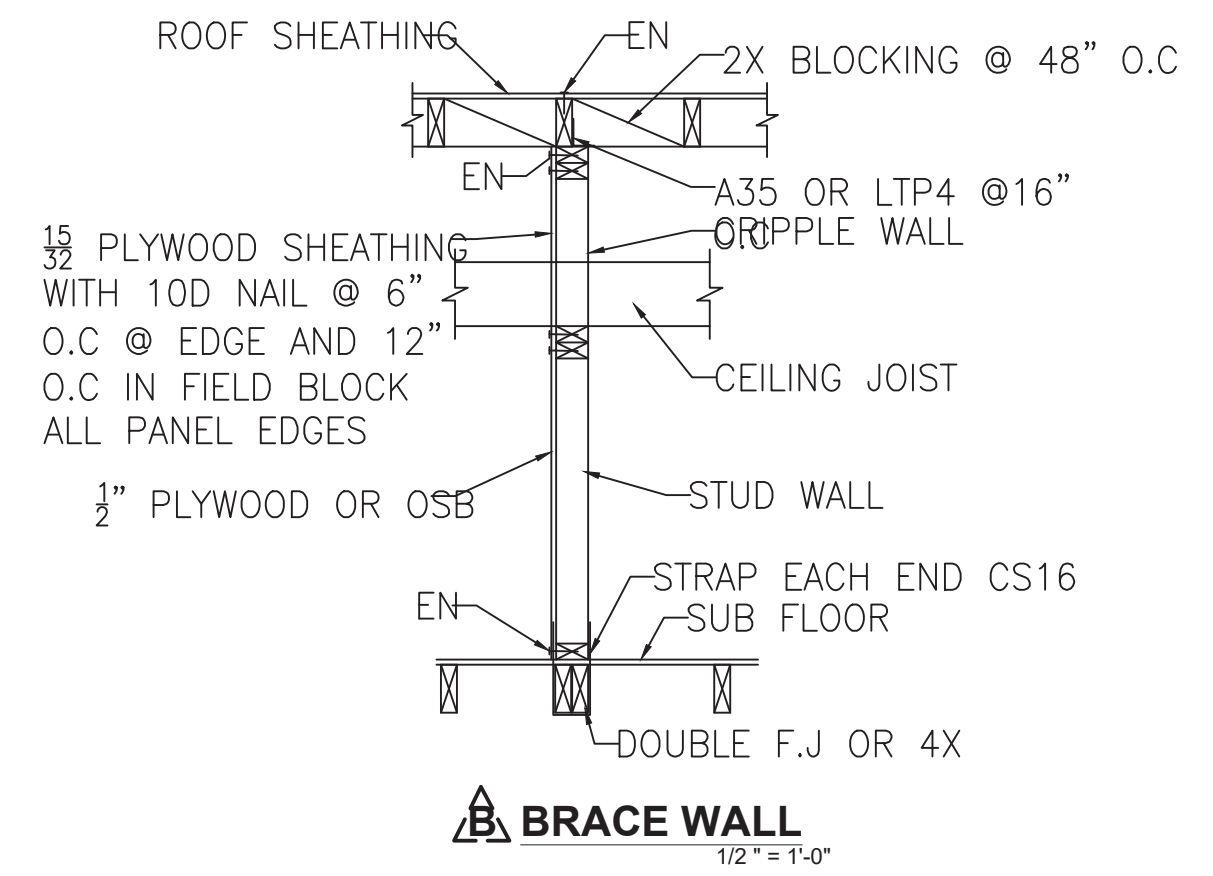




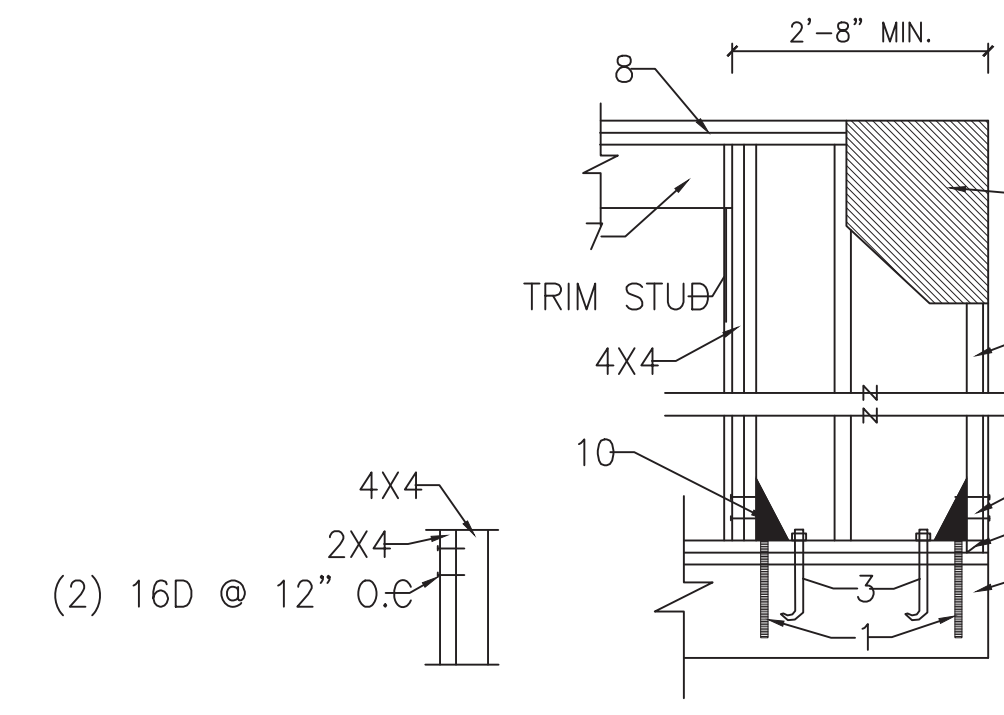
**ROOF FRAMING PLAN**  
1/4" = 1'-0"



**▲ SHEAR WALL PANEL 4'-0"**  
1/2" = 1'-0"

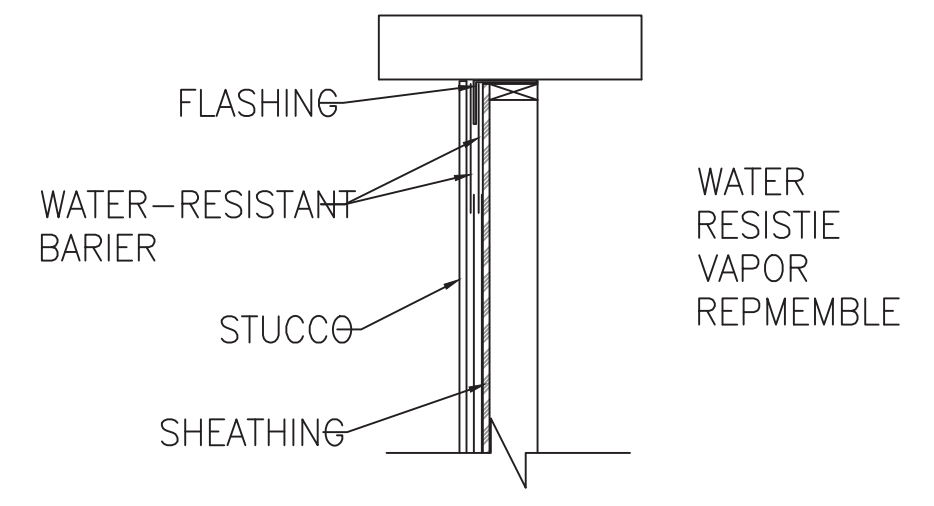


**▲ BRACE WALL**  
1/2" = 1'-0"

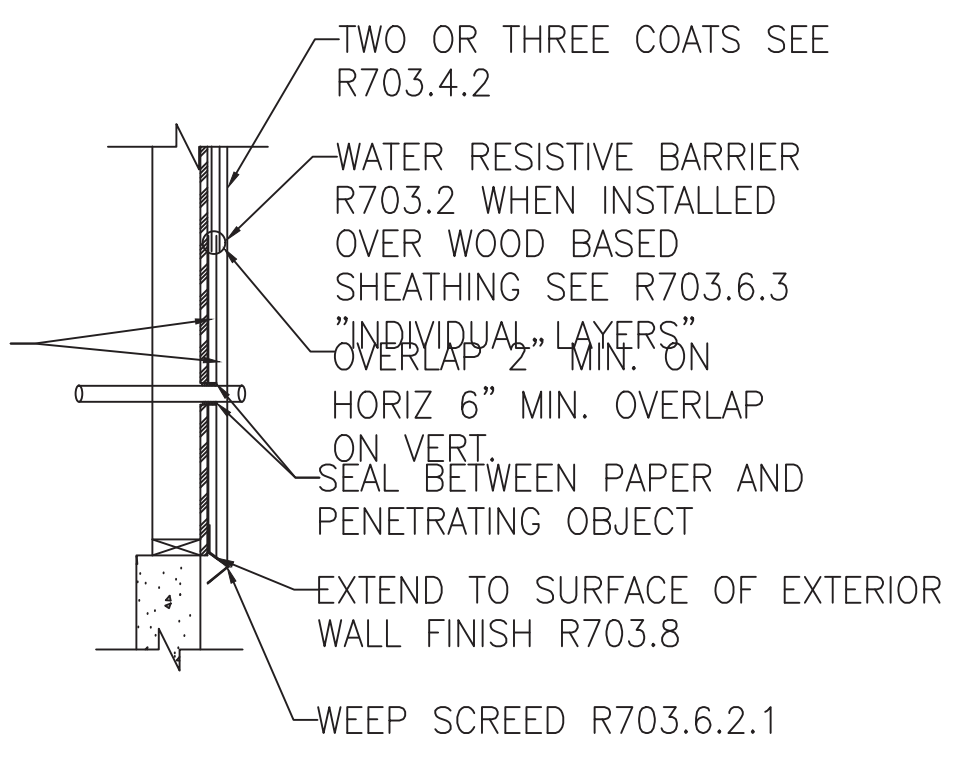


**▲ ALTERNATE BRACE WALL / ALTERNATE SHEAR WALL**  
1/2" = 1'-0"

- 1 SSTB16 ANCHOR BOLTS / 3/8" HDG A307 ALLTHREAD WITH MIN. 9" EM INTO FOOTING W/SIMPSON XP
- 2 HDU2 HOLDDOWN @ EACH 4X POST
- 3 3/8"x12" J-BOLTS OR 3/8" HDG ALL-THREAD W/7" EMB W/SIMPSON SET XP @ EACH PANEL QUARTER POINT, WITH 3"x3"x1/4" SQUARE WASHERS
- 4 CONTINUOUS FOUNDATION
- 5 4X POST AT EACH END OF PANEL
- 6 1/2" PLYWOOD OR OSB WITH 10D COMMON @ 4" O.C AT EDGES AND 12" O.C IN FIELD. ALL PANEL EDGES SHALL BE BLOCK
- 7 4X HEADER AS OCCURS
- 8 TOP PLATES
- 9 4X BLOCKING UNDER EACH POST
- 10 SIMPSON COUPLING NUT



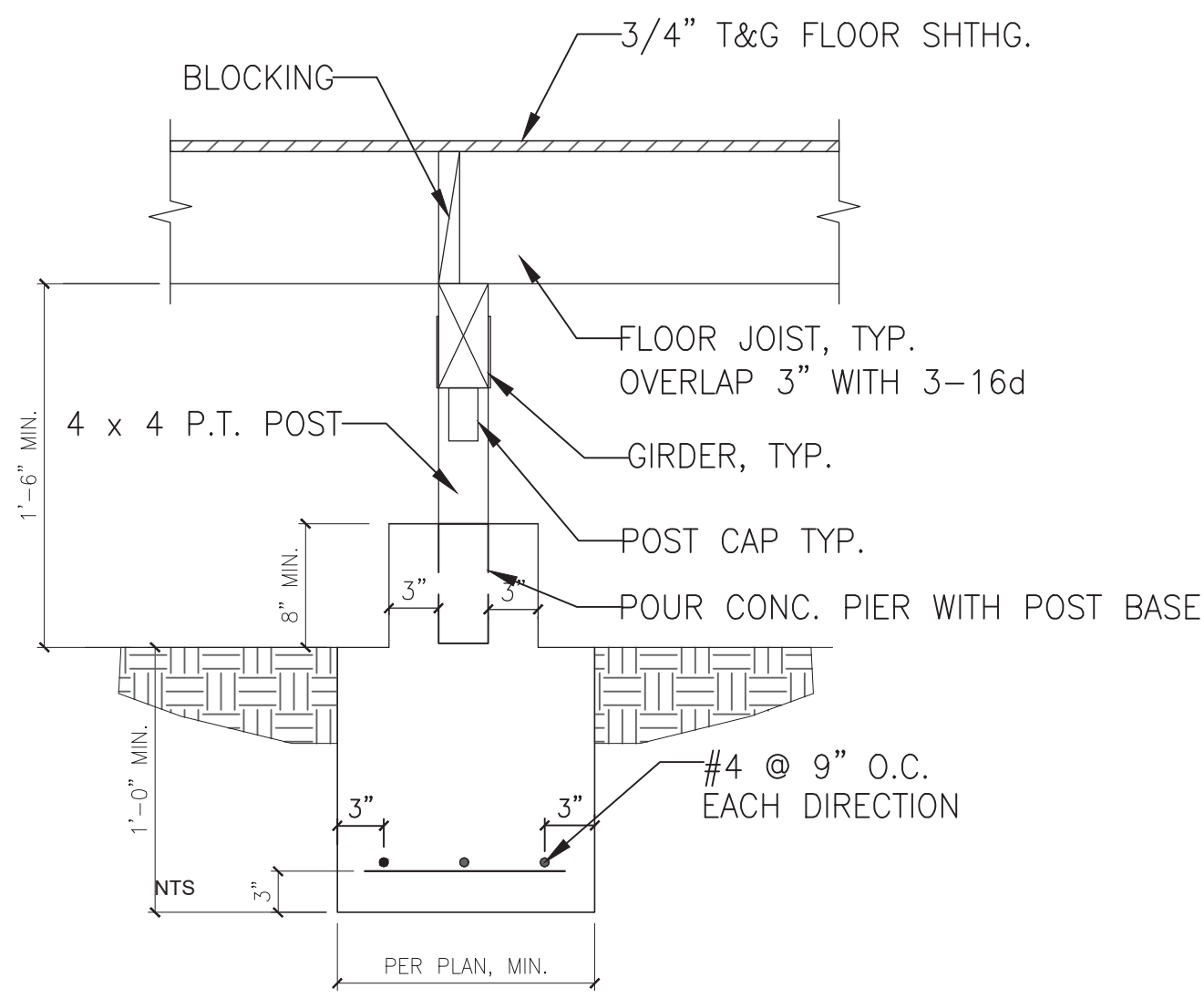
**TWO-LAYER INSTALLATION**  
1/2" = 1'-0"



