

- 4.1 Land Uses
- 4.2 Inclusionary Housing Requirements
- 4.3 Standards & Guidelines by Character Area
- 4.4 Standards and Guidelines for All Areas

DEVELOPMENT AND DESIGN STANDARDS 4

DEVELOPMENT AND DESIGN STANDARDS

This chapter provides standards and guidelines to achieve the future vision for El Camino Real. These standards and guidelines apply to all new development in the El Camino Real Specific Plan Area, as well as public improvements and extensive renovations to existing structures. It complements other citywide guidance such as the municipal Zoning Ordinance – which provides more detailed regulations for a variety of topics such as signage, parking, and allowed uses. There is also a wide range of existing and proposed state laws that impact local planning and development in a variety of ways, and which may apply to future development in the El Camino Real Specific Plan Area. For example, there are existing state provisions that grant additional development rights for projects with high levels of affordable housing. These existing state provisions will continue to apply to the Plan Area. The intent of the Specific Plan’s standards and guidelines is to supplement these existing state and citywide provisions with more specific guidance for how to achieve the unique vision for the corridor.

The chapter is divided into the following sections:

- The Land Uses section includes a list of permitted and conditional land uses.
- The Inclusionary Housing Requirements section includes affordable housing requirements specific to the Plan Area.
- The Standards and Guidelines by Character Area section provides specific standards and guidelines for each of the character areas. This includes standards for height, intensity, and setbacks by character area/land use designation.
- The last section provides guidelines and standards that apply to all areas along the corridor. This includes guidance for neighborhood transitions, building form, access, frontage character, parking, landscaping, and other design elements.

Density

Density is a number of units in a given land area (project area, subdivision, parcel). In mixed use projects, density is the number of housing units divided by the land area of the mixed use development (that includes area used for non-residential uses such retail space). This Plan regulates density based on number of residential units per *net* lot area, which excludes public streets and dedicated public parkland. The lot area that contains publicly-accessible private open space, private streets and pathways, and required easements will be counted toward lot area for the purposes of calculating residential density and commercial floor area ratio.

4.1 Land Uses

The following land uses, as defined in the Zoning Ordinance, are allowed in the Specific Plan Area. The requirements under “Required Ground Floor Commercial Areas” apply to required ground floor commercial spaces in locations identified in the Ground Floor Commercial Overlay section. Specific projects may further limit the range of uses allowed on a site. If a land use is not listed in Table 4-1, the use is not allowed.

- P - Allowed by Right
- MUP - Minor Use Permit
- CUP - Conditional Use Permit
- TUP - Temporary Use Permit
- Blank - Not allowed

Table 4-1. Allowed Land Uses

Allowed Uses and Permit Requirements	Designations			
Land Use <small>(see Article 8 of the Zoning Ordinance for land use definitions)</small>	CR	CMU	RCMU	Additional Regulations and Exceptions
Residential Uses				
Caretaker Housing	-	-	-	
Dwelling, Multifamily	P	P	P	
Employee Housing	-	-	-	
Home Occupations	P	P	P	
Live-Work Facilities	P ²	P ^{1,2}	P ^{1,2}	¹ Permitted except along the El Camino Real street frontage in the RCMU designation or the Ground Floor Commercial Overlay. ² Live/work facilities shall not count towards commercial FAR requirements but shall count towards residential density.

Table 4-1. Allowed Land Uses (continued)

Allowed Uses and Permit Requirements	Designations			Additional Regulations and Exceptions
	CR	CMU	RCMU	
Land Use (see the Zoning Ordinance for land use definitions)				
Human Services Uses				
Child Day Care Facilities	P	P	P	
Community Care Facilities, Small	P	P	-	
Community Care Facilities, Large	CUP	CUP	-	
Day Care Homes	P	P	P	
Supportive Housing	P	P	P	
Low Barrier Navigation Centers	P	P	P	
Recreation, Education, and Public Assembly Uses				
Community Gardens	MUP	MUP	MUP	
Commercial Recreation Facilities, Indoor	P	P	P	
Fitness Facilities	P	P	P	
Libraries	P	P	-	
Museums	P	P	P	
Parks and Public Plazas	P	P	P	
Places of Assembly	-	CUP	CUP	
Public Schools	P	P	P	
Private Schools	CUP	CUP	CUP	
Public/Private Colleges and Universities	P	P	P	
Theaters and Auditoriums	P	P	P	
Vocational/Trade Schools	P	P	P	

