



Meeting Date: October 21, 2020

File No.(s): PLN2020-14492

Location: 756 Baird Avenue, a 6,100 square-foot site, located on the east side of Baird Avenue, approximately 120 feet south of Clyde Avenue; APN: 101-23-022; property is zoned Single-Family Residential (R1-6L).

Applicant: Natalia Amatuni for Residential Design

Owner: Venu Thiruvengada

Request: **Architectural Review** of a 276 square-foot first-floor expansion and 756 square-foot second-story addition to an existing 1,778 square-foot three-bedroom and two-bathroom home, resulting in a 2,810 square-foot, six-bedroom and four-bathroom home including a 426 square-foot two-car garage to remain.

Mailing Radius: 300 feet

CEQA Determination: Categorical Exemption per CEQA 15301(e)(1), Existing Facilities

Project Planner: Jeff Schwilk, Associate Planner

Staff Recommendation: **Approve**, subject to conditions

Project Data

Lot Size: 6,100 sq. ft.			
	Existing Floor Area (sq. ft.)	Proposed Addition (sq. ft.)	Proposed Floor Area (sq.ft.)
First Floor	1,352	276	1,778
Second Floor	n/a	756	756
Porch covers	n/a	25	25
Garage	426		426
Sheds	120		120
Gross Floor Area	1,778		2,960
Lot Coverage	1,898/6,100 = 31%		2,349/6,100 = 38%
F.A.R.	1,778/6,100 = .29		2,960/6,100 = .49
% of 2 nd floor to 1 st floor	n/a		756/2,229 = 34%
Bedrooms/Baths	3/2	3/2	6/4
Flood Zone	X		X

Points for consideration

- The existing house was constructed in 1964 and located in the Bonnie Brae Tract.
- The house is bordered on all sides by similar existing single-story homes.
- The project includes the construction of a 276 square foot ground floor addition to the front of the existing house, and a 756 square foot second-floor addition above the rear ground floor area of the existing house.
- The project would increase the living area of the existing house by expanding the living room and kitchen areas to the front ground floor of the house and a new second floor addition with three new bedrooms and two bathrooms upstairs.
- The exterior of the addition would be clad in metal tile roofing to match the existing house roof, as well as stucco siding and vinyl windows to match the exterior materials of the existing house.

- Overall proposed building height is 22-feet, 6-inches, including 8-foot ceiling heights for the first and second floors.
- The proposal includes the addition of a 3-foot deep by 11-foot wide balcony off the south wall of the second-floor master bedroom.
- 300-foot neighborhood notice was distributed for this project review.
- There are no active code enforcement cases for this property.

Findings supporting the Staff Recommendation

- 1) *That any off-street parking area, screening strips and other facilitates and improvements necessary to secure the purpose and intent of this title and the general plan of the City area a part of the proposed development, in that;*
 - The proposal provides the required two covered parking spaces.
 - The required parking spaces are not located in the required front yard or side yard landscaped areas.
 - The proposed project provides areas surfaced with all-weather materials for parking of vehicles.
- 2) *That the design and location of the proposed development and its relation to neighboring developments and traffic is such that it will not impair the desirability of investment or occupation in the neighborhood, will not unreasonably interfere with the use and enjoyment of neighboring developments, and will not create traffic congestion or hazard, in that;*
 - The proposed house expansion resulting in three additional bedrooms and two additional bathrooms would not create traffic congestion or hazards.
 - Public streets are adequate in size and design to serve the proposed single-family residence, and the use will not create a substantive increase in traffic.
- 3) *That the design and location of the proposed development is such that it is in keeping with the character of the neighborhood and is such as not to be detrimental to the harmonious development contemplated by this title and the general plan of the City, in that;*
 - The proposed development is a two-story home that is consistent with the scale and design similar to the existing surrounding neighborhood.
- 4) *That the granting of such approval will not, under the circumstances of the particular case, materially affect adversely the health, comfort or general welfare of persons residing or working in the neighborhood of said development, and will not be materially detrimental to the public welfare or injuries to property or improvements in said neighborhood, in that;*
 - The project is subject to the California Building Code and City Code requirements, which serve to regulate new construction to protect public health, safety and general welfare.
- 5) *That the proposed development, as set forth in the plans and drawings, are consistent with the set of more detailed policies and criteria for architectural review as approved and updated from time to time by the City Council, which set shall be maintained in the planning division office. The policies and criteria so approved shall be fully effective and operative to the same extent as if written into and made a part of this title, in that;*
 - The project would create a house design that is compatible scale and character with the housing types that is consistent with the neighborhood.

Conditions of Approval:

- 1) Garage shall be maintained clear and free for vehicle parking use at all times. It shall not be used only for storage.
- 2) Submit plans for final architectural review to the Planning Division and obtain architectural approval prior to issuance of building permits. Said plans to include, but not be limited to: site plans, floor plans, elevations, landscaping, lighting and signage.
- 3) Landscaping installation shall meet City water conservation criteria in a manner acceptable to the Director of Community Development.
- 4) Maintain the front yard landscaping between the house and sidewalk. New landscape areas of 500 square feet or more or rehabilitated landscape areas of 2,500 square feet or more shall conform to the California Department of Water Resources Water Efficient Landscape Ordinance.
- 5) The applicant shall plant and maintain a street tree in the front yard.
- 6) Developer/Owner is responsible for collection and pick-up of all trash and debris on-site and adjacent public right-of-way.
- 7) Construction activity shall be limited to the hours of 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 6:00 p.m. Saturdays for projects within 300 feet of a residential use and shall not be allowed on recognized State and Federal holidays.
- 8) Incorporate Best Management Practices (BMPs) into construction plans and incorporate post construction water runoff measures into project plans in accordance with the City's Urban Runoff Pollution Prevention Program standards prior to the issuance of permits.

Attachments

- 1) Development Plans

PROJECT DATA

PROJECT NAME: THIRUVENGADA RESIDENCE
PROJECT ADDRESS: 756 BAIRD AVE. SANTA CLARA, CA, 95054
APN: 101-23-022
PROJECT TYPE: SECOND FLOOR ADDITION AND REMODELING
OWNER: VENU THIRUVENGADA 650 7666708
PLANS DRAWN BY: NATALIAMATUNI 408 4200411

PROJECT SUMMARY

ZONING: R1-6L SINGLE FAMILY
LAND USE DESIGNATION: VERY LOW DENSITE RESIDENTIAL

TYPE OF CONSTRUCTION: V-B

OCCUPANCY GROUP: R3/U

EXISTING BUILDING IS NOT EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEM.

LOT DIMENSIONS: 61 x 100

FLOOD ZONE: X

Garage spaces: 2
GROSS LOT AREA: 6 098 sq.ft./0.14 ACRES

NET LOT AREA: 6 098 sq.ft./0.14 ACRES

(E) RESIDENCY WITHOUT THE GARAGE: 1352.00 SQ.FT.
GARAGE: 426.0 SQ.FT.
TOTAL EXISTING HOUSE WITH GARAGE: 1778.0 SQ.FT.

ADDITION:
1ST FLOOR: 276.00 SQ.FT.
2ND FLOOR: 756.00 SQ. FT.
TOTAL ADDITION: 1032.00 SQ.FT.

PROPOSED HOUSE WITHOUT GARAGE: 2,384.00 SQ. FT.
GARAGE: 426.00 SQ.FT.
PROPOSED HOUSE WITH GARAGE: 2,810.00 SQ.FT.