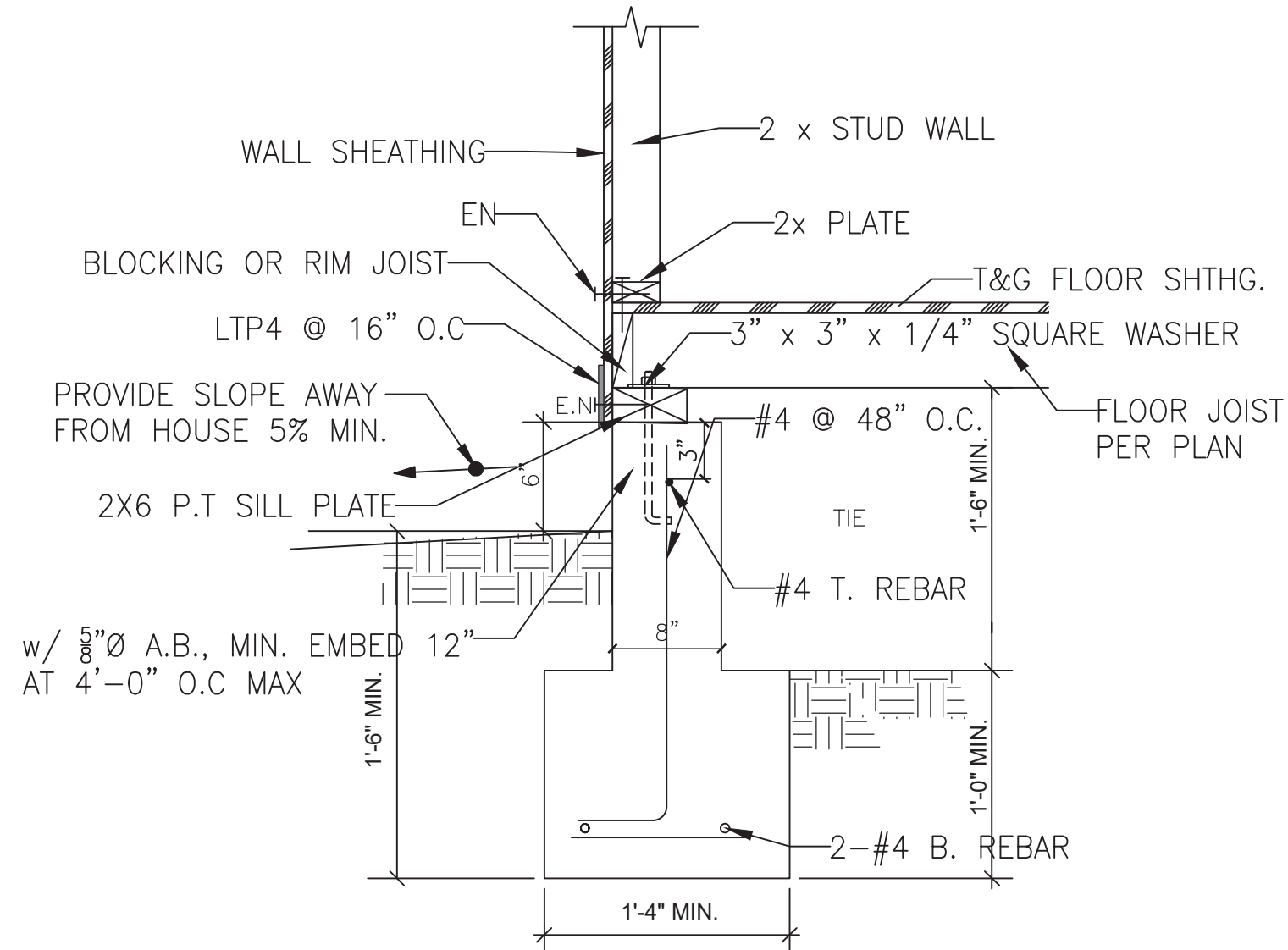
**SHEAR WALL SCHEDULE**

	PLYWOOD/OSB	SOLE PLATE ANCHORS	SHEAR NAILING	FRAMING	TOP PLATE, SHEAR TRANSFER
1	15/32	5/8" J-BOLT @48" O.C	10D 6E/12F	2X @16" O.C	A34, A35, LTP4 @16" O.C H2.5 EACH RAFTER
2	15/32	5/8" J-BOLT @36" O.C	10D 4E/12F	3X OR 4X @16" O.C	A34, A35, LTP4 @12" O.C H2.5 EACH RAFTER

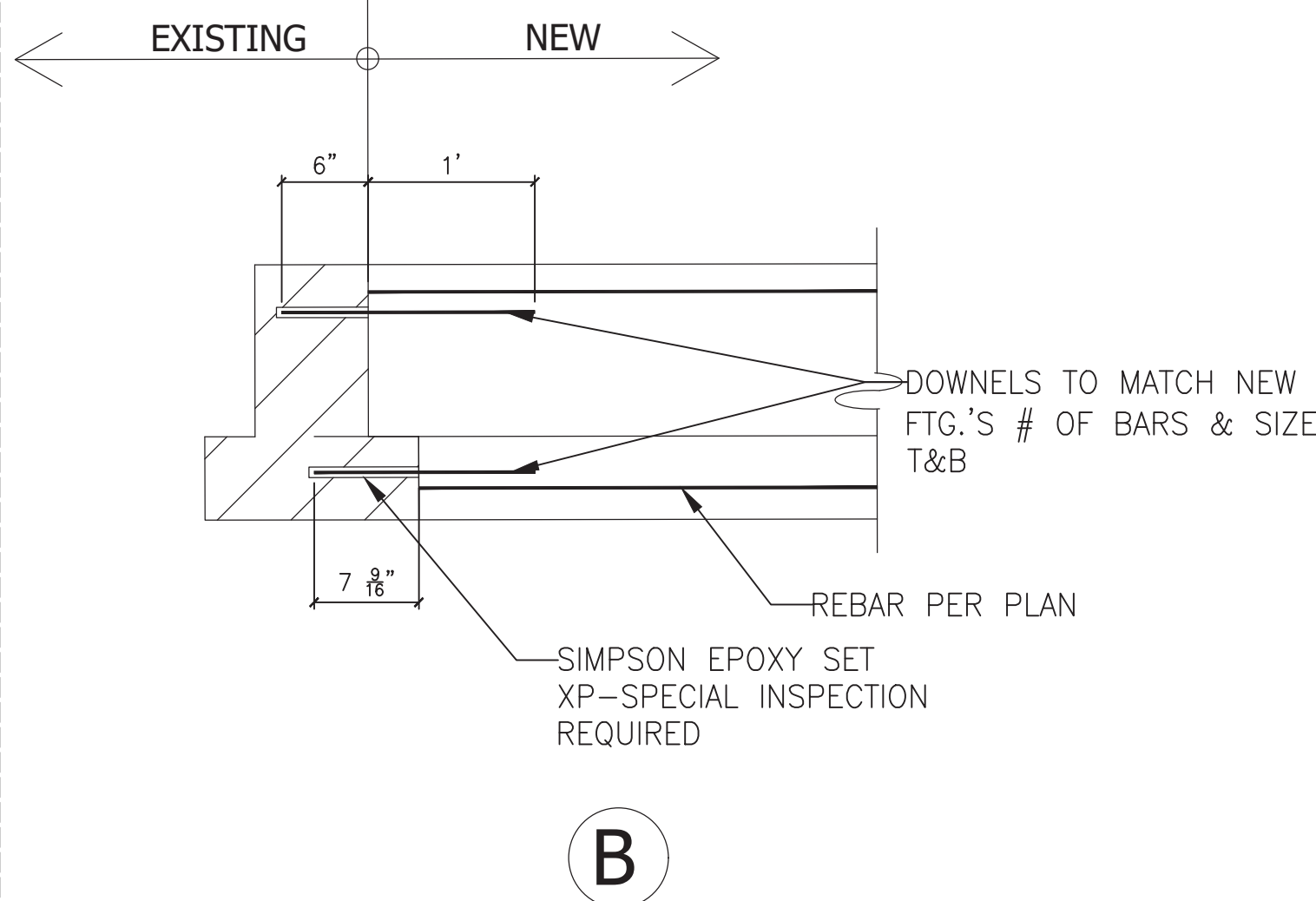
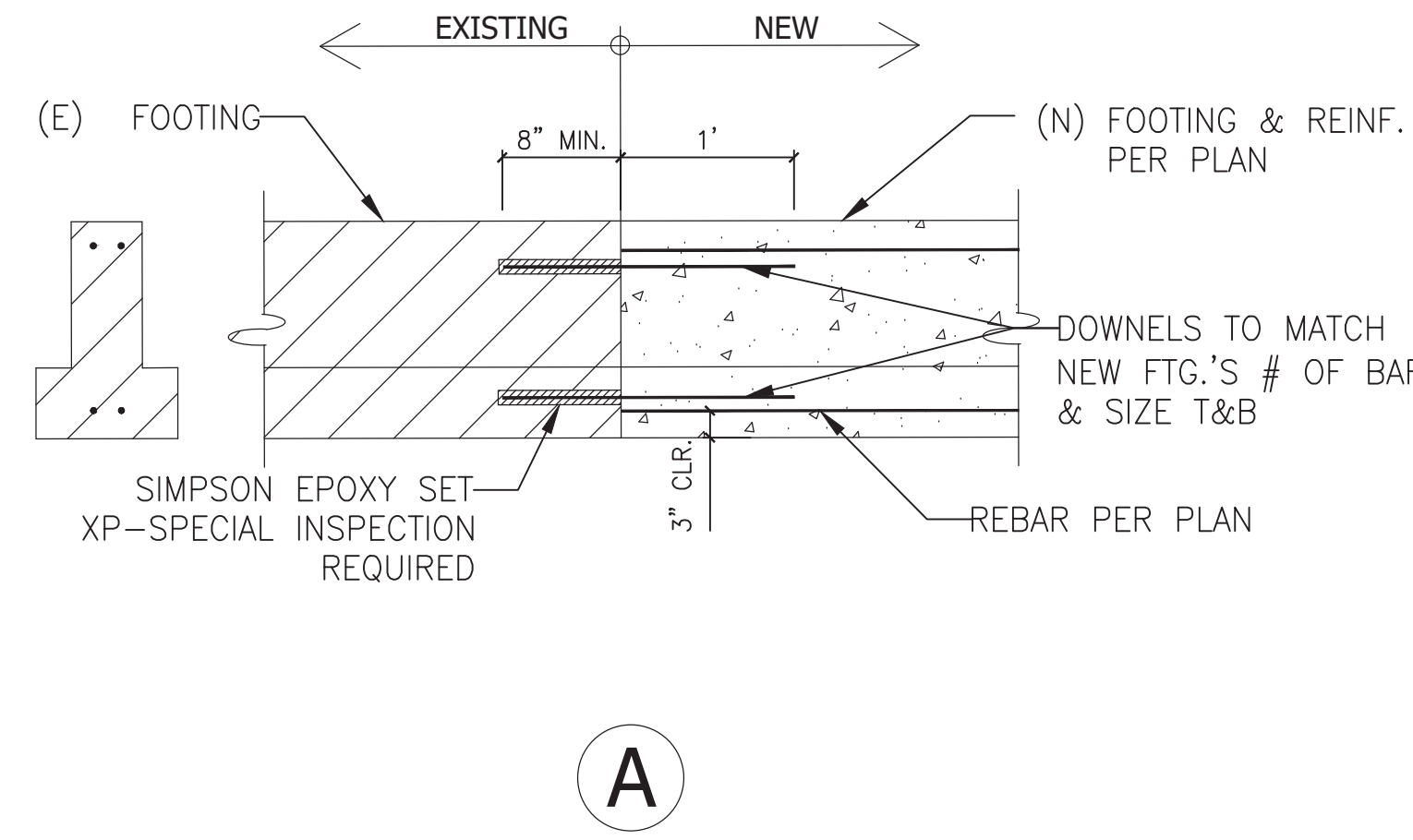