Table 4-1. Allowed Land Uses (continued)

Allowed Uses and Permit Requirements	Designations			Additional Regulations and Exceptions
	CR	CMU	RCMU	
Land Use (see the Zoning Ordinance for land use definitions)				
Utility, Transportation, and Communication Uses				
Park and Ride Facilities	P	P	P	
Parking Structures	MUP	MUP	MUP	
Public Safety Facilities	P	P	P	
Wireless Telecommunications Facilities, Microcell	P	P	P	
Wireless Telecommunication Facilities, Minor (less than 70 feet)	MUP	MUP	MUP	
Wireless Telecommunication Facilities, Major (70 feet or higher)	-	CUP	CUP	
Transit Stations and Terminals	P	P	P	
Utility Facilities and Infrastructure	CUP ²	CUP ²	CUP ²	² CUP required for private utility facilities and infrastructure. Public utilities and infrastructure are permitted uses.
Retail, Service, and Office Uses				
Alcoholic Beverage Sales and Service	P	P	P	Retail sale of beer, wine, and/or other alcoholic beverages for off-premises consumption at a retail establishment which has 50 percent or more of the shelving or gross floor area devoted to the public display.
Ambulance Services	CUP	CUP	-	
Animal Sales and Grooming Facilities	P	P	P	
Banks and Financial Establishments, General	P	P	P	
Banks and Financial Establishments, Stand-alone ATM	P	P	P	
Bars	CUP	CUP	CUP	
Business Support Centers	P	P	MUP	
Drive-in/Drive-through Establishments	-	-	-	
Hotels and Motels	-	P	P	

Table 4-1. Allowed Land Uses (continued)

Allowed Uses and Permit Requirements	Designations			Additional Regulations and Exceptions
	CR	CMU	RCMU	
Land Use (see the Zoning Ordinance for land use definitions)				
Retail, Service, and Office Uses (continued)				
Kennels	MUP	MUP	-	
Maintenance and Repair Services	P	P	P	
Nightclubs	-	-	CUP	
Offices	P	P	P	
Outdoor Dining and Seating	MUP	MUP	MUP	
Outdoor Displays and Sales	CUP	CUP	CUP	
Personal Services	P	P	P	
Personal Services, Restricted	MUP	MUP	MUP	
Restaurants	P	P	P	
Retail Establishments:				
General, Small Format	P	P	P	
General, Medium Format	P	MUP	P	
General, Large Format	-	-	CUP	
Veterinary Facilities	P	P	P	
Vehicle Oriented Uses				
Vehicle Rental Facilities, Limited	-	-	-	
Vehicle Rental Facilities, Office Only	-	-	-	
Vehicle Repair Facilities, Minor	-	-	-	
Vehicle Service Stations	-	CUP	CUP	
Industrial, Manufacturing, and Processing Uses				
Printing and Publishing Facilities	P	P	P	
Wineries, Distilleries, Breweries, and Micro-Breweries	MUP	MUP	MUP	
Personal Storage Facilities	-	-	-	

4.2 Inclusionary Housing Requirements

Housing is envisioned to play an increasingly important role in the El Camino Real Specific Plan Area, leveraging the transit-oriented location and existing retail amenities while meeting a critical local and regional need for increased housing supply. The intention of the Specific Plan is to promote a range of housing options and affordability levels to realize the vision for a mixed-use, mixed-income community along the corridor. In 2018, the City adopted an Affordable Housing Ordinance and Impact Fees that include a combination of inclusionary requirements for residential projects and impact fees for smaller projects and nonresidential projects to provide a steady stream of affordable housing units and income to fund the provision of affordable housing projects citywide. To promote affordable housing at deeper levels of affordability along El Camino Real, this Plan goes above and beyond what is required under the City's Affordable Housing Ordinance by including the following inclusionary housing requirement.