(E) LOT COVERAGE: 1888 DIVIDED BY 6098= 31%

PROPOSED LOT COVERAGE: (1628 + 426 + 120)=2174 DIVIDED BY 6098= 35.6%

MIN. SETBACK FRONT: 20'

MIN. SETBACK SIDE: 5'

MIN. REAR SETBACK: 20'

MAX HEIGHT: 25'

PROPOSED BUILDING HEIGHT: 22'-5"

BUILDING COVERAGE INCL. ACCESSORY STRUCTURE: 40%

(Buildings, including accessory buildings, shall not cover a total of more than forty percent (40%) of the area of any lot. (Ord. 1680 § 3, 11-14-95; Zoning Ord. § 6-10).)

MAX. LOT COVERAGE: 2449.00 SQ.FT.

PARKING REQUIREMENTS: 4/IDU (2 GARAGE + 2 OPEN) 10'X20' EACH

18,12,080 Front yard Share

Each lot shall have a front yard not less than twenty (20) feet in depth. A minimum of thirty-five percent (35%) of the front yard shall be permanently maintained as landscaped area. (Ord. 1680 § 3, 11-14-95; Zoning Ord. § 6-7).

SEE A2 FOR FRONT LANDSCAPING AREA CALCULATIONS

SCOPE OF WORK

1032 SQ.FT. FIRST AND SECOND STORY ADDITIONS: 756 SQ.FT. SECOND STORY ADDITION TO PROVIDE THREE NEW BEDROOMS AND TWO NEW BATHROOMS. TO ADD A STAIR. 276 SQ.FT. FIRST FLOOR ADDITION TO ENLARGE KITCHEN AND LIVING ROOM.

FLOOR AREA	EXISTING	PROPOSED
LIVING (CONDITIONED) AREA	ONE FLOOR: 1 352.00	1ST FL: 1 628.00 2ND FL: 756.00 TOTAL: 2 384.00
2-CAR GARAGE	426.00	426.00
2 ND DWELLING UNIT	N/A	N/A
ACCESSORY STRUCTURE	SHED 120.00	SHED 120.00
TOTAL WITHOUT GARAGE	1 352.00	2 384.00
TOTAL WITH GARAGE	1 778.00	2 810.00

PLANS SHALL BE IN COMPLIANCE WITH:

CALIFORNIA BUILDING CODE, 2019 EDITION

CALIFORNIA RESIDENTIAL CODE, 2019 EDITION

CALIFORNIA PLUMBING CODE, 2019 EDITION

CALIFORNIA MECHANICAL CODE, 2019 EDITION

CALIFORNIA ELECTRICAL CODE, 2019 EDITION

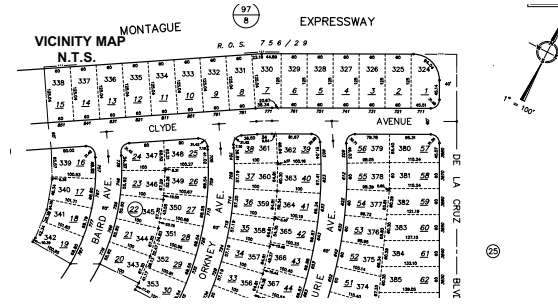
2019 CALIFORNIA REFERENCED STANDARDS CODE

2019 CALIFORNIA ENERGY CODE

2019 GREEN BUILDING CODE

2019 FIRE CODE

DRAWING INDEX	
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A4	PROPOSED PLAN
A5	PROPOSED ELEVATIONS
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A7	SECTIONS
A8	ELECTRICAL PLAN
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EN1	TITLE 24
CG1	CAL GREEN CHECKLIST
S1.0	GENERAL NOTES
S1.1	SWS + DETAILS
S1.2	HOLDOWN DETAILS
S1.3	TYPICAL DETAILS
S2.0	FOUNDATION & FIRST FRAMING PLAN
S2.1	SHEAR-WALL PLAN
S2.2	FDN & FRAMING DETAILS
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S3.1	ROOF & CLNG FRAMING DETAILS



NOTES:
 CONTRACTOR OR OWNER/ BUILDER IS RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, DIMENSIONS AND ROOF SLOPES IN FIELD.
 EXISTING LANDSCAPING TO BE PROTECTED DURING CONSTRUCTION AND TO BE RETAINED AFTER CONSTRUCTION.
 FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MIN. OF 5% FOR A MIN. DISTANCE OF 10 FEET (CGC 1804.3).
 ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT A POINT OF DISCHARGE, OR THE INLET OF AN APPROVED DRAINAGE DEVICE, A MIN. 12 INCHES PLUS 2%.

- NOTE 1: 2019 CALIFORNIA CODE OF REGULATIONS AS AMENDED BY STATE OF CALIFORNIA AND ALL APPLICABLE CITY OF SANTA CLARA ORDINANCES WILL BE EMPLOYED DURING THIS PROJECT.
- NOTE 2: CONTRACTOR / PROPERTY OWNER SHALL POST HOURS OF OPERATION AND PHONE NUMBERS FOR NOISE COMPLAINTS.
- NOTE 3: NO DEBRIS BOXES OR BUILDING MATERIALS SHALL BE STORED ON THE STREET.
- NOTE 5: THERE WILL BE NO NEW LANDSCAPED AREAS AS THE PART OF THIS PROJECT.
- NOTE 6: PROVIDE TREE PROTECTION DURING CONSTRUCTION. THERE WILL BE NO TREES REMOVED.
- NOTE 7: VERIFY LOCATION OF UNDERGROUND UTILITIES AND NOTIFY UTILITY COMPANY PRIOR TO DIGGING.
- NOTE 8: IMPLEMENT REQUIRED MEASURES TO MINIMIZE STORM WATER RUN OFF FROM THE SITE AND PREVENT STORM WATER CONTAMINATION DURING CONSTRUCTION. PROVIDE DRY WELLS UNDER EA. DOWNSPOUT DISCHARGE.
- NOTE 9: PLUMB INTERIOR FLOOR DRAINS TO SANITARY SEWER
- NOTE 10: PLUMB INTERIOR GARAGE FLOOR DRAINS TO SANITARY SEWER
- NOTE 11: MARK ON-SITE INLETS WITH THE WORDS "NO DUMPING FLOWS TO BAY"
- NOTE 12: PROVIDE ROOFED AND ENCLOSED AREA FOR DUMPSTERS, RECYCLING CONTAINERS, ETC TO PREVENT STORMWATER RUN ON AND RUNOFF.
- NOTE 13: COVER STORED OUTDOOR EQUIPMENT/ MATERIALS TO AVOID POLLUTANT CONTACT WITH STORMWATER RUNOFF.
- NOTE 14: ROOF DRAINS SHALL DRAIN TO UNPAVED AREA WHEN PRACTICABLE. DRAIN BOILER DRAIN LINES, ROOF TOP EQUIPMENT, ALL WASHWATER TO SANITARY SEWER.
- NOTE 15: DIRECT ROOF RUNOFF ONTO VEGETABLE AREA
- NOTE 16: DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS AND/ OR PATIOS ONTO VEGETABLE AREA
- NOTE 17: PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CALGREEN SEC 301.1. FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET CURRENT FLOW RATES NEED TO BE UPGRADED. WATER CLOSETS WITH FLOW RATE EXCESS OF 1.6 GPM WILL NEED TO BE REPLACED WITH A MAX. FLOW RATE OF 1.28 GPM. SHOWER HEADS WITH FLOW GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAX. 2.0 GPM @ 80 psi. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH 1.2 GPM @ 60 psi MAX. (or 1.8 GMP @ 60 psi FOR KITCHEN FAUCETS).
- NOTE 18: PROVIDE A COPY OF THE OPERATION AND MAINTENANCE MANUAL AT THE TIME OF FINAL INSPECTION PER CGBC 4.401.1 THE MANUAL SHALL INCLUDE ALL APPLICABLE ITEMS 1-10.
- NOTE 19: ALL EXTERIOR LANDINGS ARE LOCATED MAX. 7.75' - IN BELOW THE DOORS THRESHOLD.