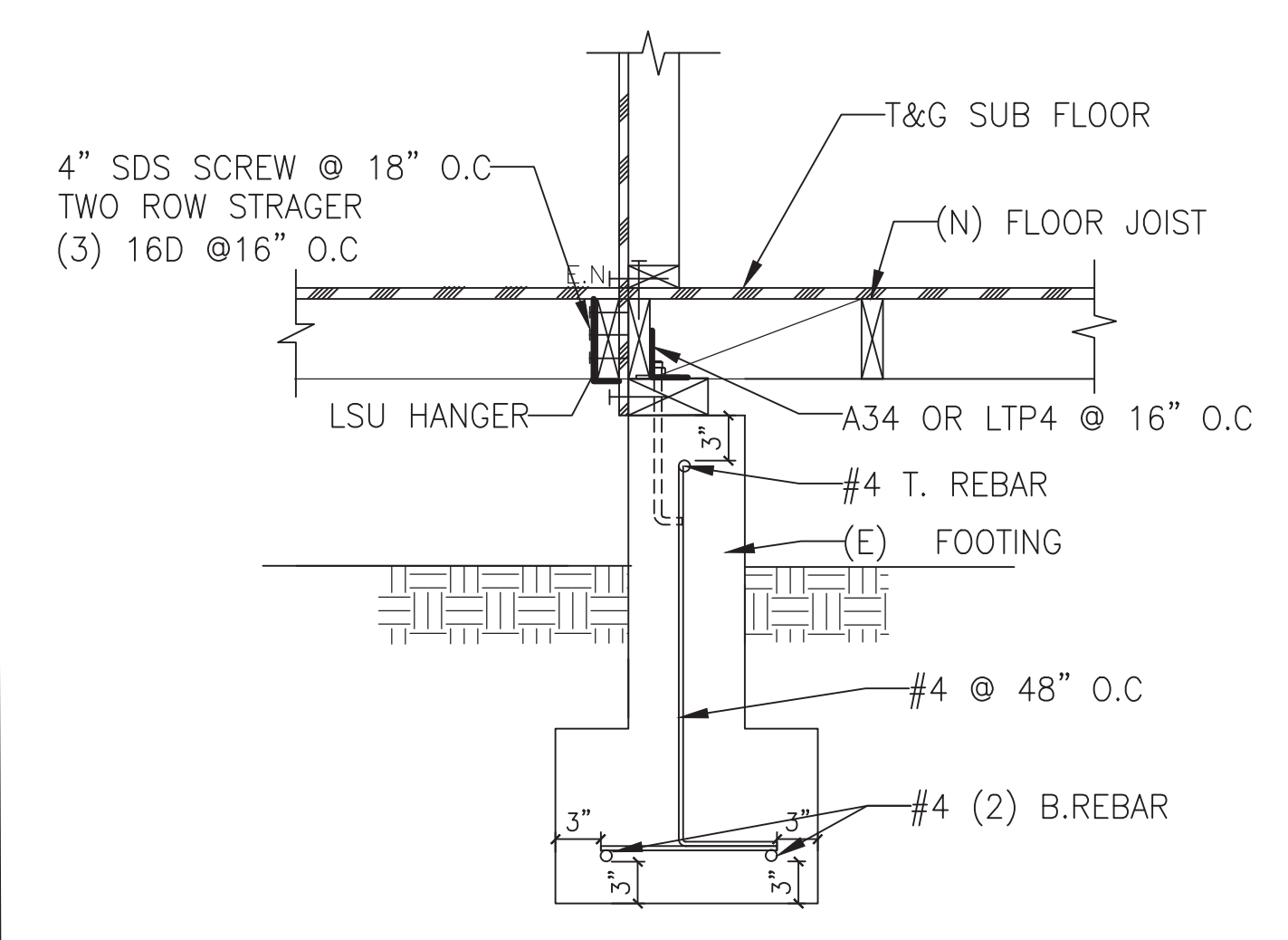
1 ISOLATED PIER FOOTING



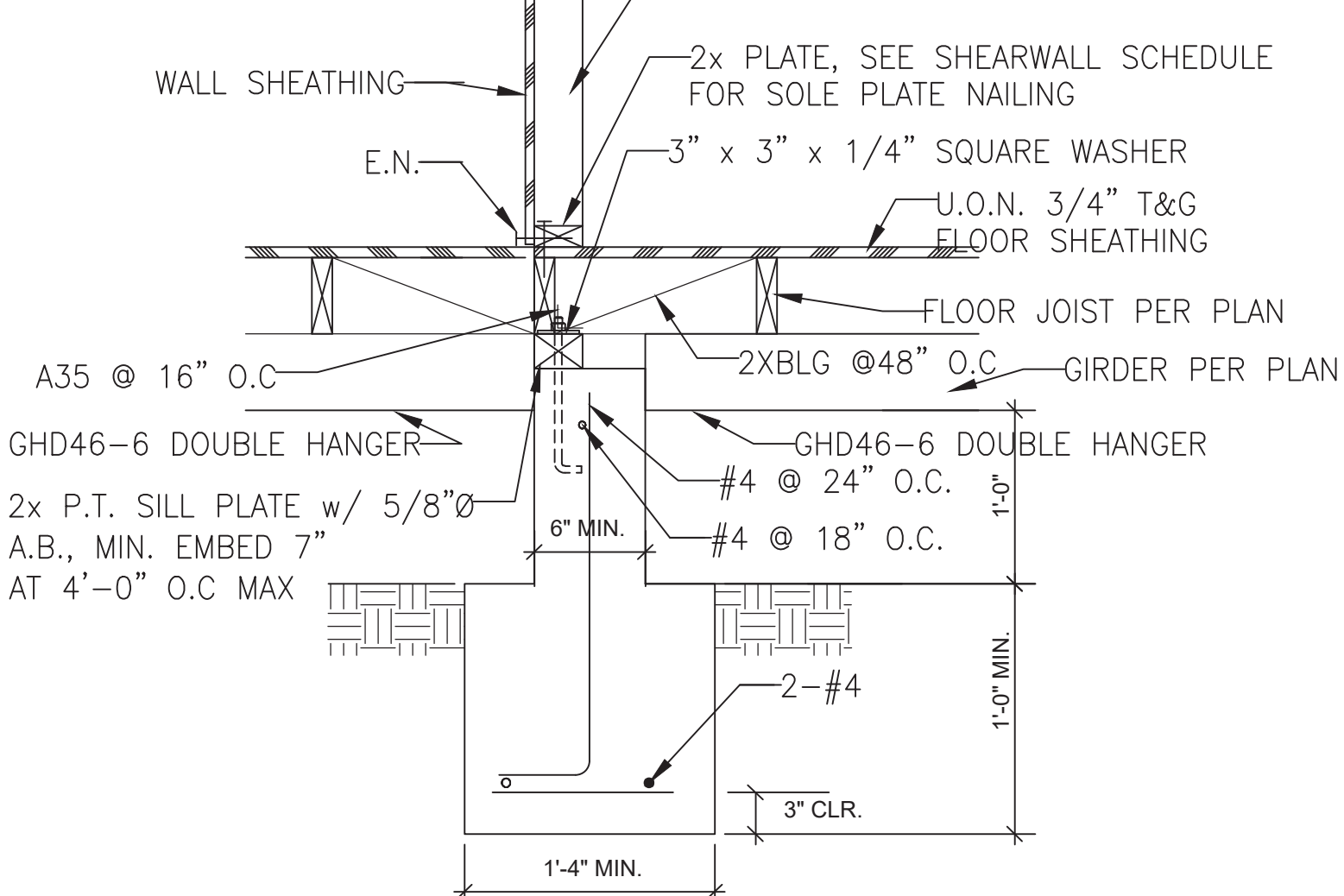
2 PERIMETER FOUNDATION



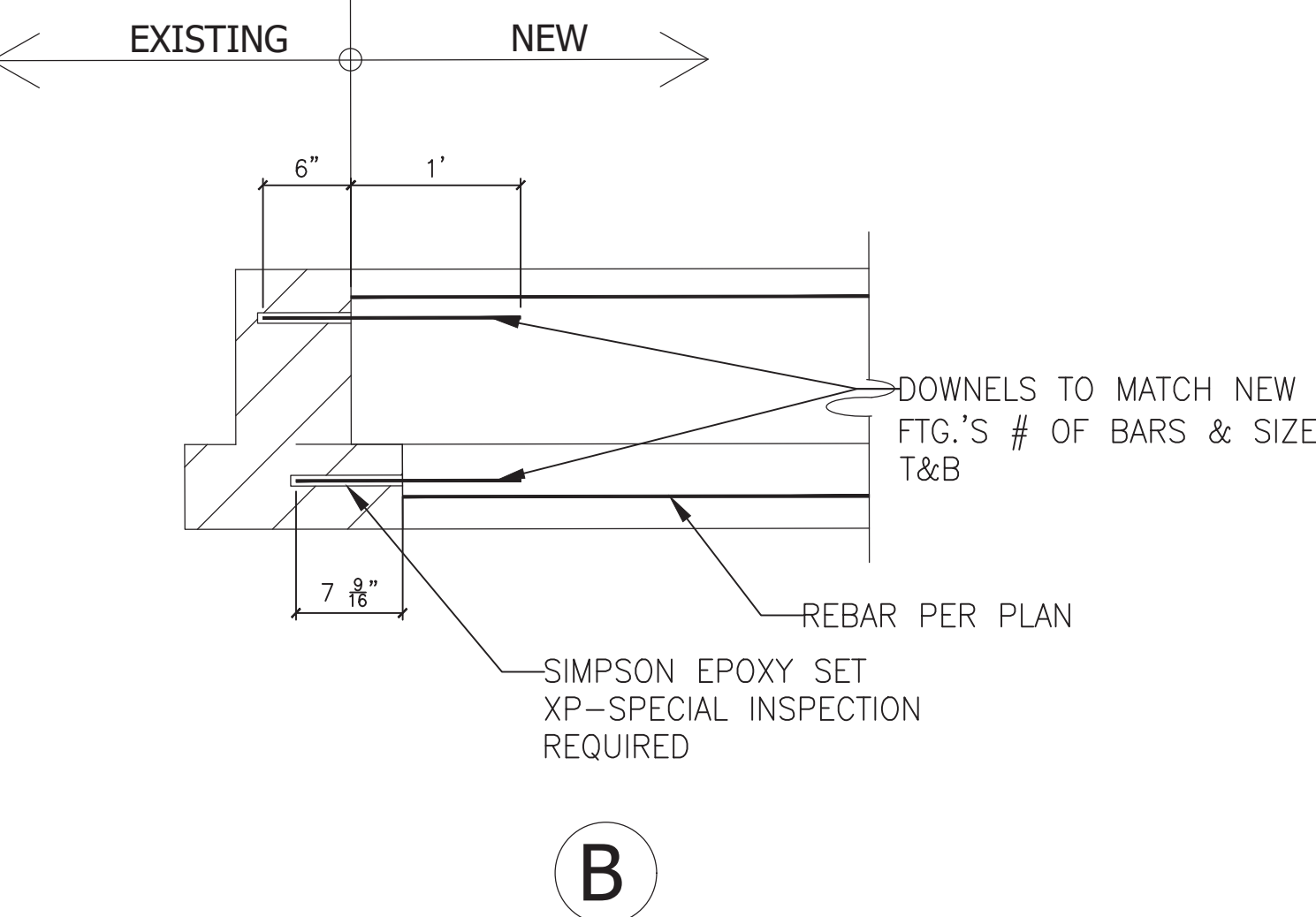
4 FOUNDATION ACCESS



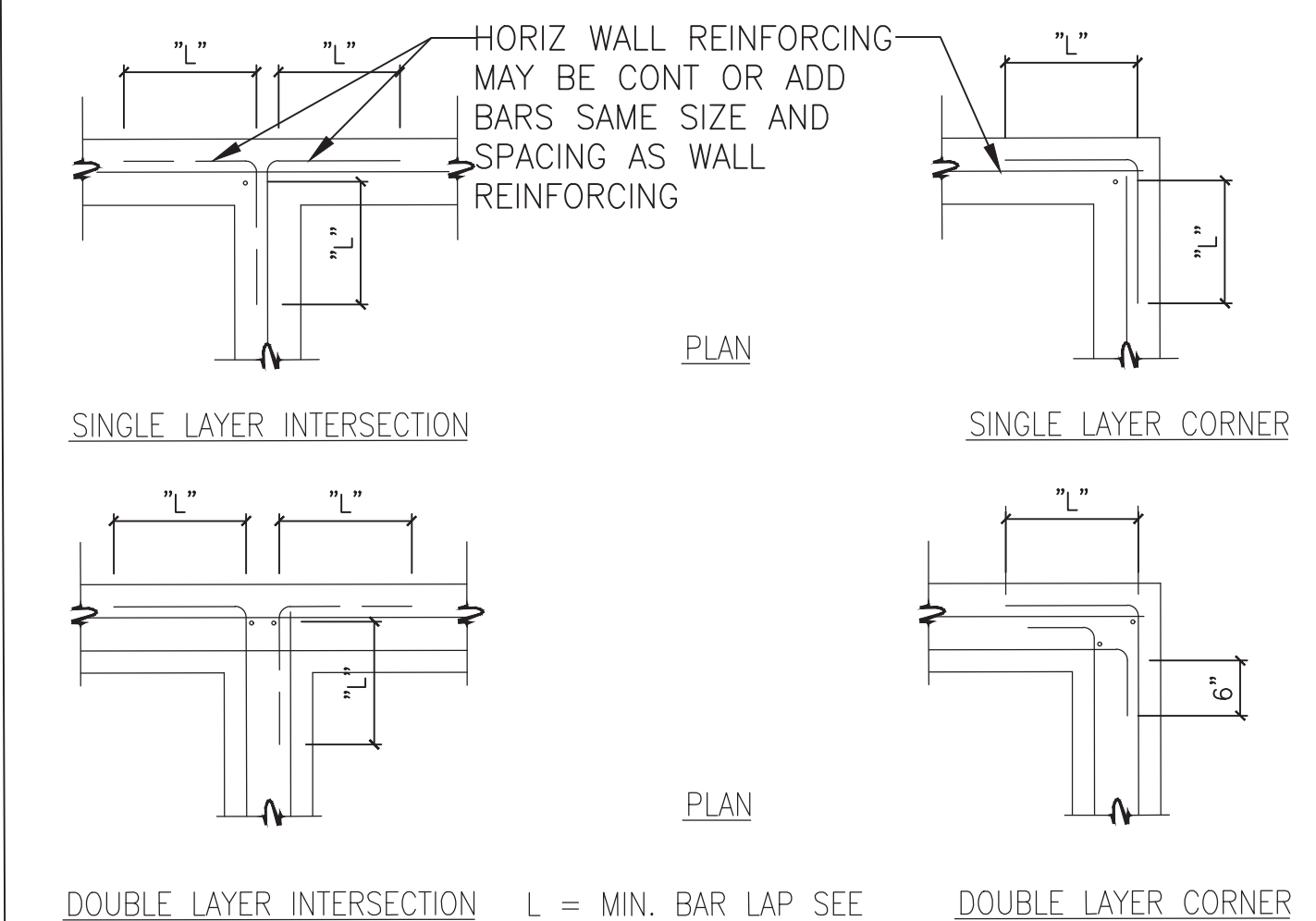
5 (N) LEDGER CONNECT TO (E) FOOTING



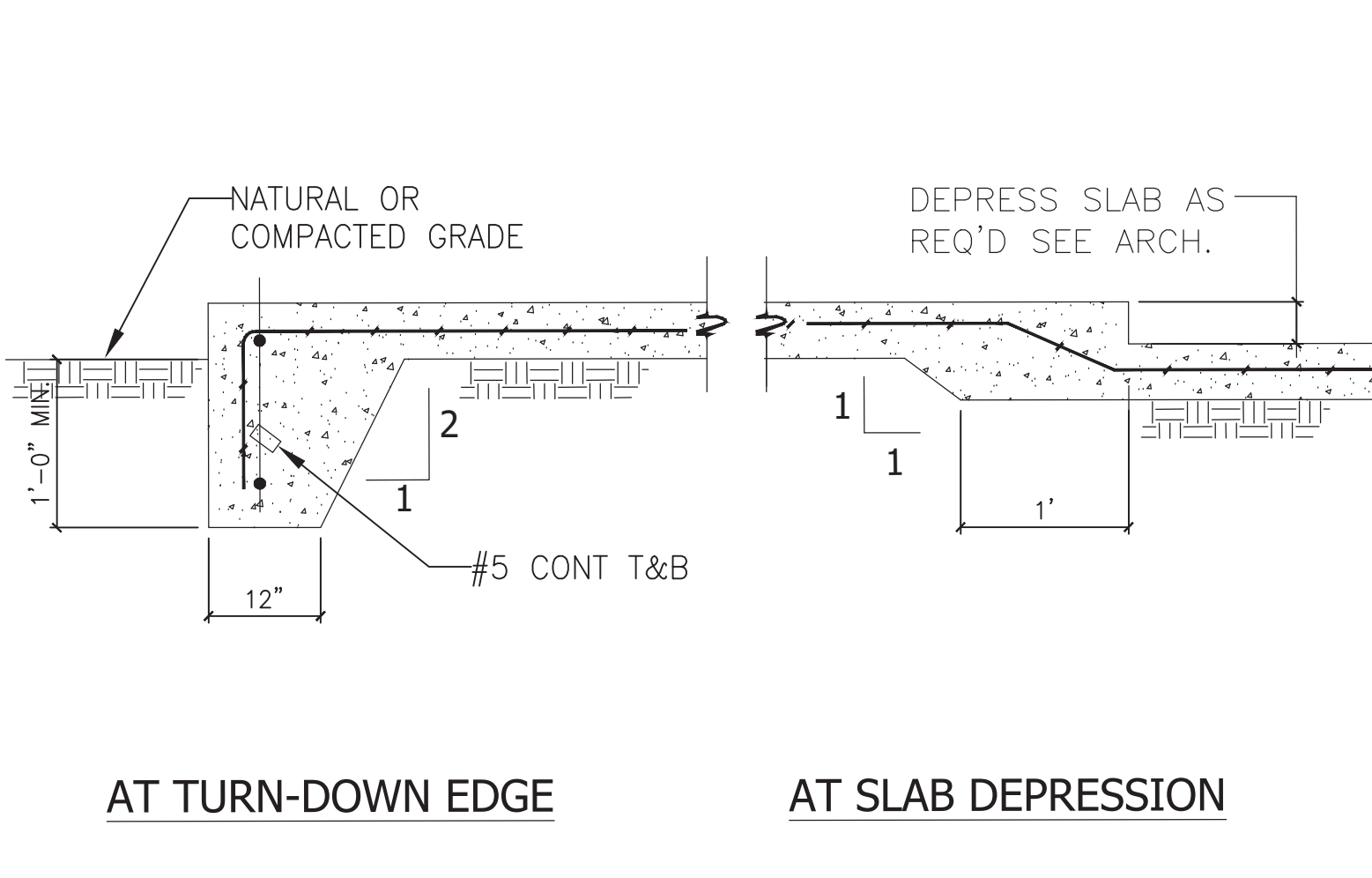
6 INTERIOR FOOTING



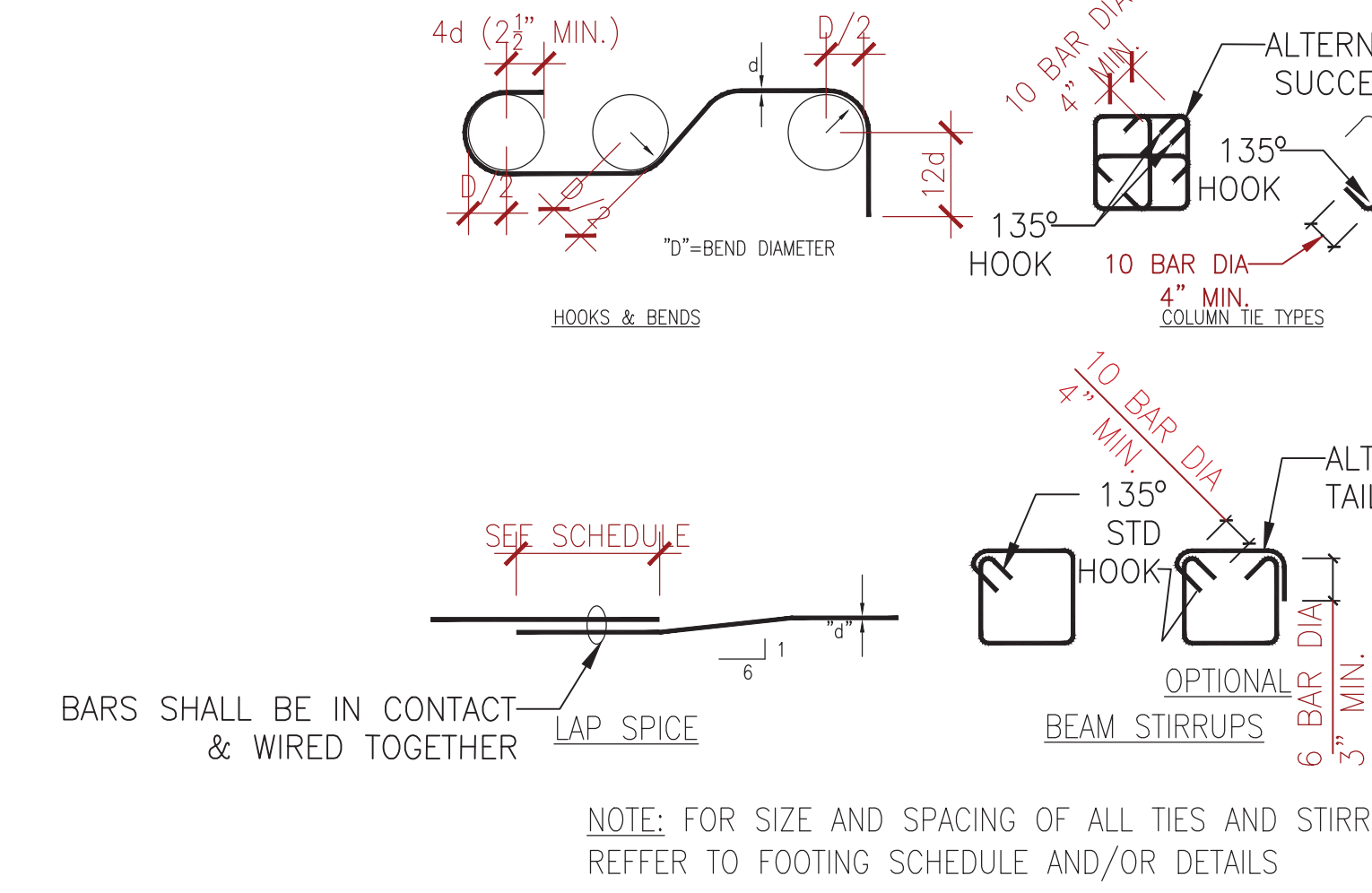
7 (N) GIRDER CONNECTS TO (E) FOOTING



14 REINFORCEMENT DETAILS AT WALL CORNER



10 CONCRETE SLAB DETAIL

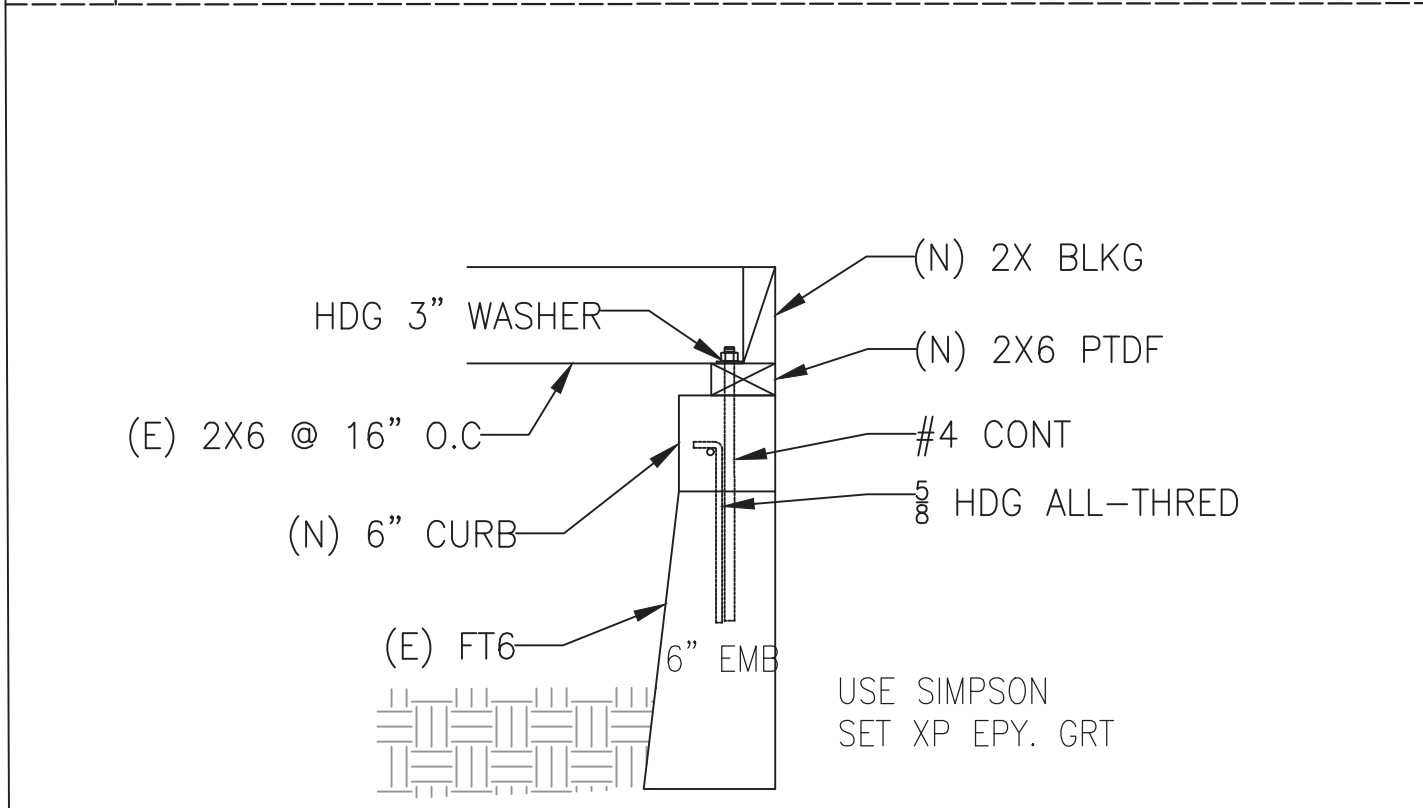