1. **Inclusionary policy for affordable housing.** Except as otherwise provided below, all new residential development in the Plan Area shall provide the required quantity of affordable rental and for-sale housing units and/or fees per the City's Affordable Housing Ordinance and Impact Fees.
2. **Average AMI for Rental Units.** Notwithstanding paragraph 1 above, for affordable rental units, a mix of units affordable for extremely low, very low, low, and moderate income households shall be provided such that the average household income across all affordable units does not exceed 80 percent of Area Median Income (AMI).
3. **In-Lieu Fee for Rental Units.** Notwithstanding paragraph 1 above, in order for residential rental development projects to satisfy the affordable housing requirement through payment of an In Lieu Fee, the City Council shall establish a fee per square foot for the Specific Plan Area to reflect the reduced average AMI of 80 percent.



4.3 Standards and Guidelines by Character Area

Regional Commercial Mixed Use (Activity Centers)

Activity Centers are places with concentrations of retail, services, and new public gathering spaces and are classified as Regional Commercial Mixed Use. They are located at major intersections along the corridor. Development under this designation should have an urban feel and typically be comprised of mid-rise buildings featuring structured or below-grade parking. Regional Commercial Mixed Use standards support ground floor commercial close to the street, pedestrian-oriented frontages, substantial public plazas, and neighborhood transition requirements for upper floors. Regional Commercial Mixed Use Centers should include a range of large, medium, and small-sized retail spaces. Projects developed within this land use designation are required to provide at least 10 percent of their land area as shared publicly-accessible outdoor space, as detailed in Table 4-3, in addition to satisfying parkland dedication requirements pursuant to Santa Clara City Code (SCCC) Chapter 17.35 (see also the *Publicly-Accessible Private Open Space* section at the end of this chapter). All new development under this designation with frontage along El Camino Real must include ground floor commercial uses along El Camino Real. Site frontage along other major streets (arterials or collectors) should provide active uses. A mixed-use development must include at least 0.20 commercial FAR distributed across the development project. Additional standards and exceptions are included in Tables 4-2 through 4-4. Allowed heights are shown in Figure 4-1.

Standards for Regional Commercial Mixed Use

The standards in Tables 4-2, 4-3, and 4-4 apply to all Regional Commercial Mixed Use projects along El Camino Real.



Table 4-2. Regional Commercial Mixed Use Height, Density, & Intensity Standards

Standards	Regional Mixed Use
Height, Density, & Intensity ^{1,2}	
Maximum Stories/Height to Top of Wall	70 ft (6 stories) ^{2,3,4,5}
Minimum Commercial Floor Area Ratio	0.2
Maximum Dwelling Units per Acre	100 du/acre ⁵
Minimum Dwelling Units per Acre	55 du/acre
Minimum Commercial Ground Floor Area	50% of the ground floor along ECR parcel frontage
Transitions Adjacent to Single-Family/Duplex Residential	
Maximum Height Adjacent to Single-Family and Duplex Residential Zoning District	1:1 slope ratio of setback to height starting from property line at grade (see Figure 4-20).
Maximum Height Across the Street from Single-Family and Duplex Residential Zoning District ⁶	At the setback line, the height of the roof plate ⁷ may be no taller than one story above the maximum height allowed in the opposing residential zone. Behind the setback line, building heights may step up away from the street following a 1:1 slope ratio of step back to building height measured from the roof plate (see Figure 4-22).