1. Wastewater generated from the installation, cleaning, treating, and washing of the surface of copper features, including copper roof, shall be discharged to the sanitary sewers or landscaping or collect/haul off-site.
2. All landscaping shall be maintained and shall be designed with efficient irrigation systems to reduce runoff, promote surface filtration, and minimize the use of fertilizers, herbicides and pesticides.
3. Broken existing sidewalks and curbs shall be repaired as directed by City engineer in the field.
4. Recycle and/ or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management city ordinance per CGBC 4.408.1

REVISIONS

BY

PROJECT FOR
Venu Thiruvengada
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SANTA CLARA, CA, 95054

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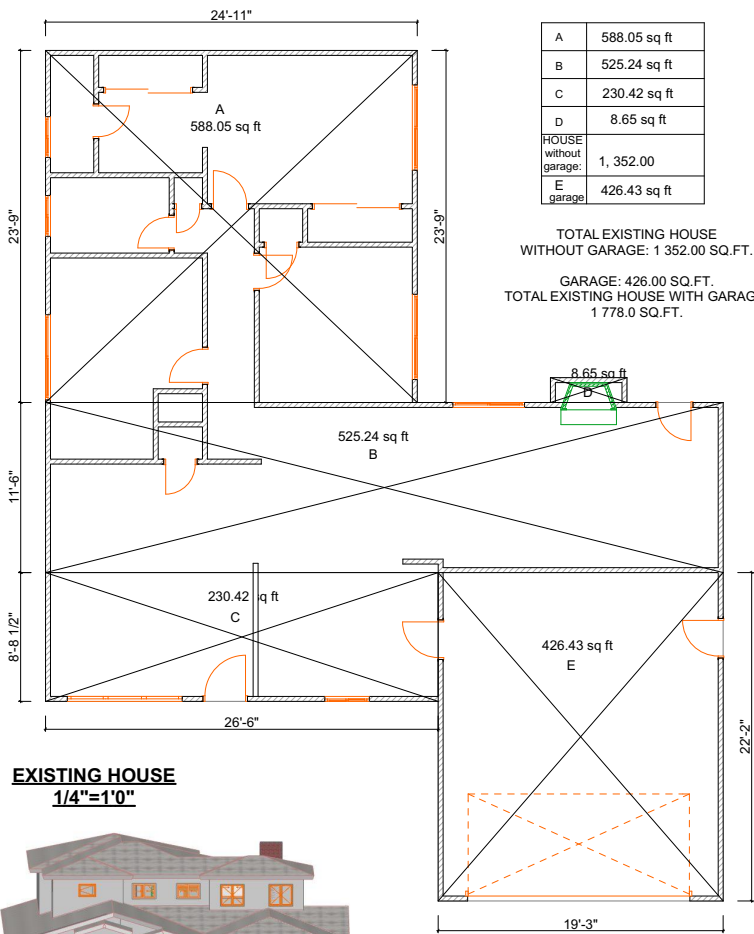
PROJECT NO.

DATE

A1 OF

SHEET NUMBER





EXISTING HOUSE
1/4"=1'0"



FRONT

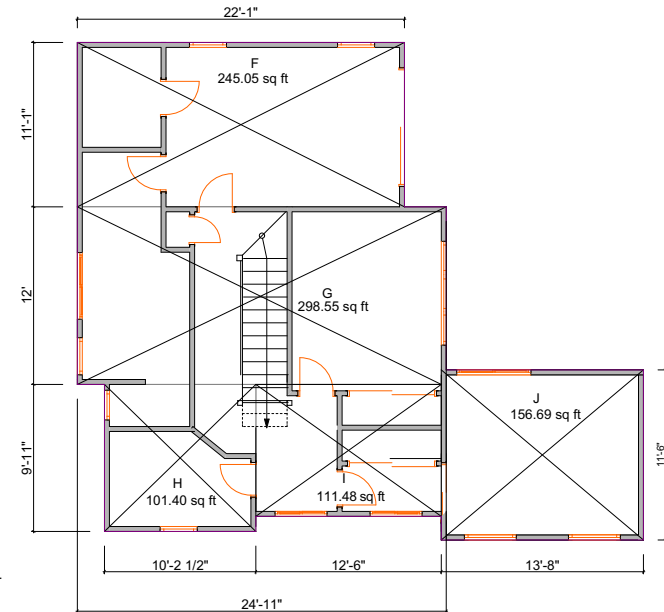
LEFT

3D MODELS

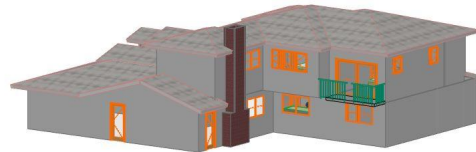
AREA CALCULATIONS
PROPOSED HOUSE FLOOR AREA CALCULATIONS

A	588.05 sq ft
B	525.24 sq ft
C	230.42 sq ft
D	8.65 sq ft
1ST Fl addition → J	152.14 sq ft
1ST Fl addition → K	123.37 sq ft
1ST Fl without garage	1,627.87
E garage	426.43 sq ft
F	245.05 sq ft
G	298.55 sq ft
H	101.40 sq ft
I	111.48 sq ft
2ND FL	756.48 sq ft.

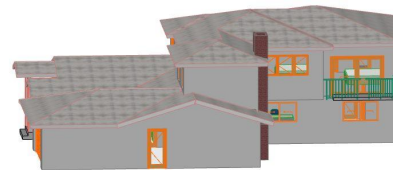
TOTAL EXISTING HOUSE WITHOUT GARAGE: 1,352.00 SQ.FT.
 GARAGE: 426.00 SQ.FT.
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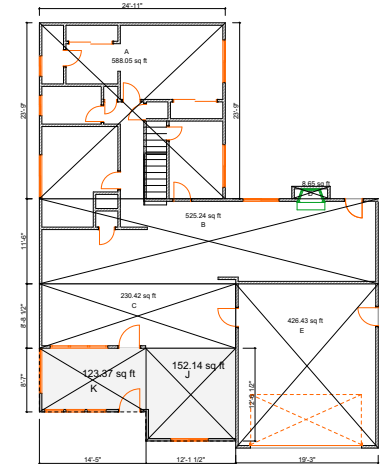
PROPOSED SECOND FLOOR AREA
1/4"=1'0"



REAR



RIGHT



PROPOSED FIRST FLOOR AREA
1/8"=1'0"
276 SQ.FT. ADDED THE FIRST FLOOR

REVISIONS

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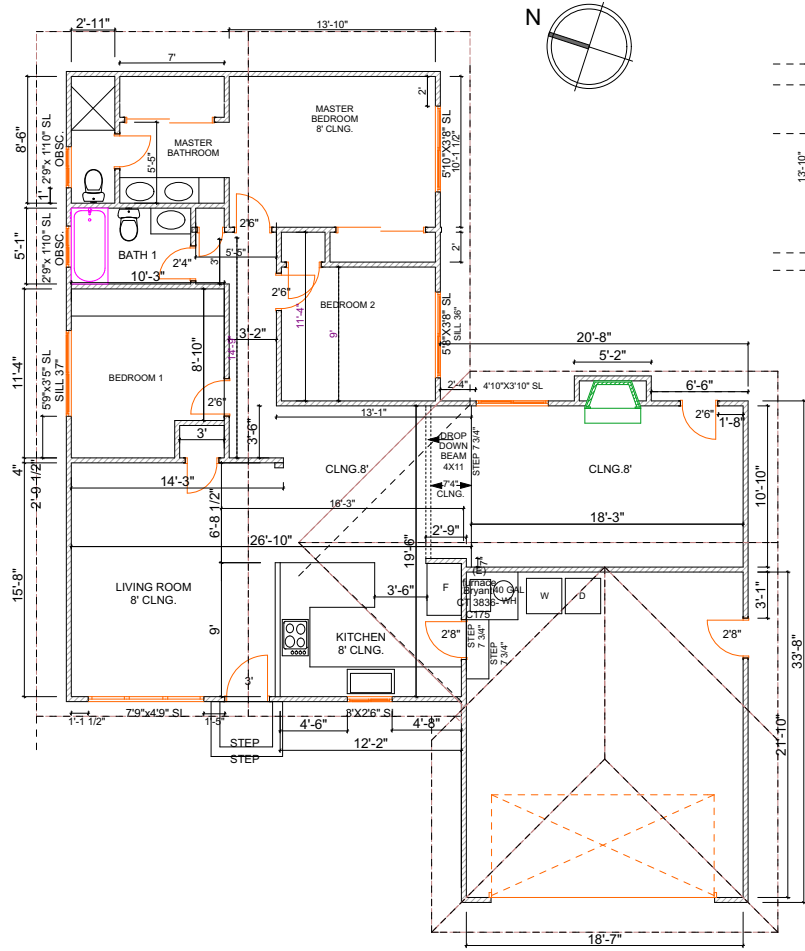
PROJECT FOR
Venu Thiruvengada
756 BAIRD AVE.
SANTA CLARA, CA, 95054