13 TYPICAL REINFORCEMENT DETAILS

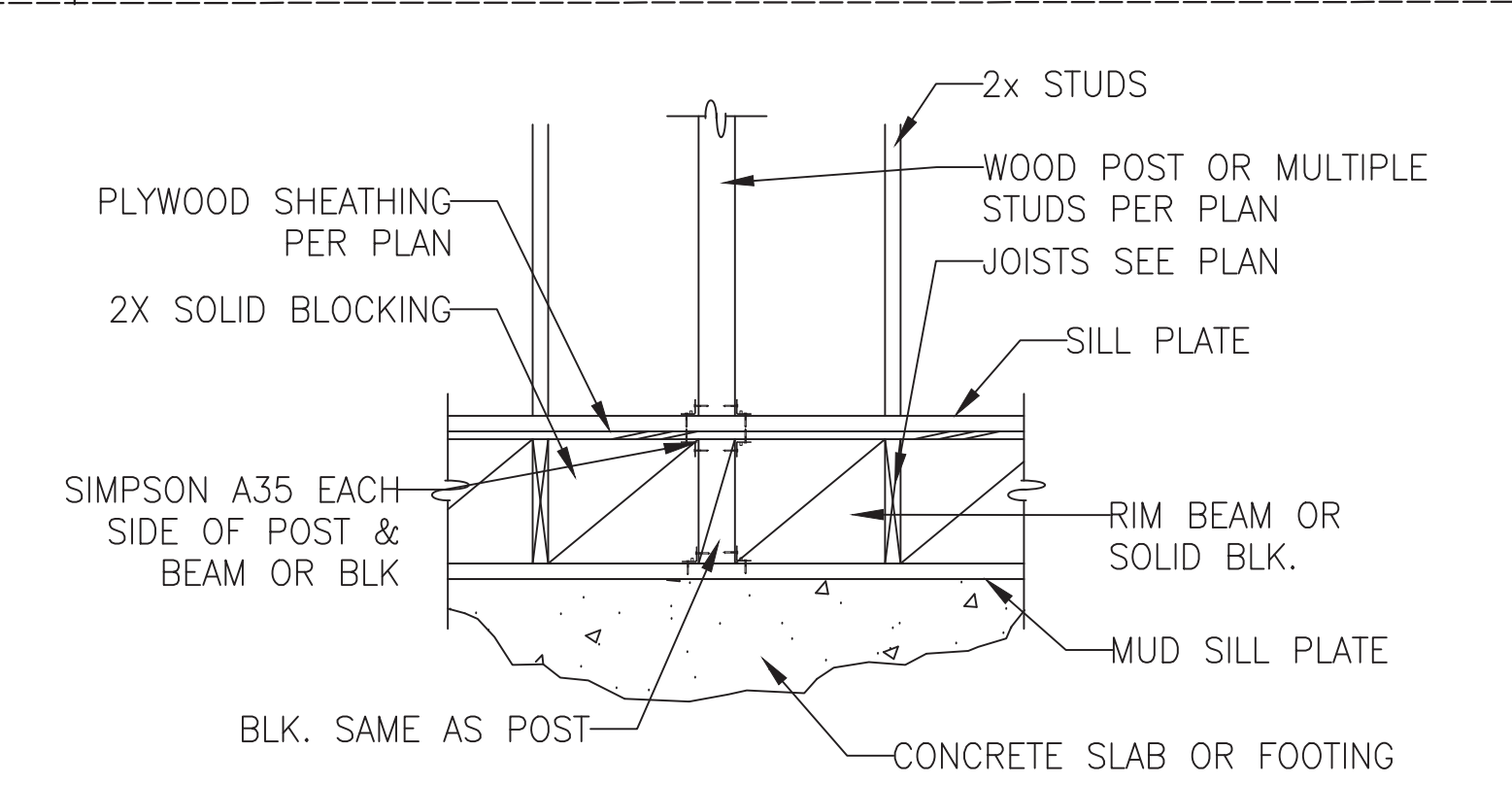
BAR SIZE	BEND DIAMETER
#3 THRU #5	D = 4d
#6 THRU #8	D = 6d
#9 THRU #11	D = 8d
#14 THRU #18	D = 10d

BAR #	2500 PSI MIN. CONCRETE REINFORCING BAR LAP SPLICE		CONCRETE BLOCK BAR LAP IN INCHES
	MINIMUM CLEAR BAR SPACING (BAR DIAMETER)	LAP SPLICE LENGTH (INCHES)	
#4	MORE THAN 2	30	24"
#5	MORE THAN 2	37	30"
#6	MORE THAN 2	44	54"
#7	MORE THAN 2	81	63"
#8	MORE THAN 2	93	72"
#9	MORE THAN 2	104	82"
#10	MORE THAN 2	116	92"
#11	MORE THAN 2	127	102"