1. Density shall be calculated as net density, which excludes public streets and dedicated public parkland (per Chapter 17.35 of the Santa Clara City Code). The lot area that contains publicly-accessible private open space, private streets and pathways, and required easements will be counted toward lot area for the purposes of calculating residential density and commercial floor area ratio.
2. See Figure 4-1 Allowed Heights.
3. Projects must comply with both stories and overall height maximums. Height exceptions up to 10 feet above the maximum may be allowed to accommodate architectural features, rooftop stair access and elevator shafts, mechanical equipment, or other rooftop amenities, as approved by City staff.
4. FAA airspace safety clearance may be required on a project-specific basis pursuant to Federal Aviation Regulation/Part 77.
5. Projects may be eligible for additional height, density, or FAR in exchange for providing community benefits above and beyond what is required by the Plan, as outlined in section 6.2 Community Benefits Program.
6. Applies to portions of a development directly opposite a single-family or duplex residential zoned property where the street is less than 65 feet wide.
7. A roof plate is defined as the top horizontal framing member of a wall where the roof structure is attached.

Table 4-3. Regional Commercial Mixed Use Setbacks, Open Space, and Storage Standards

Standards	Regional Mixed Use		
	Ground Floor Commercial	Other Ground Floor Uses	
ECR Minimum Front Setback, from back of walk ^{1,2}	0 or 5 ft ^{3,4}	10 ft ³	
ECR Maximum Front Setback, from back of walk ^{1,2}	10 ft	15 ft	
Minimum Street Setback, other than ECR	10 ft	15 ft	
Maximum Street Setback, other than ECR	15 ft	20 ft	
Minimum Side & Rear Setback (from adjacent parcel or alley)	5ft	10 ft	
Minimum Setback adjacent to single-family and duplex zoned parcel	25 ft	25 ft	
Minimum Transparency	50%	NA	
Pedestrian Entries	At least 1 pedestrian entry is required on each primary block frontage, unless a greater number is required by the Building Code or Fire Code.		
Private Open Space ⁵	Non-Residential	Hotel	Residential/ Residential Portion of Mixed-Use Project
Minimum Required Personal Open Space	NA	NA	60 sf per unit ⁶
Minimum Required Common Usable Open Space	NA	20 sf per room	80 sf per unit ⁷
Minimum Required Publicly-Accessible Open Space	10% of lot area ⁸		
Storage			
Personal Storage	160 cubic ft per unit		

- At least 75% of the building facade shall be located within the minimum and maximum setback lines; up to 25% of the building façade may be located behind the maximum setback to allow for massing breaks, forecourts, plazas, etc. Publicly-accessible plazas/open spaces may be subtracted from the overall facade length to calculate the minimum percentage of building facade to be located within the setback range.
- The intent is to achieve a total sidewalk width of 20 feet along El Camino Real, with a minimum sidewalk width of 15.5 feet. Setbacks are measured from the new back of walk. As sites are redeveloped over time, the City will work with property owners to negotiate the appropriate dedication and/or public easement to meet new sidewalk requirements on a case-by-case basis.
- The minimum front/street side setback for live/work units shall be 10 feet from the back of walk.
- The minimum setback is 0 feet in instances where the sidewalk width is 20 feet. In areas where that cannot be achieved and the sidewalk is less than 20 feet wide, the minimum setback is 5 feet from the back of walk.
- Open space requirements are separate from parkland dedication requirements established by SCCC Chapter 17.35. However, depending on the size, location, and amenities provided, it is possible that the open space would qualify for private open space credit under Chapter 17.35. In the RCMU designation, onsite public parks provided per the City's parkland dedication requirements may count towards fulfilling the 10% publicly-accessible open space standard, subject to approval by the Director of Parks and Recreation (per Section 17.35.080).
- All of the required personal open space may be provided as common private outdoor areas (i.e. 140 sf per unit could be provided as common open space).
- Includes roof decks and other shared common open areas. Setback areas are not considered usable open space unless they are at least 20 feet wide from the building to the property line. Up to 40 sf per unit can be provided in an indoor communal space so long as it opens directly on to a common outdoor space.
- Must be ground floor publicly-accessible open space. New publicly-accessible open space should have a minimum 30-foot dimension in at least one direction and a minimum total area of 3000 sf.