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 n.amatuni@gmail.com
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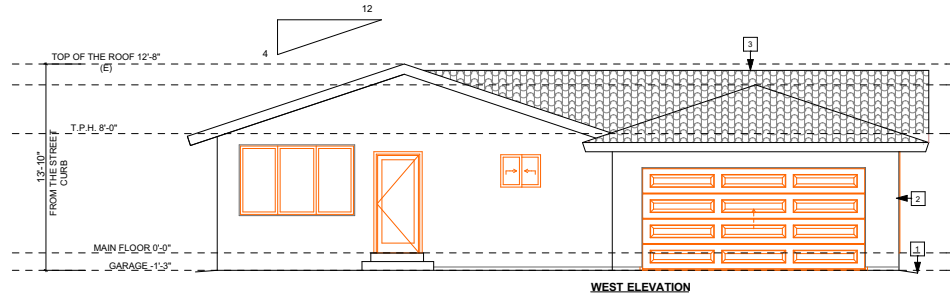


EXISTING PLANS
1/4"=1'0"

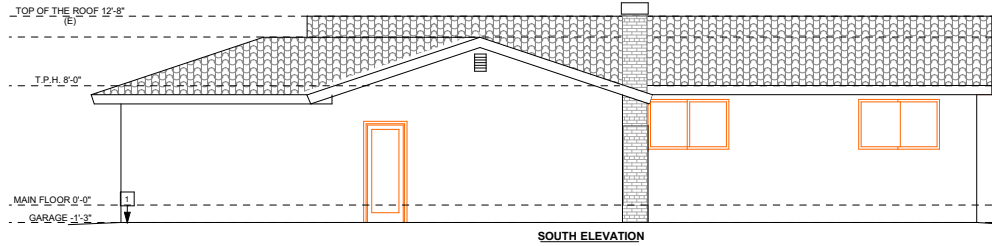


ELEVATION NOTES:

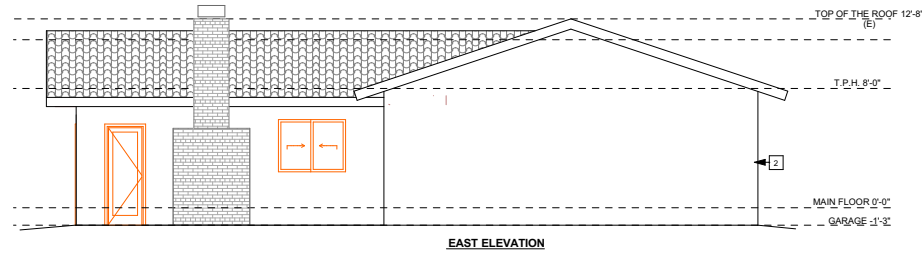
- 1 NATURAL GRADE (APPROX.)
- 2 EXISTING WALL FINISH: STUCCO
- 3 EXISTING ROOF FINISH: TILE
COLOR: GREY



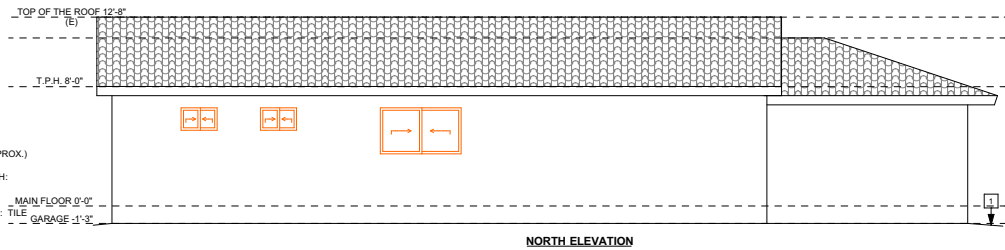
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

EXISTING ELEVATIONS
1/4"=1'0"