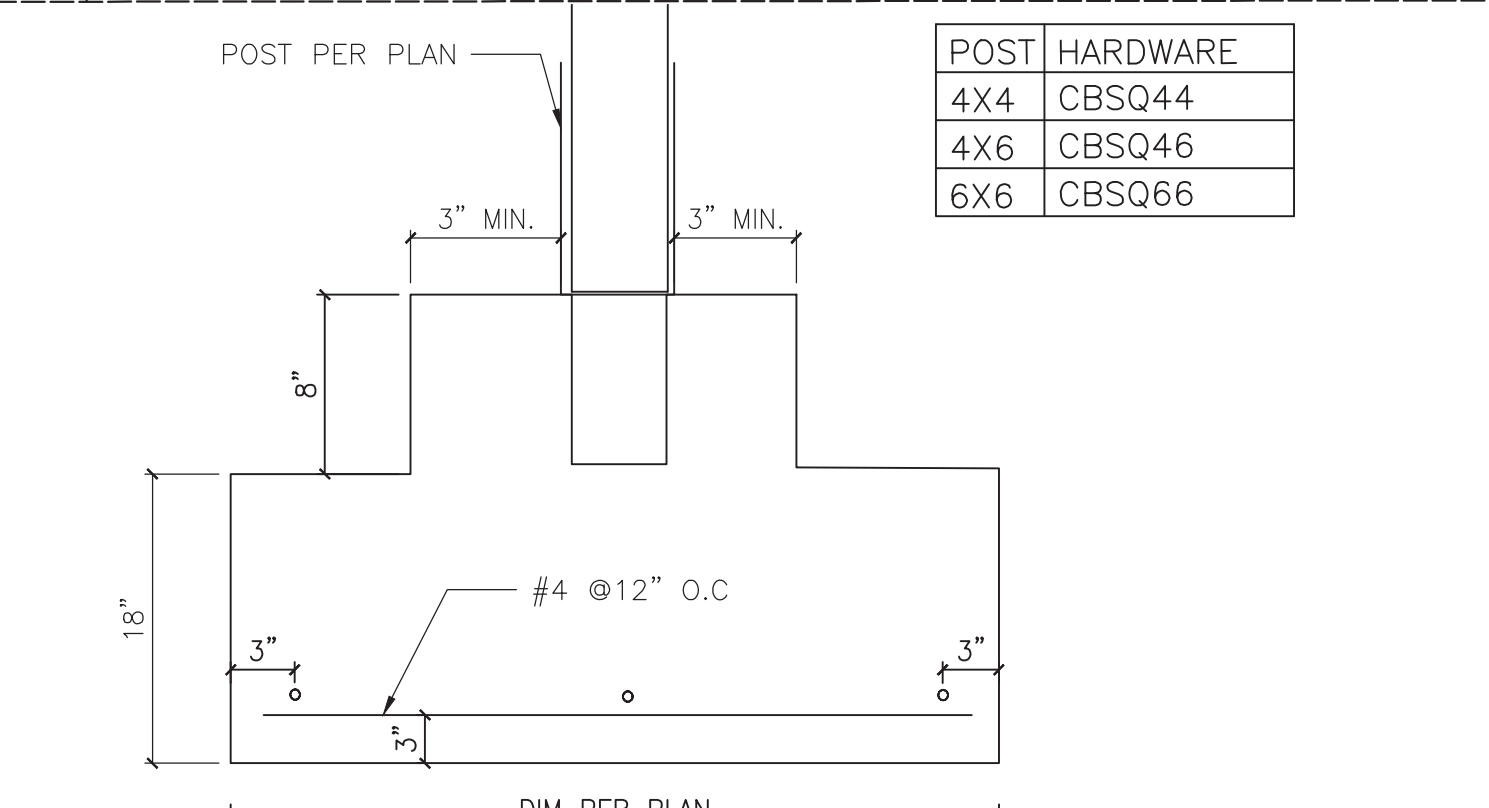
\* HORIZONTAL REINFORCEMENT SO PLACED THAT MORE THAN 12" OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW THE DEVELOPMENT LENGTH OF SPLICE



12 RAISING (E) FOOTING



9 WOOD POST ON SILL PLATE



11 POST PER PLAN

S1

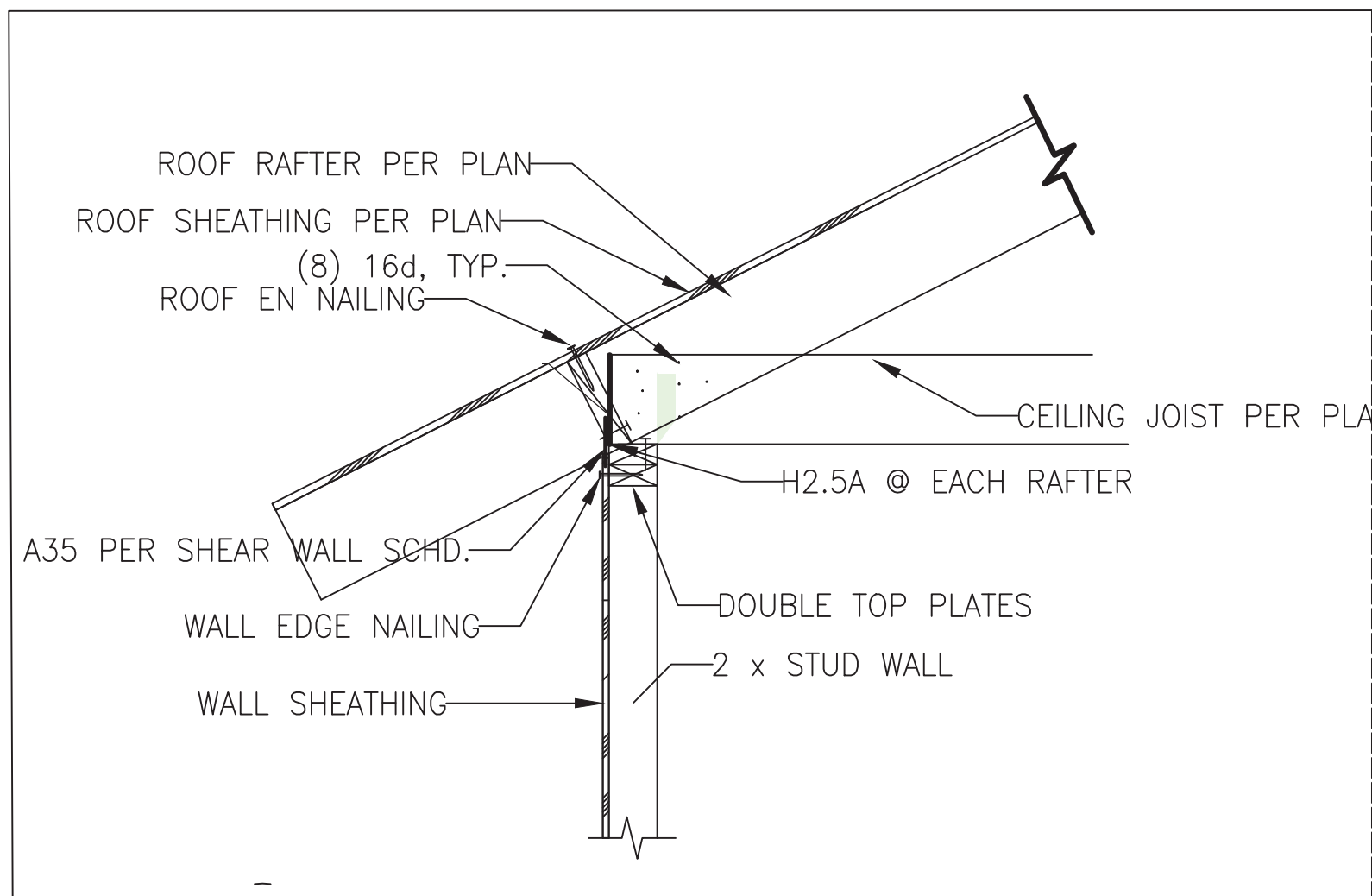
FOUNDATION DETAILS

DARRYL & JOISE SMITH RESIDENCE  
1890 GRAHAM LN  
SANTA CLARA CA 95050

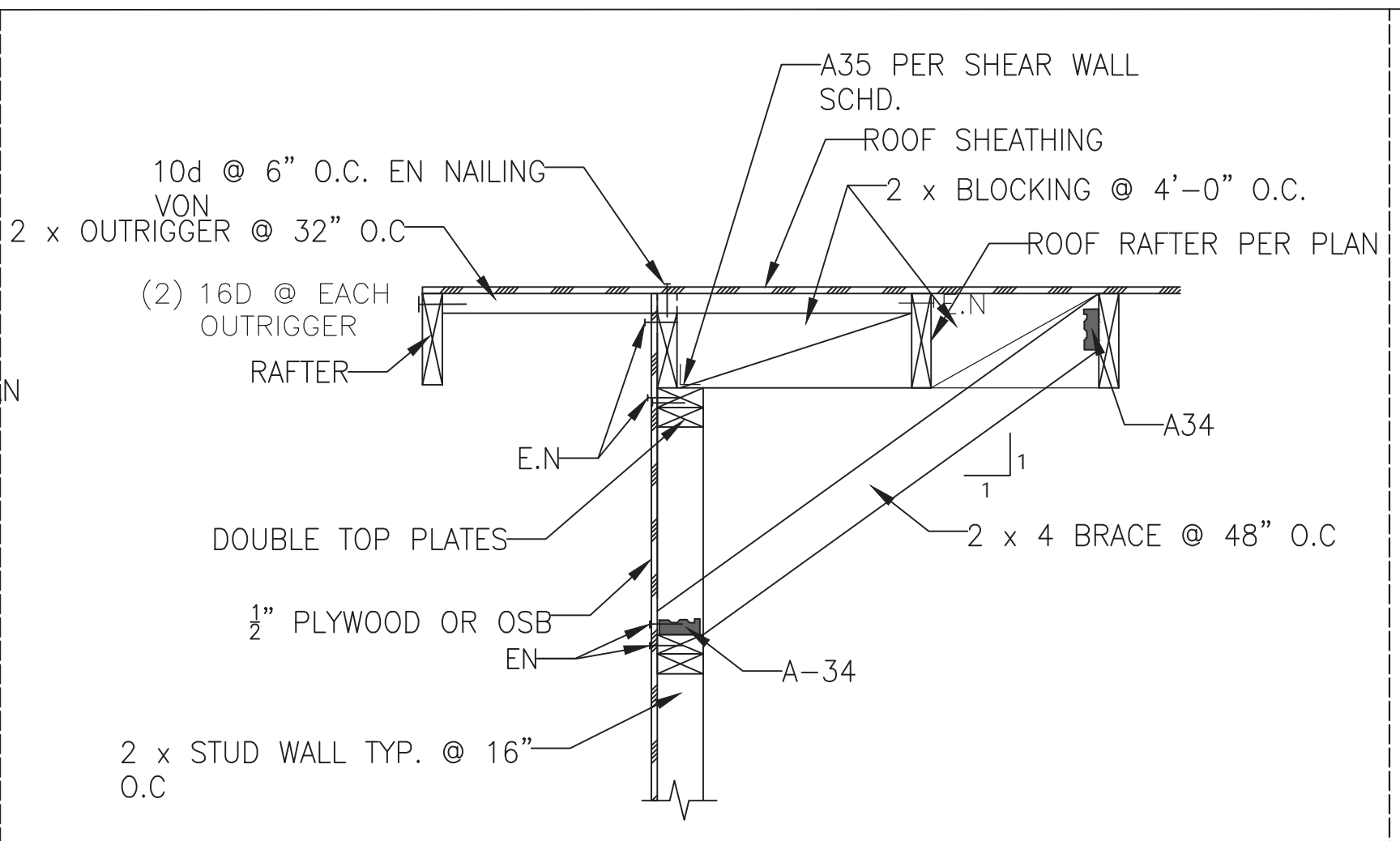
BDS CONST GROUP  
1261 S ALMADEN AVE  
SAN JOSE CA 95110  
(408) 531-7165

ENGINEER:  
  
SCALE:  
1" = 1'-0"