Table 4-4. Regional Commercial Mixed Use Parking Standards

Standards	Regional Mixed Use
Parking¹	
Maximum Surface Parking Length along ECR parcel frontage	30%
Minimum Setback for Surface Parking	10 ft
Required Off-Street Parking for Residential Uses	
Single-Family Homes	2 spaces per unit
Multi-Family Residential: Studios/1 Bedroom	1 space per unit
Multi-Family Residential: 2 or more Bedrooms	2 spaces per unit
Required Off-Street Parking for Retail and Services	4 spaces per 1,000 sf
Required Bicycle Parking Spaces	See Chapter 5 Transportation and Public Spaces

1. Refer to the Santa Clara Zoning Ordinance for additional off-street parking and loading requirements.



Standards for Regional Commercial Mixed Use

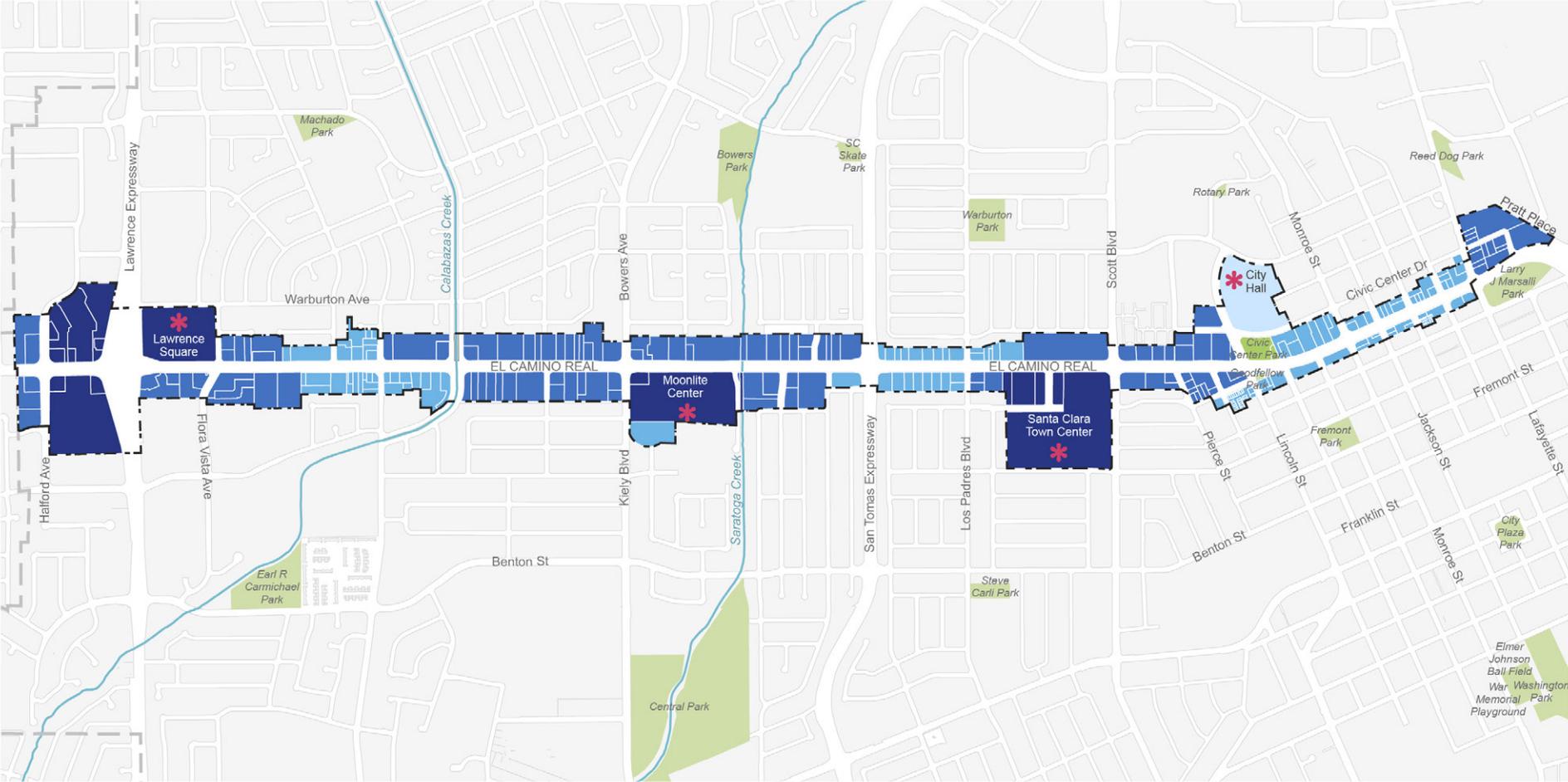
- 1. Limitation on Townhouses.** Townhouses/single-family attached dwelling units shall be limited to a maximum of 25% of the site/lot area for developments in the RCMU designation.
- 2. Shared Parking.** Regional Commercial Mixed Use Centers shall include shared parking between uses with different peak periods to encourage the efficient use of parking resources and are eligible for reduced parking requirements, in accordance with the Santa Clara Zoning Ordinance. For example, residential visitor and retail customer parking spaces can be shared. The total number of spaces and their distribution through the site shall be substantiated through a parking demand study and a parking management plan prepared by a qualified traffic engineering professional subject to approval by the Director. See Chapter 5 Transportation and Public Spaces for additional details and requirements.