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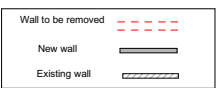
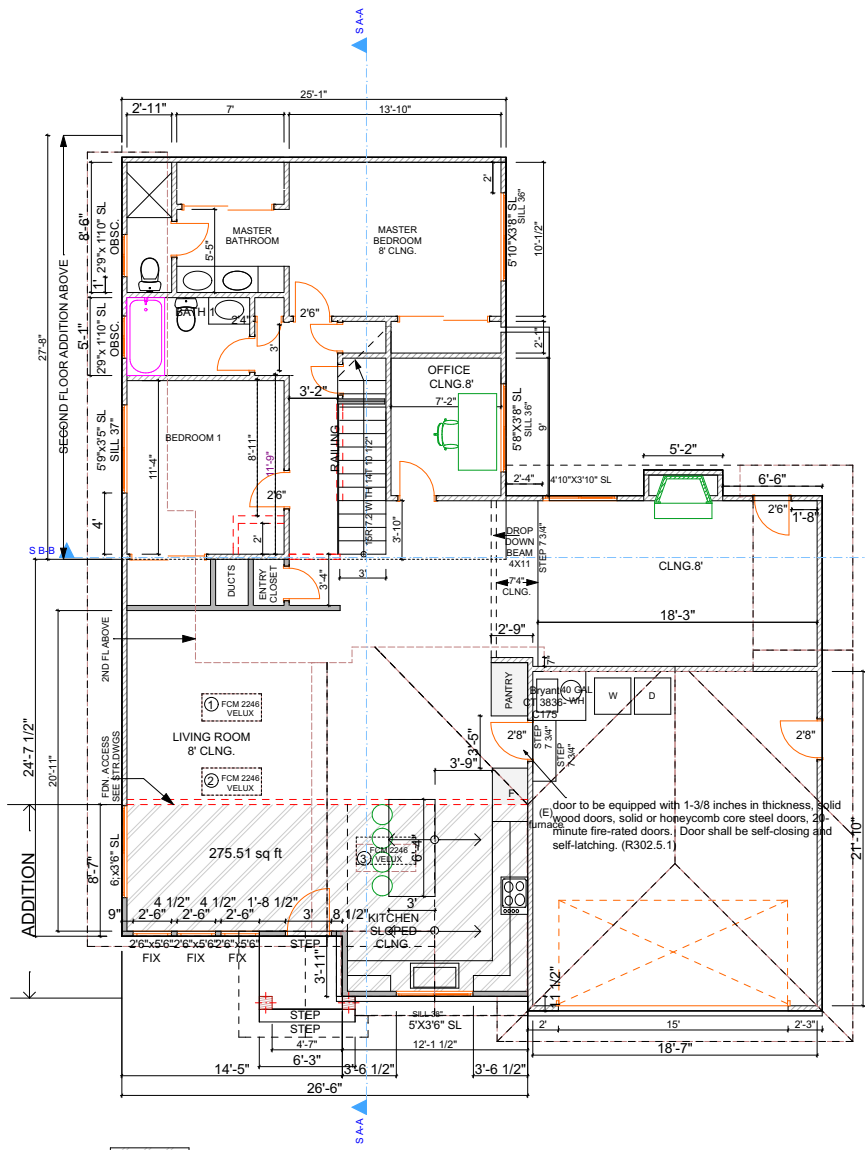
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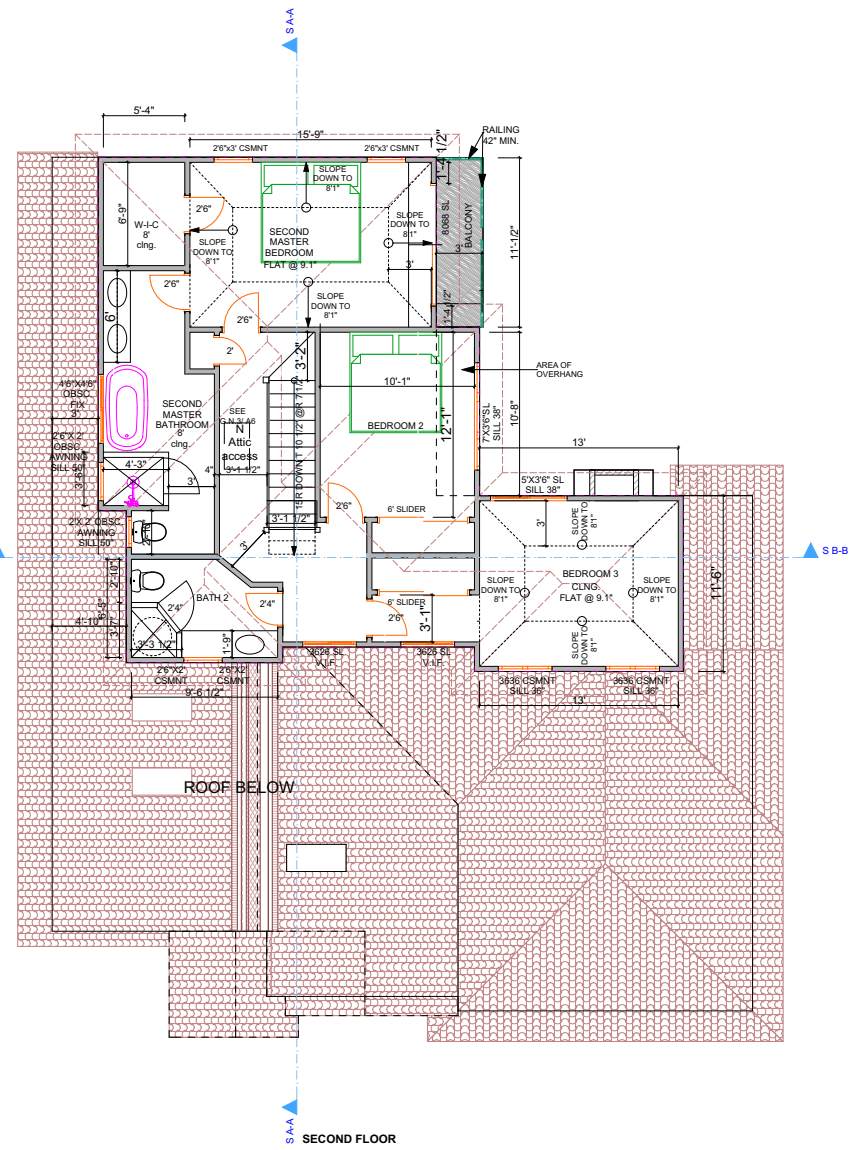
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A4 OF

SHEET NUMBER



FIRST FLOOR
PROPOSED PLAN
 1/4"=1'0"



CRAWL SPACE ACCESS NOTE:
 ACCESS OPENING THROUGH FLOOR SHALL BE MIN. 18"X24" (2016R. 408.4)
 OPENING THROUGH PERIMETER WALL SHALL BE 16"X24" MIN. (2016R. 408.4)

COLOR SCHEME:

WALL COLOR: LIGHT GREY
 SHERWIN WILLIAMS SW 9138 STARDEW OR SIMILAR
 DECK: TIMBERTECH, COLOR: COASTLINE (WARM GREY) OR SIMILAR

Fascia Board, windows stucco trim, decorative walls stucco trim :White

**Windows- White vinyl
 Roof- Metal tile (grey) to match existing**

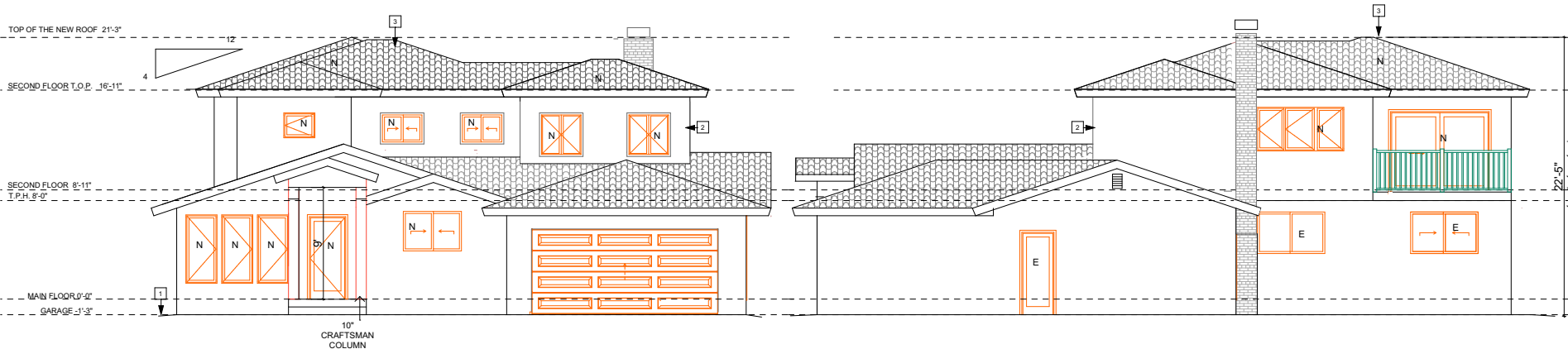
EXTERIOR MATERIALS:

ROOF COLOR: TO MATCH EXISTING METAL TILE
 EXTERIOR WALLS: STUCCO TO MATCH EXISTING
 WINDOWS: VINYL TO MATCH EXISTING COLOR WHITE
 EAVES: TO MATCH EXISTING
 GUTTERS: PAINTED SHEET METAL TO MATCH EXISTING
 BALCONY DECK: TIMBERTECH OR SIMILAR

TYP. NEW WALL
 7/8" STUCCO (3 COATS) O 2 LAYERS
 GRADE 1" BUILDING PAPER O 1/2" CDX PLYWD. O 2X4 @ 16" O.C. STUDS
 WIR-15 INSUL. O 5/8" GYPSUM BOARD.

TYP. ROOF AT FLAT CEILINGS
 CLAY TILE (CLASS "B" FIRE RATING) O 30 LB. BUILDING PAPER O 1/2" CDX PLYWOOD O 2X8 RAFTERS D.F.N.O.2 O/ VENTILATED ATTIC O 2X6 CEILING JOISTS W/ R-38 INSULATION & 1" MINIMUM VENTED AIR SPACE O 1 PERM MINIMUM VAPOR BARRIER O 5/8" GYPSUM BOARD CEILING.