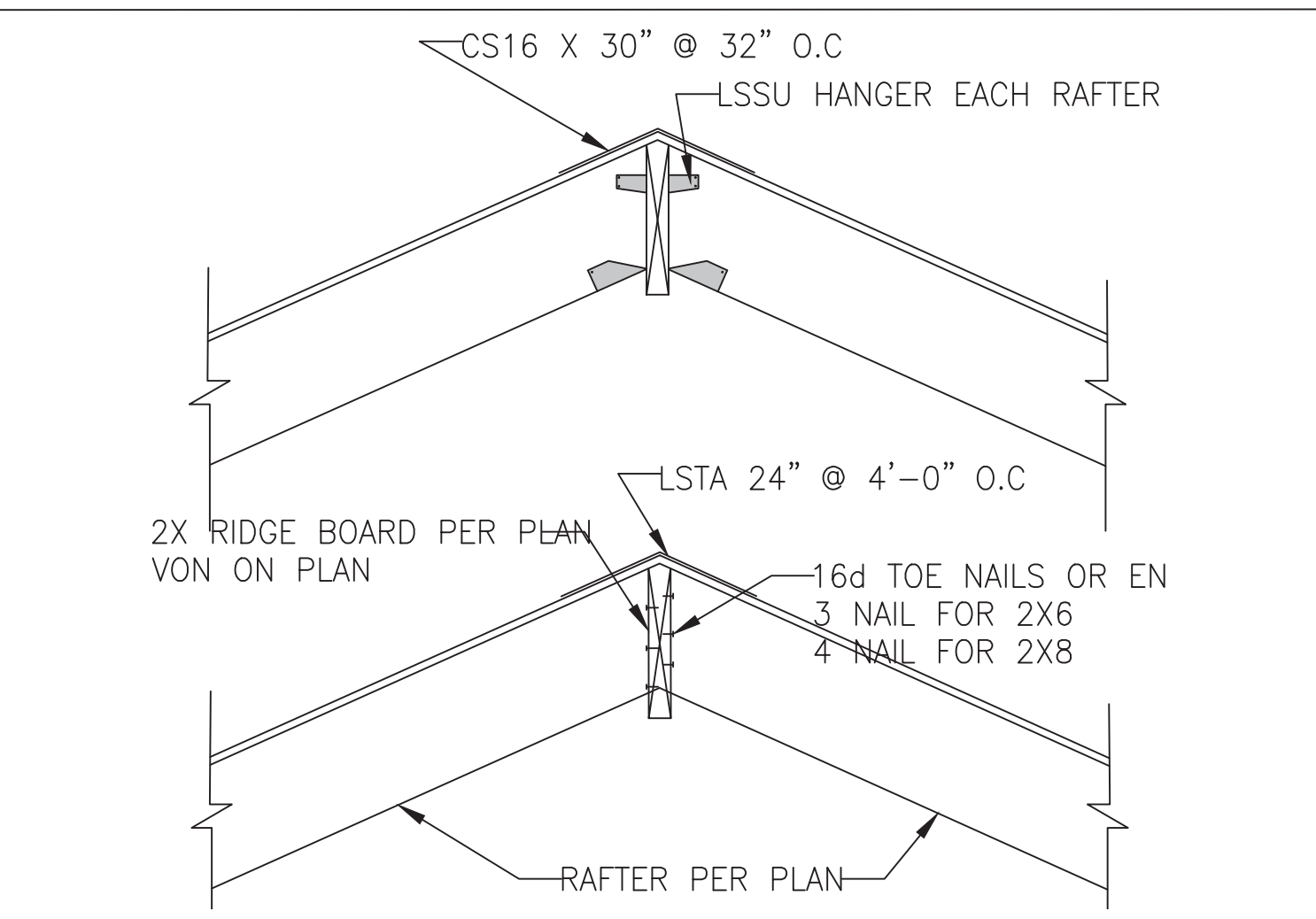




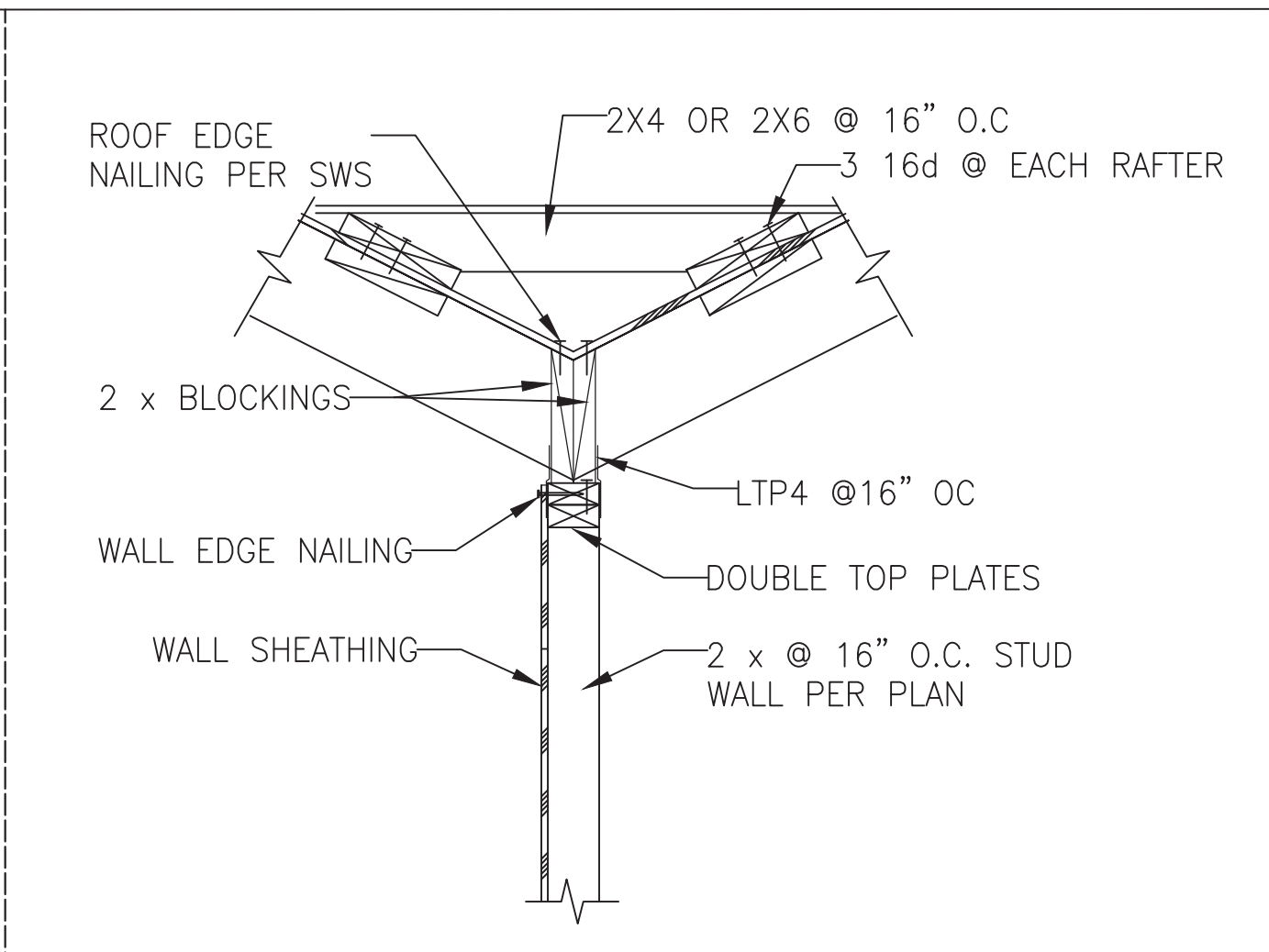
1 WALL TRANSFER AT ROOF



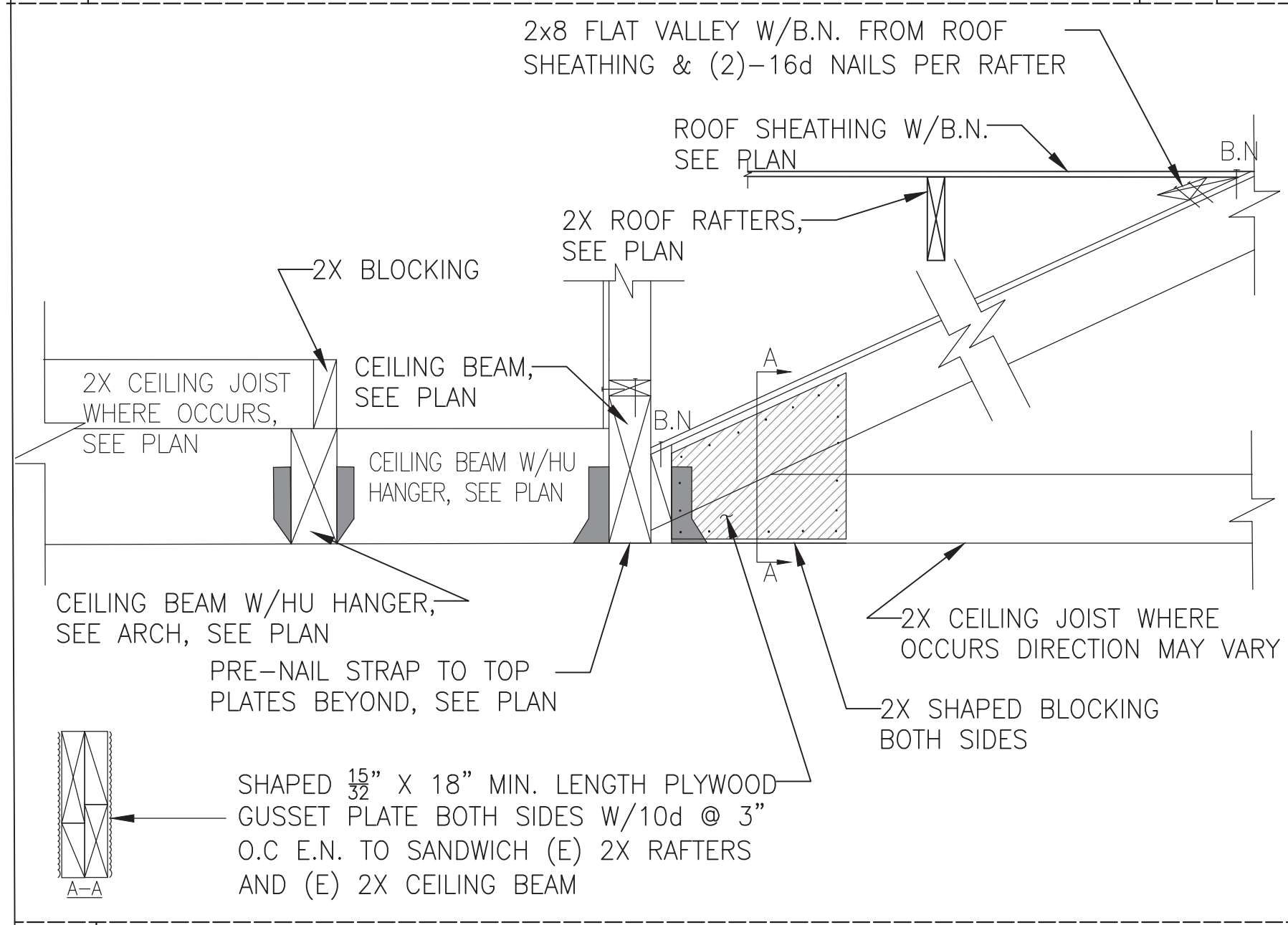
2 GABLE AND WALL DETAIL



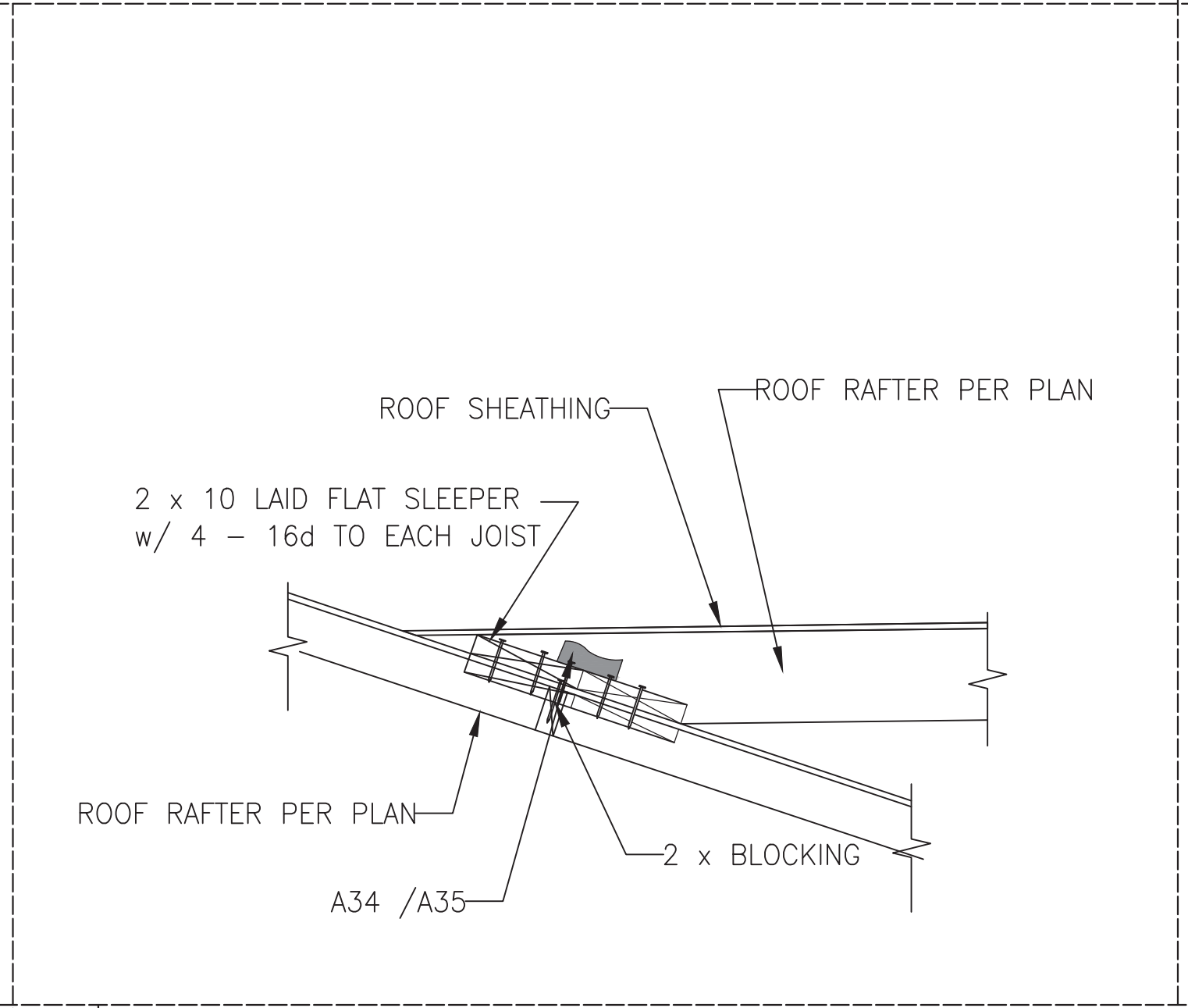
3 RIDGE BEAM CONNECTION



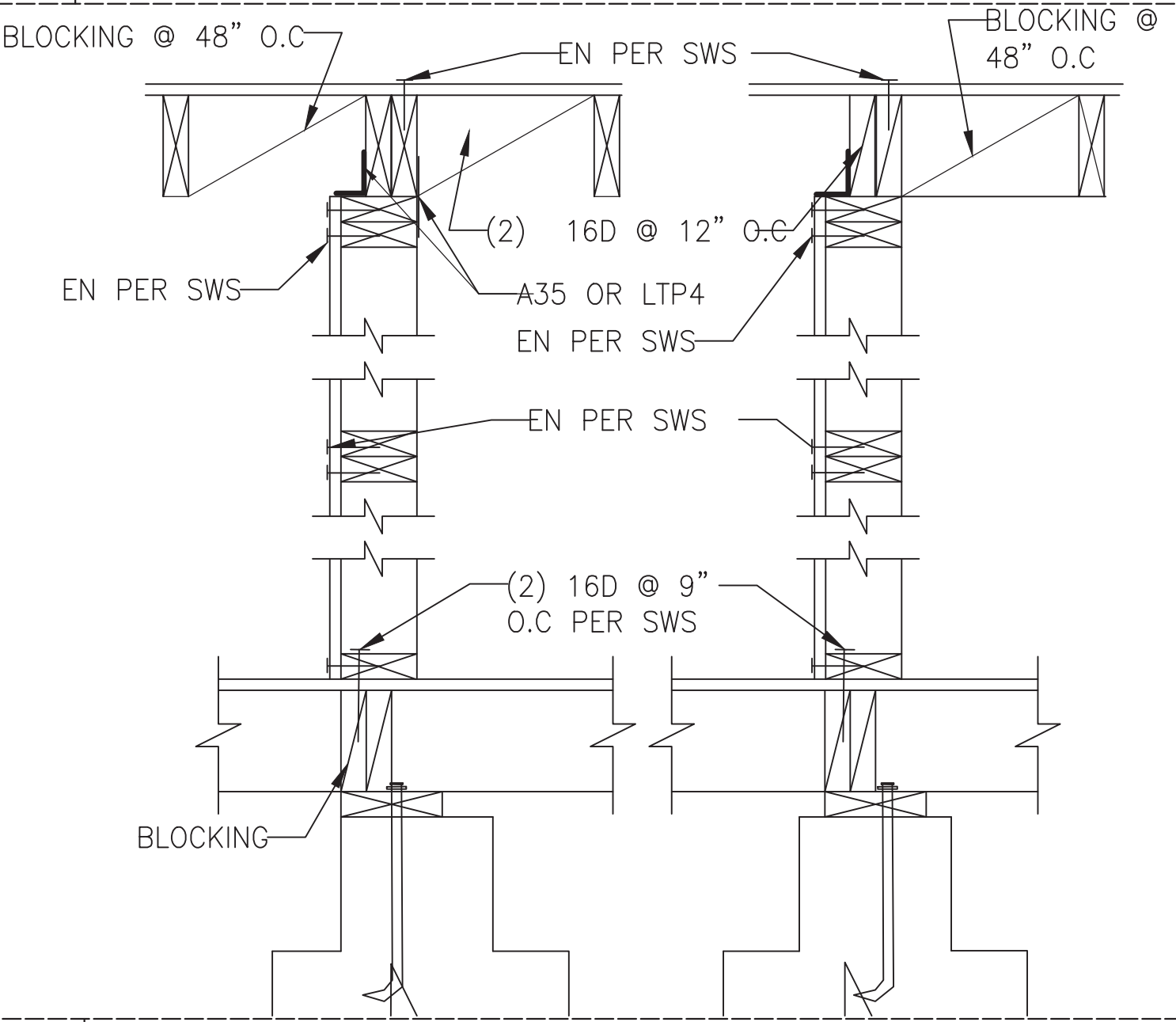
4 CRICKET



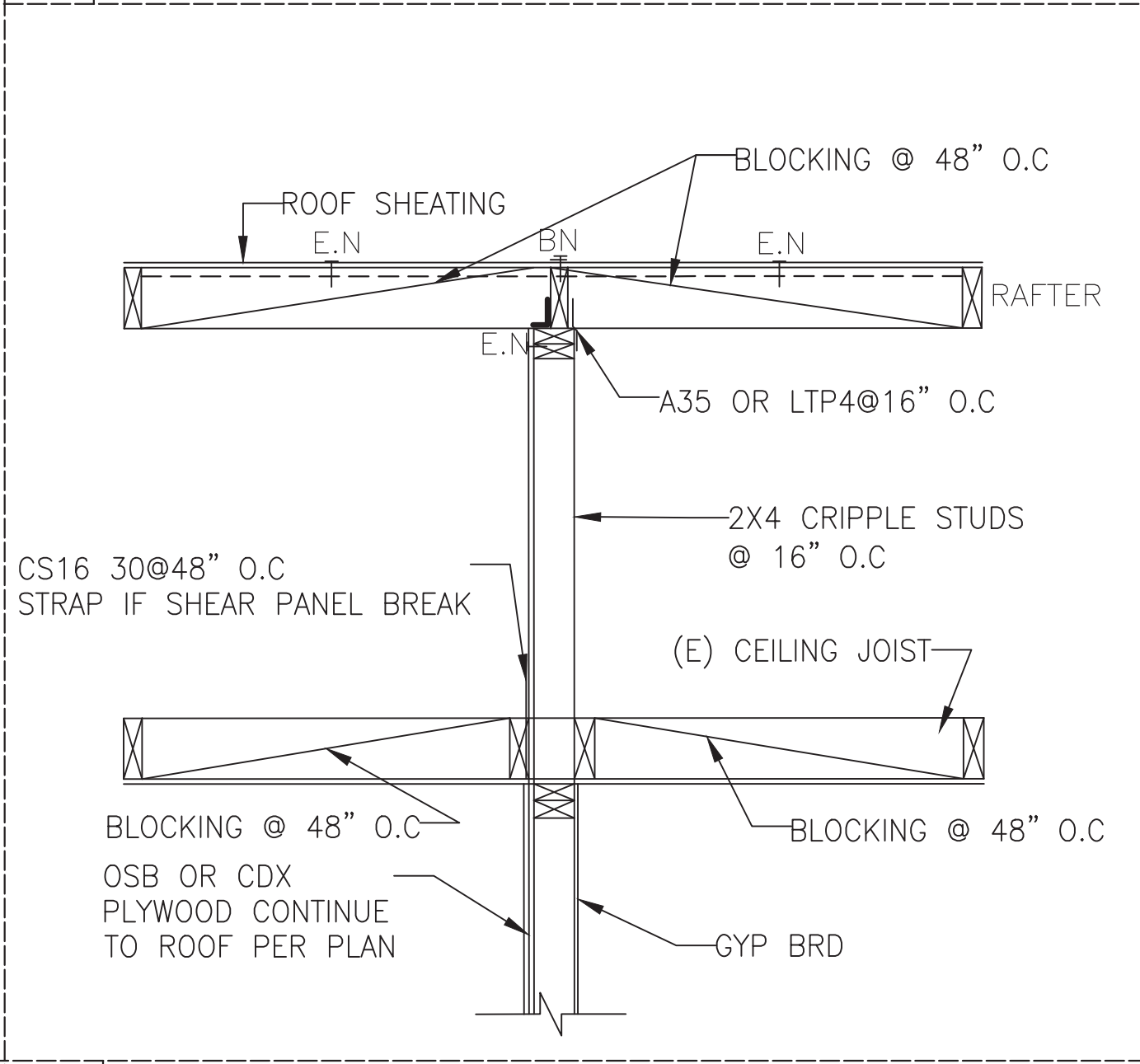
5 RAFTER TO BEAM CONNECTION



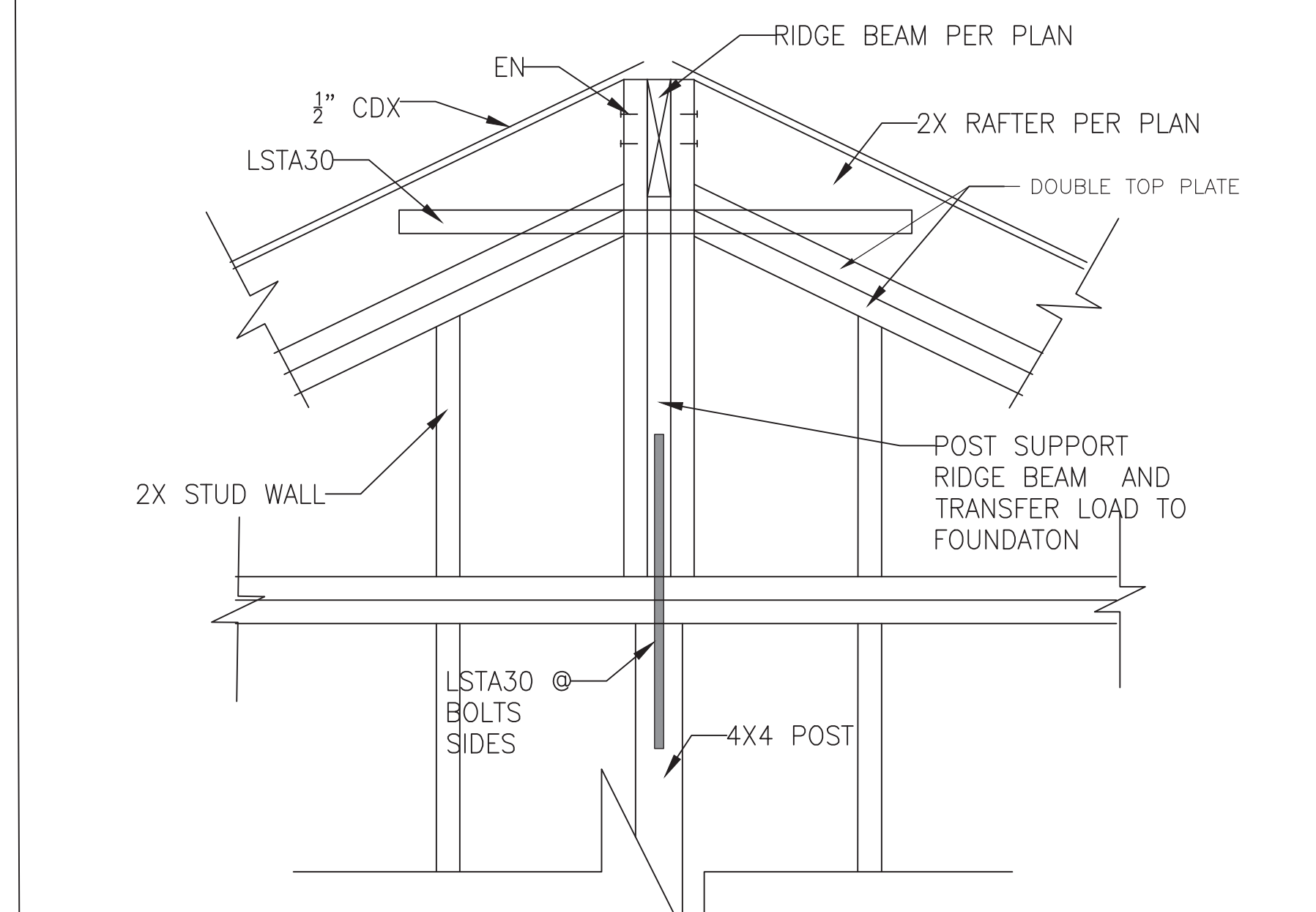
8 CALIFORNIA ROOF



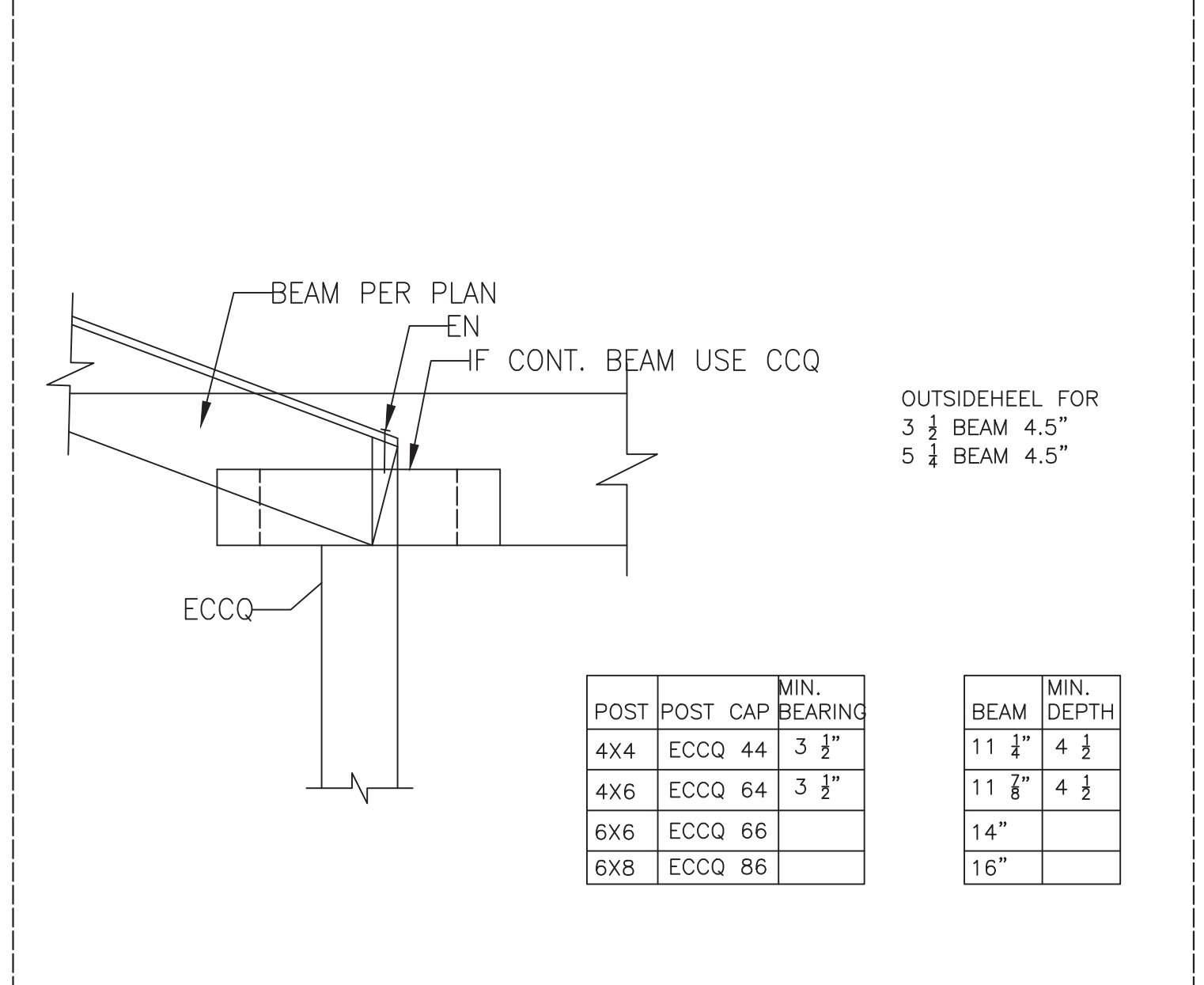
6 RAFTER CONNECT TO SHEAR WALL



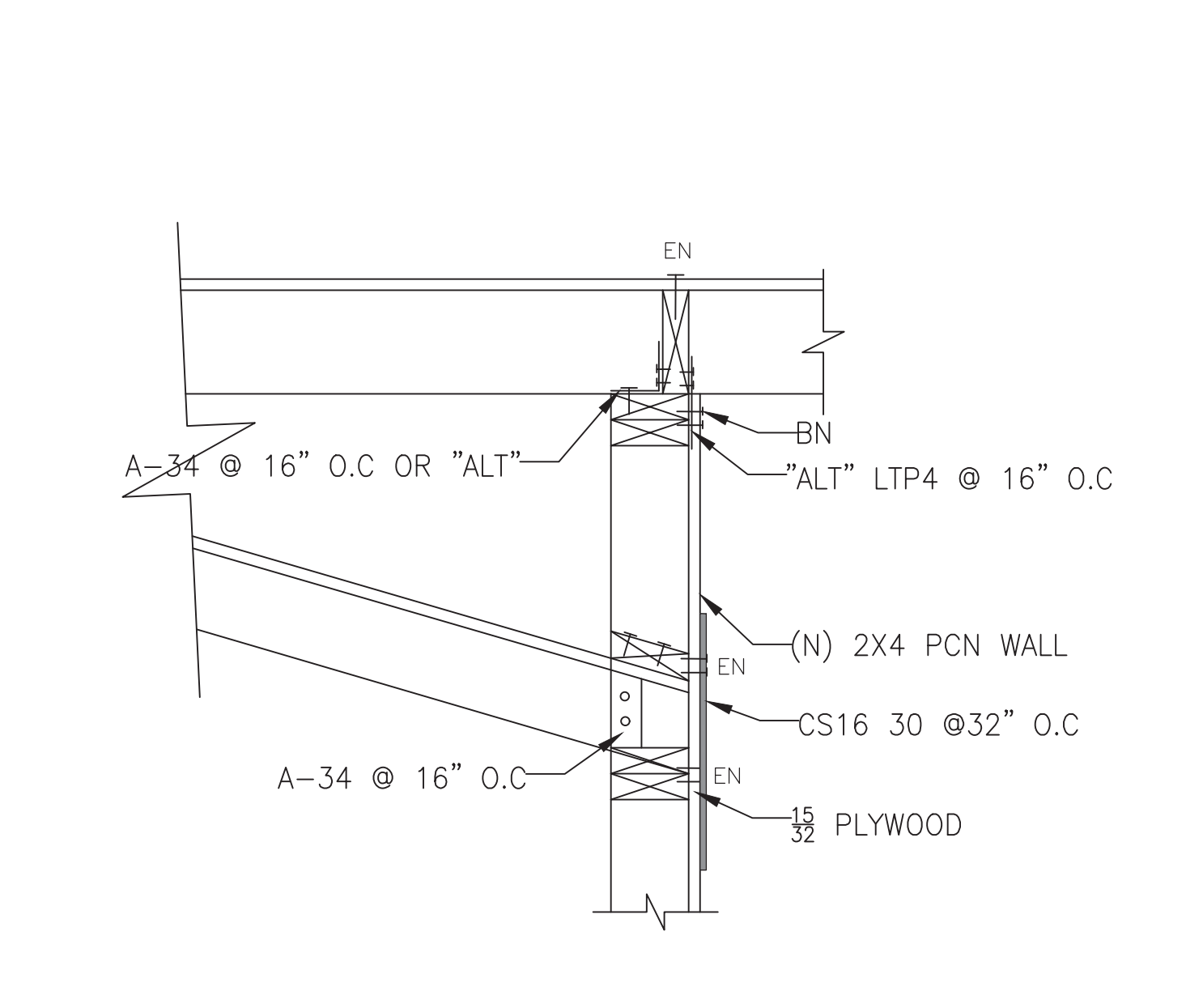
9 INTERIOR BRACE WALL TRANSFER



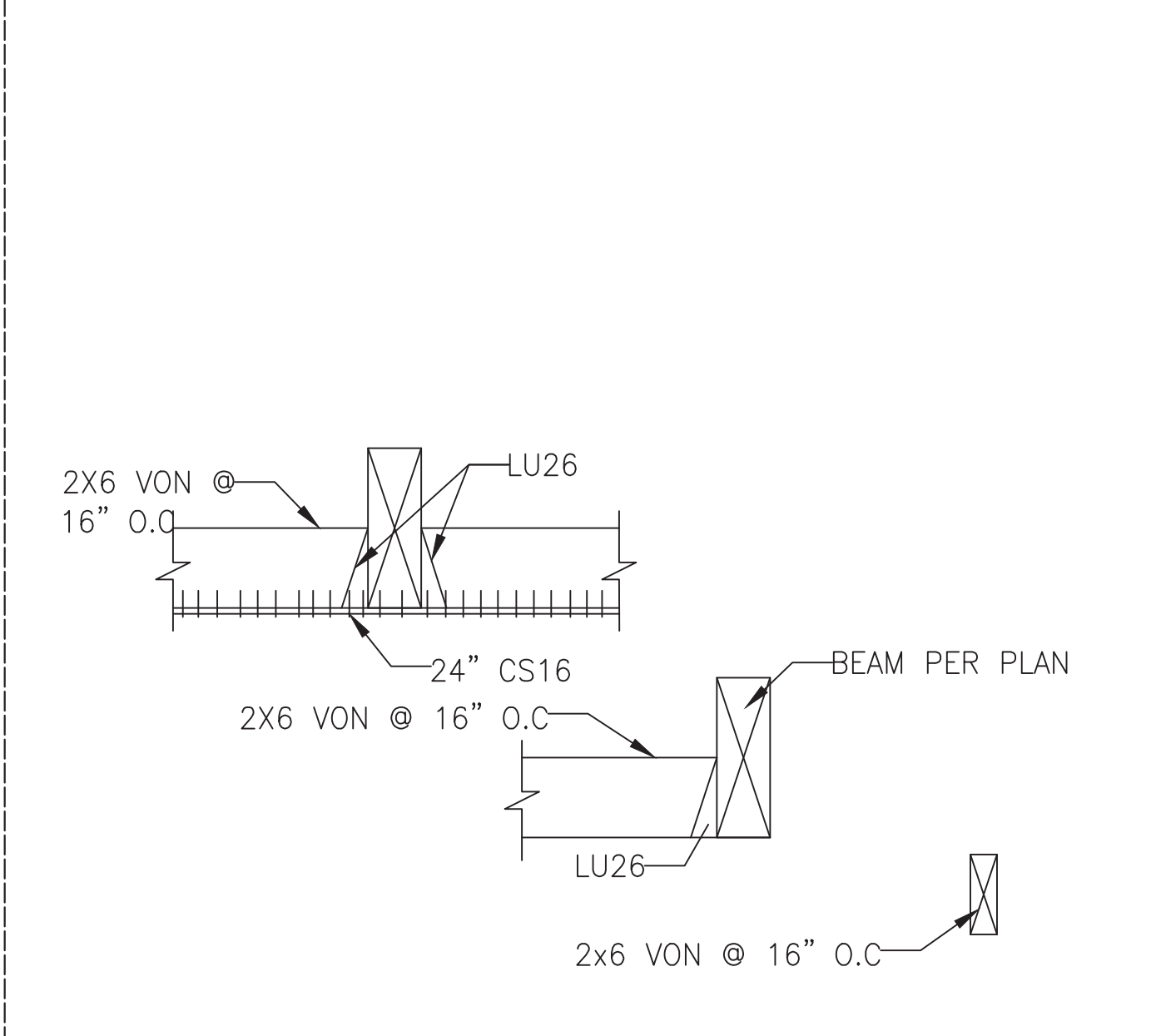
7 POST SUPPORT RIDGE BEAM



8 CALIFORNIA ROOF



6 RAFTER CONNECT TO SHEAR WALL



9 INTERIOR BRACE WALL TRANSFER

POST	POST CAP.	MIN. BEARING
4x4	ECCQ 44	3 1/2"
4x6	ECCQ 64	3 1/2"
6x6	ECCQ 66	
6x8	ECCQ 86	

BEAM	MIN. DEPTH
11 1/4"	4 1/2"
11 5/8"	4 1/2"
14"	
16"	

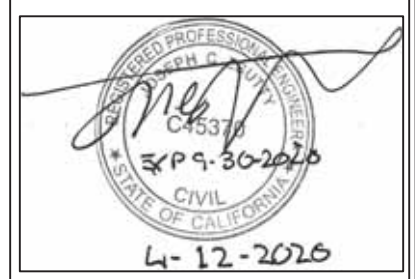
S2

ROOF FRAMING DETAILS

DARRYL & JOISE SMITH RESIDENCE  
1890 GRAHAM LN  
SANTA CLARA CA 95050

BDS CONST GROUP  
1261 S ALMADEN AVE  
SAN JOSE CA 95110  
(408) 531-7165

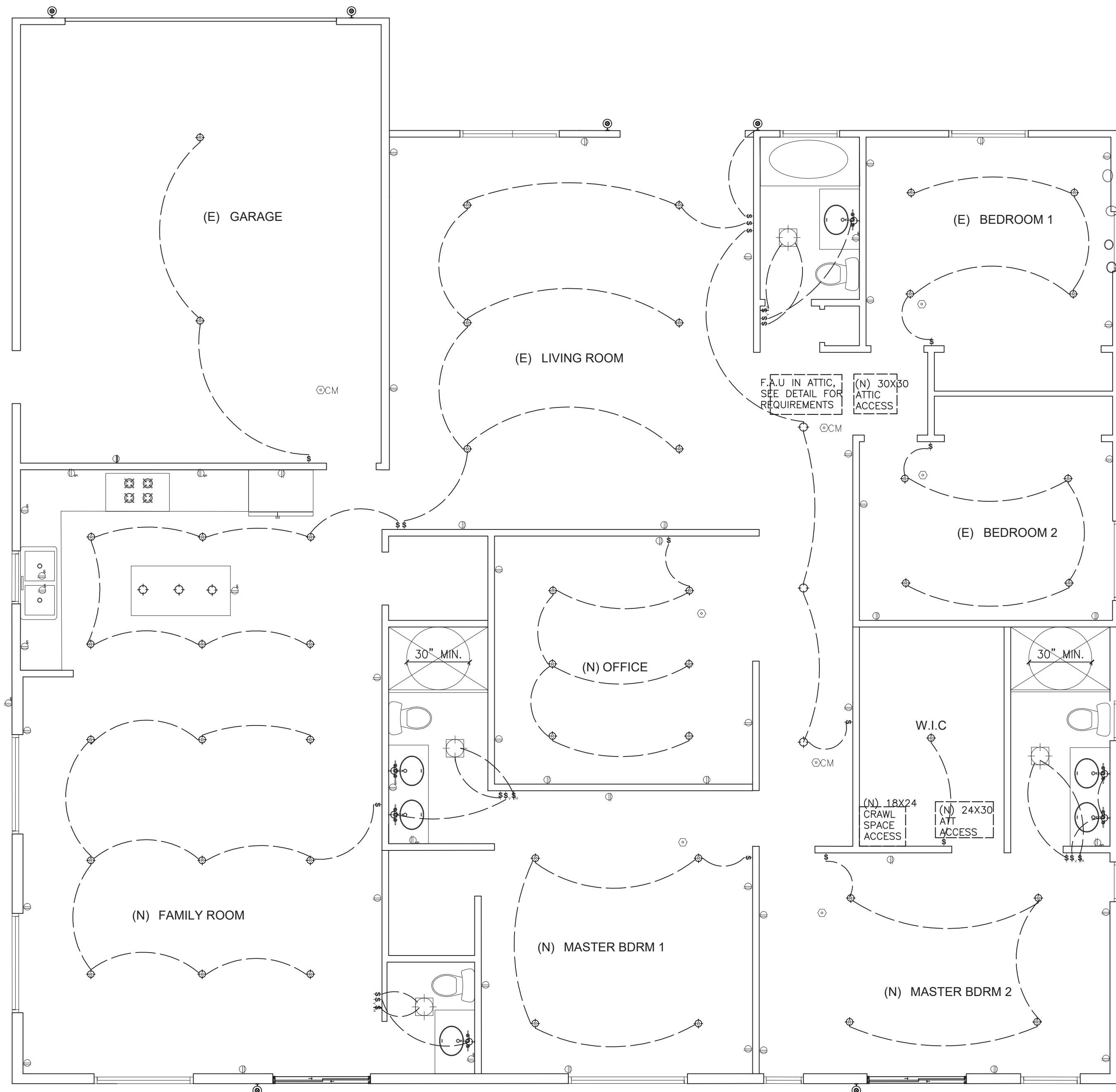
ENGINEER:



SCALE:

1" = 1'-0"





ELECTRICAL PLAN

FLOOR PLAN LEGEND	
	SMOKE DETECTOR
	SMOKE DETECTOR/ CARBON MONOXIDE COMBO.
	RECESSES FLOURESCENT LIGHT FIXTURE
	FLOURESCENT LIGHT FIXTURE
	RECEPTACLE
	220V
	SINGLE POLE
	HUMITY SWITCH
	DIMMER
	VACANCY MOTION SENSOR
	FLOURESCENT LIGHT FIXTURE, VENT COMBO.
	FURNACE REGISTER
	PENDANT LIGHT
	EXT. LIGHT PHOTOCELLS AND MOTION SENSOR
	CHANDERLIER LIGHT

PLUMBING NOTES:

- No domestic dishwashing machine shall be directly connected to drainage system or food waste disposer without the use of an approved dishwasher air gap fitting on the discharge side of the dishwashing machine. Listed airgaps shall be installed with the floor level (FL) marking at or above the floor level of the sink of drainboard, whichever is higher. See CPC SEC.807.3
- The maximum flow rates set by the california energy commision:
  - Water closets 1.28 GPM
  - Singer showerhead--2.0 GPM at 80 PSI. combined flowrate of multiple showerheads and/or other shower outlets controlled by a singer valve--2.0 GPM at 80 PSI.