Guidelines for Regional Commercial Mixed Use

- 1. Anchor Retail Space.** Each Regional Commercial Mixed Use Center is encouraged to include at least one retail anchor space. A retail anchor is defined as a commercial space with at least 25,000 sf of gross leasable area (GLA).
- 2. Public Art.** Public art should be incorporated into new development in Regional Commercial Mixed Use Centers whenever feasible. Art should be placed in visible areas, particularly at intersections or within public or common open spaces. Art may consist of both permanent and temporary installations.

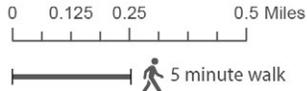
Projects that provide anchor retail space and/or public art may be eligible for increased development intensity as part of a community benefits agreement (see Chapter 6).

Figure 4-1. Allowed Heights



Legend

- City Boundary
- Plan Boundary
- Parcels
- * Landmarks
- Parks
- Creeks
- 5 - 6 Story Maximum
- 4 - 5 Story Maximum
- 3 - 4 Story Maximum
- 2 Story Maximum



Conceptual Site Plans for Regional Commercial Mixed Use Centers

The following section provides several conceptual site plans for key Regional Commercial Mixed Use Centers along El Camino Real. They illustrate how new development, streets, and open space could be arranged and designed on each site in a way that achieves the vision for Activity Centers and meets the standards and guidelines described above. It is important to note that these graphic representations are conceptual and illustrative in nature. This guidance is not intended to restrict or discourage alternative project designs.



Figure 4-2. Regional Commercial Mixed Use – Moonlite Center Conceptual Site Plan 1



Figure 4-3. Regional Commercial Mixed Use – Moonlite Center Conceptual Plan 1 Cross Section



Figure 4-4. Regional Commercial Mixed Use – Moonlite Center Conceptual Plan 1 Illustrative Birdseye Rendering



Figure 4-5. Regional Commercial Mixed Use – Moonlite Center Conceptual Plan 1 Illustrative Street View Rendering



Figure 4-6. Regional Commercial Mixed Use – Moonlite Center Conceptual Site Plan 2