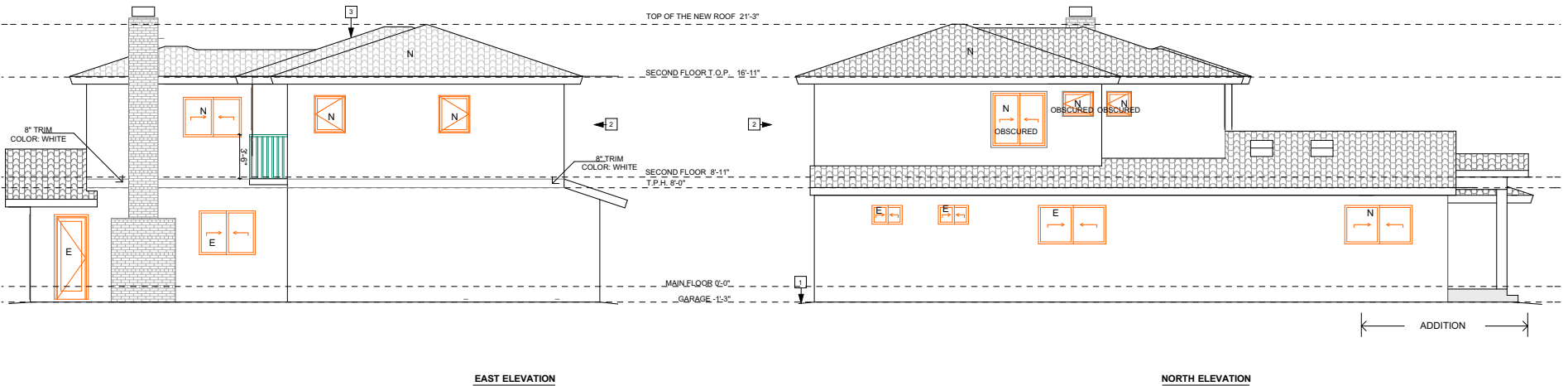
TYP. ROOF AT SLOPED CEILINGS
 CLAY TILE (CLASS "B" FIRE RATING) O 30 LB. BUILDING PAPER O 1/2" CDX PLYWOOD O 2X8 D.F.N.O.2 RAFTERS W/ R-38 INSULATION & 1" MINIMUM VENTED AIR SPACE O 1 PERM MINIMUM VAPOR BARRIER O 5/8" GYPSUM BOARD CEILING.



- 1 NATURAL GRADE (APPROX)
- 2 PROPOSED WALL FINISH STUCCO
- 3 PROPOSED HOUSE ROOF- METAL TILE TO MATCH EXISTING MIN. CLASS "B" FIRE RATED

WEST ELEVATION

SOUTH ELEVATION



EAST ELEVATION

NORTH ELEVATION

**PROPOSED ELEVATIONS
 1/4"=1'-0"**

REVISIONS

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GENERAL NOTES

GENERAL NOTES
 GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL NOTIFY OWNER OR DESIGNER OF ANY DISCREPANCIES OR OMISSIONS FOUND IN THE DRAWINGS AND SPECIFICATIONS OR DISCREPANCIES BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DOCUMENTS AND EXISTING CONDITIONS PRIOR TO PROCEEDING WITH AFFECTED WORK.

VENTILATION
 1. BATHROOMS AND LAUNDRY ROOMS WITHOUT NATURAL VENTILATION SHALL BE MECHANICALLY VENTILATED (5 AIR CHANGES PER HOUR). THE POINT OF DISCHARGE MUST BE MIN. 3' ABOVE ANY BUILDING OPENINGS WITHIN 10'.

ACCESS
 2. PROVIDE UNOBSTRUCTED 18" MIN. BY 24" MIN. ACCESS TO ALL UNDERFLOOR SPACES WHERE JOISTS OR SUBFLOOR IS UNTREATED. CRC R408.4
 NET FREE AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1/10 OF THE UNDER FLOOR AREA. SEE CRC R408 FOR EXCEPTIONS.
 ACCESS OPENING THROUGH FLOOR SHALL BE MIN. 18"x24" (2016 R 408.4)
 OPENING THROUGH PERIMETER WALL SHALL BE MIN. 18"x24" (2016 R 408.4)
 3. PROVIDE 22" MIN. BY 30" MIN. ACCESS TO ALL ATTIC SPACES WITH 30" CLEAR HEIGHT OR MORE. CRC R807.

LANDING
 4. LANDING OR FLOOR IS REQUIRED AT EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF THE LANDING SHALL NOT BE LESS THAN THE DOOR WIDTH AND 30" MINIMUM IN DEPTH. LANDINGS AT REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1/12" LOWER THAN THE TOP OF THE THRESHOLD.
 EXCEPTION: A DOOR MAY OPEN AT A LANDING THAT IS NOT MORE THAN 7 3/4" LOWER THAN THE FLOOR LEVEL IF THE DOOR DOES NOT SWING INTO THE LANDING. CRC R311.3.1 & R311.3.2

FIRE PROTECTION
 5. ALL GARAGE CEILINGS, AND WALLS COMMON WITH LIVING AREA, OR SUPPORTING LIVING AREA ABOVE, TO BE 1 HOUR CONSTRUCTION.
 6. USABLE SPACE UNDER STAIR TO BE 1 HOUR CONSTRUCTION 5/8" TYPE "X" GYPSUM BOARD MINIMUM AT ALL WALLS AND CEILING.
 7. PROVIDE 6" MIN. CLEARANCE AT THE BACK OF FURNACE AND 12" TOTAL CLEARANCE ON SIDES OF FURNACE.

STUCCO
 STUCCO AT ALL HORIZONTAL SURFACES AND THE FIRST 12" VERTICAL PORTIONS AROUND CORNERS AND EDGES SHALL BE MIXED WITH "ACRYLE-60".
 A MINIMUM 0.0160(SGA) CORROSION-RESISTANT WEEP SCREEN WITH MINIMUM VERTICAL ATTACHMENT FLANGE OF 3" SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS WITH STUCCO. THE SCREEN SHALL BE PLACED AT MINIMUM OF 6" ABOVE THE GROUND OR 2" ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. SEC 2506.

APPLICATION OF STUCCO: STUCCO SHALL BE THREE COATS PROCESS AND 7/8" THICK OVER TWO LAYERS OF GRADE 0 WALLPAPER BACKED WITH METAL LATH.

ENERGY
 ALL EXTERIOR DOORS TO BE 1 3/8" SOLID CORE AND WEATHER-STRIPPED.
 DOOR FROM GARAGE TO HOUSE TO BE 1 3/8" SOLID CORE, WEATHER STRIPPED AND WITH SELF-CLOSING DEVICE.
 ADD A BEAD OF CAULKING AROUND THE INTERIOR OF THE SOLE PLATE AT ALL EXTERIOR WALLS. THE BEAD SHALL BE APPLIED AT THE JOINT OF SUBFLOOR AND SOLE PLATE JUST PRIOR TO SHEETROCK APPLICATION.

THERMAL AND MOISTURE
 SHOWER AND TUB/ SHOWER WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE (E.G., CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G., CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. NON-ABSORBENT SURFACE TO BE AT LEAST 72" ABOVE THE DRAIN INLET.
 WATER-RESISTANT GYPSUM BOARD SHALL NOT BE USED OVER A VAPOR RETAINER IN SHOWER OR BATHTUB COMPARTMENT.
 CRC SECTION R307.2 AND R702.3.8

WHEN INSULATED SPACE IS SMALLER THAN 12" USE ROGOD INSULATION BOARD TO ALLOW MIT 1" AIRFLOW. WHEN INSULATING CEILINGS PROVIDE MIN. 1" SPACE FOR AIRFLOW.