  - Laundry faucets--1.2 GPM at 60 PSI (min. shall not less than 0.8 GPM at 20 PSI)
  - Sink faucets 1.8 GPM at 60 PSI.
- Install cement board (durock, wonderboard) for the tub surrounding walls.
- New tub/shower to have smooth, hard, non absorbent surface over a moisture resistant underlayment to 72" above drain.
- Provide pressure mixing valve at tub/shower
- Showers shall have 1024 square inch min floor area and 30 inch diameter.
- Shower door shall have min. 22" opening.
- A gas supply line with a min. capacity of at least 200,000 BTU/HR for the new tankless water heater design gas input.

MECHANICAL NOTES:

- All air ducts pene trating separation wall or ceiling between garage and living area shall be 26 ga. min. sheetsteel.
- Heating equipment (which generate a glow, flame, or spark) located in garageshall be installed such that the source of ignition is it least 18" above floor.
- Clothes dryer exhaust ducts shall terminate to the outside of the building not less than 3 feet from property line, 10 feet from a forced air inlet, and 3 feet from openings into the building and shall be equipped with a backdraft damper screens shall not be installedat the duct termination.
- Provide min. 50 CFM intermittent airflow for the bathroom exhaust fans, or provide min. 20 CFM for the continuously operating bathroom exhaust fans, min. 5" duct size.
- Range hood exhaust system to be vented to the outdoors for kitchen
- Provide min. 100 CFM intermittent airflow for the kitchen range hood/microwave hood combination, or provide exhaust fan in the kitchen capable of providing at least 5 air changes per hour, min. 5" duct size.
- Ventilation heating and air conditioning systems shall have merv 6 filters or better, CEC150.0(M)12B.

ELECTRICAL NOTES:

- Min. two 20 AMP shall appliance branch circuits are required for the kitchen and are limited to supplying wall and counter space outlets for the kitchen, pantry, breakfast room, sining room, or similar areas. Notes: These circuits cannot serve outside plugs, range hood, disposals, dishwasher or microwaves--only the required countertop/wall outlets including the refrigerator see CEC210.11(C) (1) & 210.52(B).
- A dedicated 20 AMP branch circuit shall be provided to supply the laundry receptacle outlet. CEC210.11(C)(2) & 210.52(F).
- A dedicated 20 AMP branch circuit shall be provided to serve the required bathroom outlets. This circuit cannot supply any other receptacles, lights, fans, etc. Where the circuit supplies a single bathroom, outlets for other equipment within the same bathroom shall be permitted to be supplied. In no case shall the receptable be located more than 12 inches below the top of the basin. CEC210.11(C)(3) and 210.52(D).
- All smoke detectors in bedroom are to be on arc fault circuit interrupter with battery back up.
- Provide arc fault circuit interrupter AFCI protection for outlets in dwelling unit kitchens, family room, dining room, farlor, library, dens, bedrooms, sunroom, recreation room, closets, hallways, laundry areas, or similar rooms or areas (CEC210.12).
- All exterior receptacle outlets to be GFC/WP protected per CEC210.8
- All 120 volt, 15 and 20 amp receptacle outlets shall be listed tamper-resistant receptacle per CEC406.11
- All proposed lighting shall be high efficacy fixtures. CEC table 15.0--A screw-based permanently installed light fixtures must contain screw-based JA8 compliant lamps. JA8 compliant light sources must be marked as "JA8-2016" or "JA8-2016-E" (JA-2016-E luminaires are deemed appropriate for use in enclosed luminaires) CEC150.0(k)G
- Grounding electrode system will be required per SEC 250.50 all grounding electrodes as described in 250.52(A)(1) through (A)(7) that are present at each building shall be bonded together to form a grounding electrode system.
- An 120V electrical receptacle located within 3 feet from the water heater and accessible to the water heater with no obstructions.
- At least one fixture in each bathroom, garage controlled by a vacancy sensor per CEC150.0(k)2J separate switching for any under cabinet lighting (including kitchen lighting) from other lighting systems. CEC150.0(k)2L
- All outdoor lighting as high efficacy with manual on/off switch and photocontrol and motion sensor.