PROVIDE CROSS VENTILATION AT ALL ROOFS.
 CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FRAMING BEFORE ENCLOSURE (4.505.3)

EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND FAN MUST BE CONTROLLED BY HUMIDITY CONTROL (4.506.1)

MECHANICAL
 PROVIDE 6" CLEARANCE ON COMBUSTION AIR SIDE OF FURNACE ROOM AND 30" WORKING SPACE IN FRONT OF ALL HEATING CONTROLS PER C.M.C.

PROVIDE MIN. REQUIRED DISTANCE OF TERMINATION OF VENTS, AND FLUES PER C.M.C. AND C.P.C. LATEST EDITION.

IN A CASE OF MEMBRANE PENETRATION BY DUCT OR PIPE, PROVIDE 28 GA FOR MIN. 2" OF THE PENETRATION SECTION. PIPE SHALL BE METAL AT THE PENETRATION. ALL PENETRATION AREA SHALL BE CAULKED AND SEALED.

THE DRYER DUCT RUN AND TERMINATION POINT OF THE DRYER EXHAUST SHALL EXTEND TO THE OUTSIDE.

TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING (I.E., DRYERS, BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, ATTIC VENTS, OPENING SKYLIGHTS).

PER EPA REQUIREMENTS AND AS ENFORCED BY CONTRACTOR'S STATE LICENSE BOARD ANY CONTRACTOR WORKING IN A HOME THAT WAS BUILT PRIOR TO 1978 MUST BE CERTIFIED IN LEAD-SAFE WORK PRACTICES.

DUCT PENETRATING THE WALL OR CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 20 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENING INTO THE GARAGE.
 CRC R302.5.2

PLUMBING
 PROVIDE ANTI-SCALD SHOWER VALVES AT ALL NEW SHOWERS AND TUB/ SHOWERS.

SHOWER AND TUB/ SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.

THE WATER HEATER SHALL BE SEISMIC STRAPPED OR ANCHORED IN ACCORDANCE WITH CPC 507.2
 THE WATER HEATER SHALL BE LOCATED ON AN 18" PLATFORM, ABOVE THE FLOOR, UNLESS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT PER CPC 507.13

ELECTRICAL
 BATHROOMS AND LAUNDRY RECEPTILES REQUIRE SEPARATE 20 AMP. CIRCUIT. THE CIRCUITS SHALL HAVE NO OTHER ELECTRICAL OUTLETS.

KITCHENS AND BATHROOMS ARE TO HAVE THEIR TITLE 24 FLUORESCENT FIXTURES OPERATED BY FIRST SWITCH AT ALL ENTRANCES TO THE ROOMS. GENERAL LIGHTING FIXTURES ARE TO BE LOCATED SO AS TO ILLUMINATE FLOOR AND COUNTERS.

All bathrooms exhaust fans to be minimum 50 cfm intermittent airflow or provide 20 cfm for the continuously operating Bathroom exhaust fans.

FINISH NOTES:

1. USE HARDWOOD FLOOR IN THE KITCHEN & LIVING ROOM.
 TILE FLOOR IN THE BATHROOMS.
 2. ANY TRIM SPANNING A CORNER OR TWO ADJUSENT SURFACES SHOULD BE FASTENED ON ONE SIDE ONLY.

3. MAKE ADJUSTMENTS FOR VARYING FRAMING MEMBERS MOISTURE CONTENT TO ENSURE LEVEL BASE FOR DRY WALL AND OTHER FINISHES.

4. PROVIDE NON-SLIP FLOORING IN ALL AREAS, AND SLIP- RESISTANT WHEN WET IN BATHROOMS, ENTRY HALL AND KITCHEN.
BATHROOM FINISH:
 a) BATHROOMS SHALL BE FINISHED WITH NONABSORBENT SURFACES EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
 b) WATER-RESISTANT GYPSUM BACKING SHALL NOT BE USED WHERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT CONTINUOUS HIGH HUMIDITY. CRC R702.3.8.1

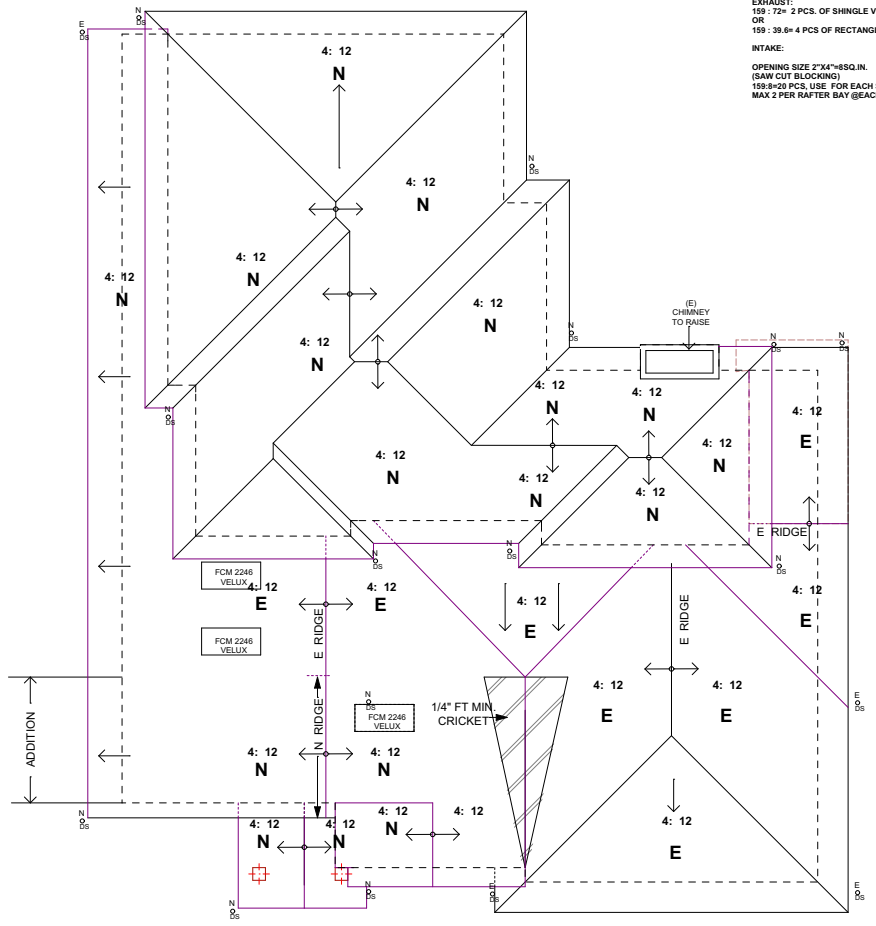
5. THRESHOLDS AND FLOORING TRANSITION STRIPS TO MEET CBC CHAPTER 11A, EXCEPT EXTERIOR DOORS FLOOR LEVEL SHALL CHANGE MIN. 1/12".

6. DO NOT BUTT DISSIMILAR MATERIALS TIGHTLY, LEAVE REASONABLE CLEARANCES @ JOINTS, TO ALLOW EXPANSION AND CONTRACTION, AND FOR DIFFERENT SETTLEMENT.

REQUIRED VENTILATION
 339 SQ.FT. OF NEW VENTED AREA
 (330x144)+108x31" SQ.IN.
 (PER R 806.2 OF 2016 CALIFORNIA RESIDENTIAL CODE
 REQUIRED OPENINGS AREA 1/10 OF VENTILATED AREA IF APPROVED VAPOR BARRIER PROVIDED).
 REQUIRED OPENINGS ON TWO SIDES
 (LOW VENTS INTAKE AND RIDGE VENTS- HIGH VENTS- EXHAUST)
 317x2x18" SQ.IN. OF INTAKE NET FREE AREA & 159 SQ.IN. OF EXHAUST NET FREE AREA.

EXHAUST:
 159 = 72x 2 PCS. OF SHINGLE VENT (4' LENGTH)
 OR
 159 = 39.6x 4 PCS OF RECTANGLE GABLE LOUVERS 12"x12"

INTAKE:
 OPENING SIZE 2"x4"x8SQ.IN.
 (SAW CUT BLOCKING)
 159x20 PCS. USE FOR EACH SIDE OF THE ROOF.
 MAX 2 PER RAFTER BAY @EACH BAY.



LEGEND:
 □ DOWNSPOUT

EXISTING ROOF:
 METAL TILE
NEW ROOF:
 METAL TILE TO MATCH EXISTING, MIN. CLASS" B" FIRE RATED.

NOTE 1:
 HOUSE NEW ROOF TO SLOPE 4:12 TO MATCH EXISTING

NOTE 1:
 ROOF GUTTERS SHALL BE PROVIDED WITH GUTTER SCREENS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.

ROOF PLAN
 1/4"=1'0"

REVISIONS

BY

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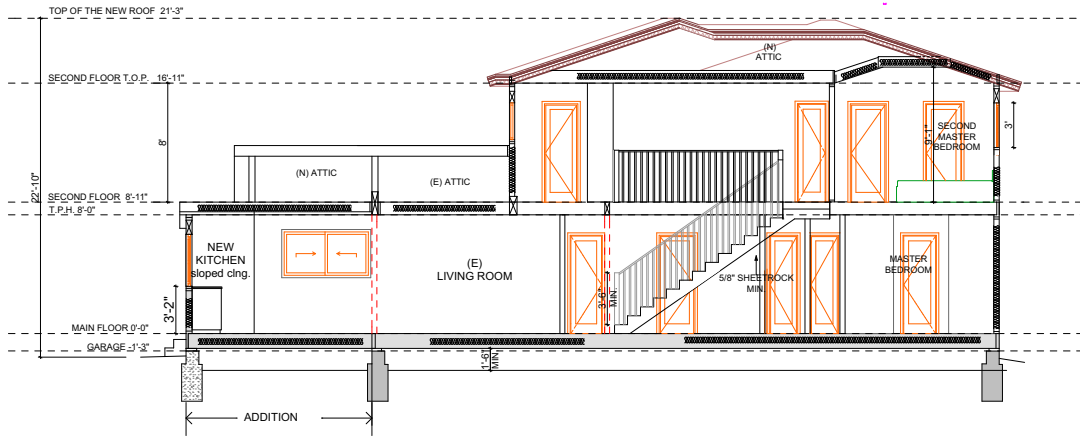
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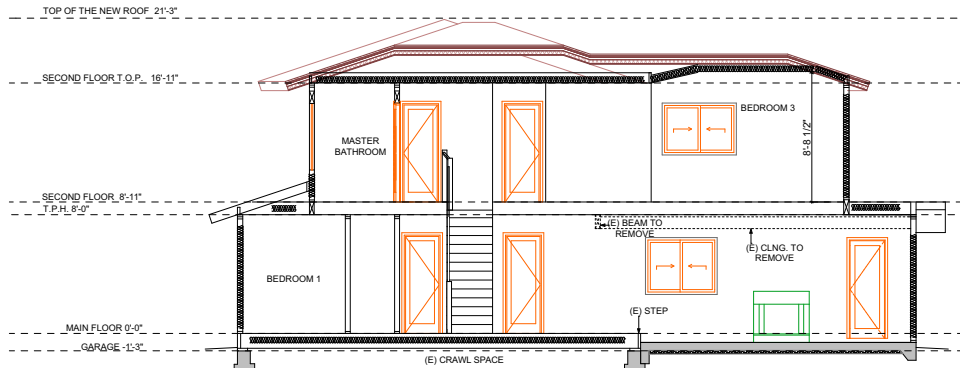
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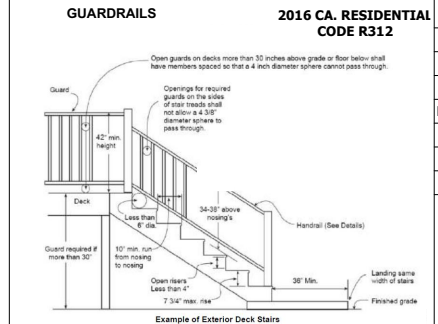
SHEET NUMBER



SA-A



SB-B



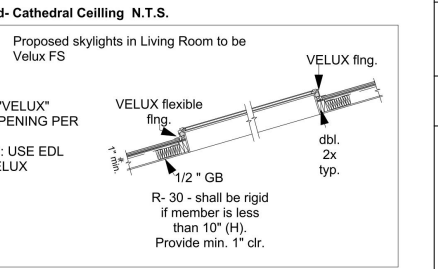
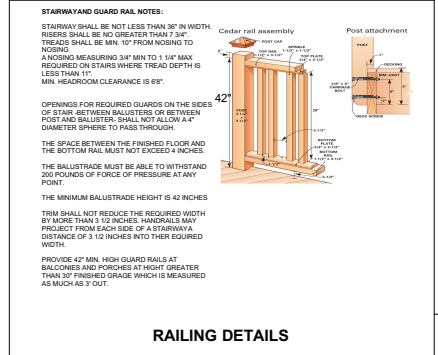
R312.1 Guards. Guards shall be provided in accordance with Sections R312.1.1 through R312.1.4.

R312.1.1 Where required. Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 26 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.

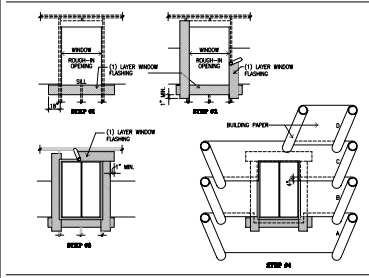
R312.1.2 Height. Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall not be less than 42 inches (1067 mm) in height as measured vertically above the adjacent walking surface or the line connecting the leading edges of the treads.

Exceptions:

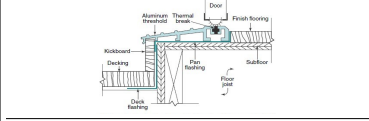
- Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.
- Where the top of the guard serves as a handrail on the open sides of stairs, the top of the guard shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm) as measured vertically from a line connecting the leading edges of the treads.



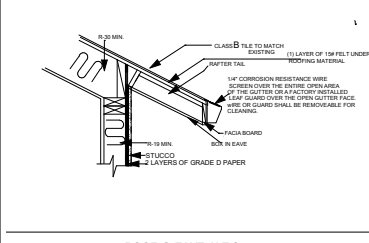
- Proposed skylights in Living Room to be Velux FS
- MADE BY "VELUX"
 - ROUGH OPENING PER SCHEDULE
 - FLASHING: USE EDL FLNG. OF VELUX
- 1 R- 15 MIN. THERMAL INSULATION TO BE PROVIDED AT NEW WALLS
- 2 R- 30 MIN. THERMAL INSULATION TO BE PROVIDED AT ADDITION NEW FLOOR.
- 3 R- 38 MIN. THERMAL INSULATION AT CEILING. PROVIDE:
1. MIN. 1" CLEARANCE BETWEEN INSULATION AND ROOF SHEATING.
2. CONT. AIR FLOW BETWEEN ALL ATTICS AND VAULTED CEILING.
- 1/2" GB
R- 30 - shall be rigid if member is less than 10" (H). Provide min. 1" clr.



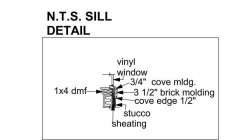
WINDOW FLASHING N.T.S.



PAN FLASHING N.T.S.



ROOF @ EAVE N.T.S.



N.T.S. SILL DETAIL

SECTIONS 1/4"=1'0"

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