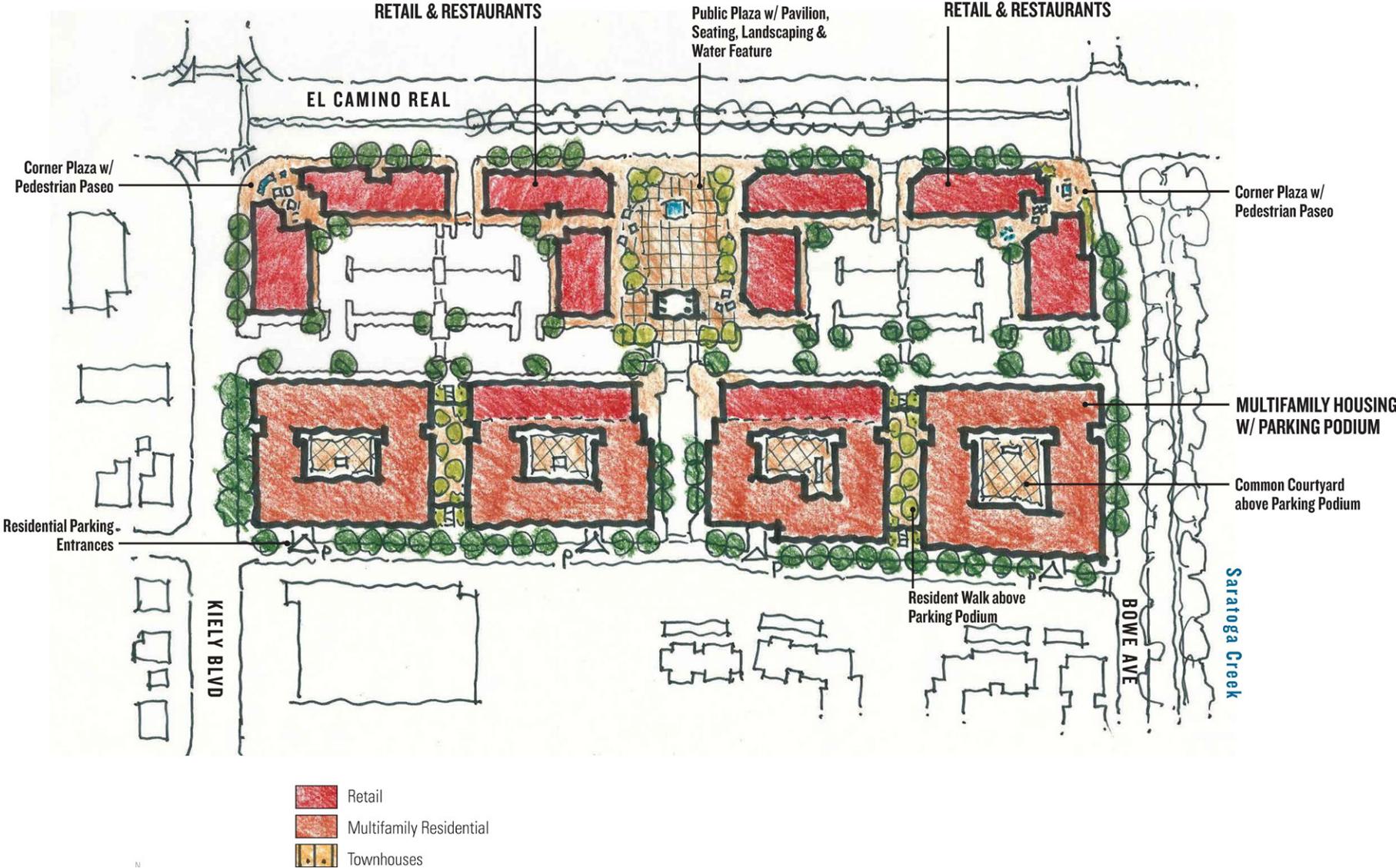


Figure 4-7. Regional Commercial Mixed Use – Lawrence Square Conceptual Site Plan



Figure 4-8. Regional Commercial Mixed Use – Lawrence Square Conceptual Plan Cross Section

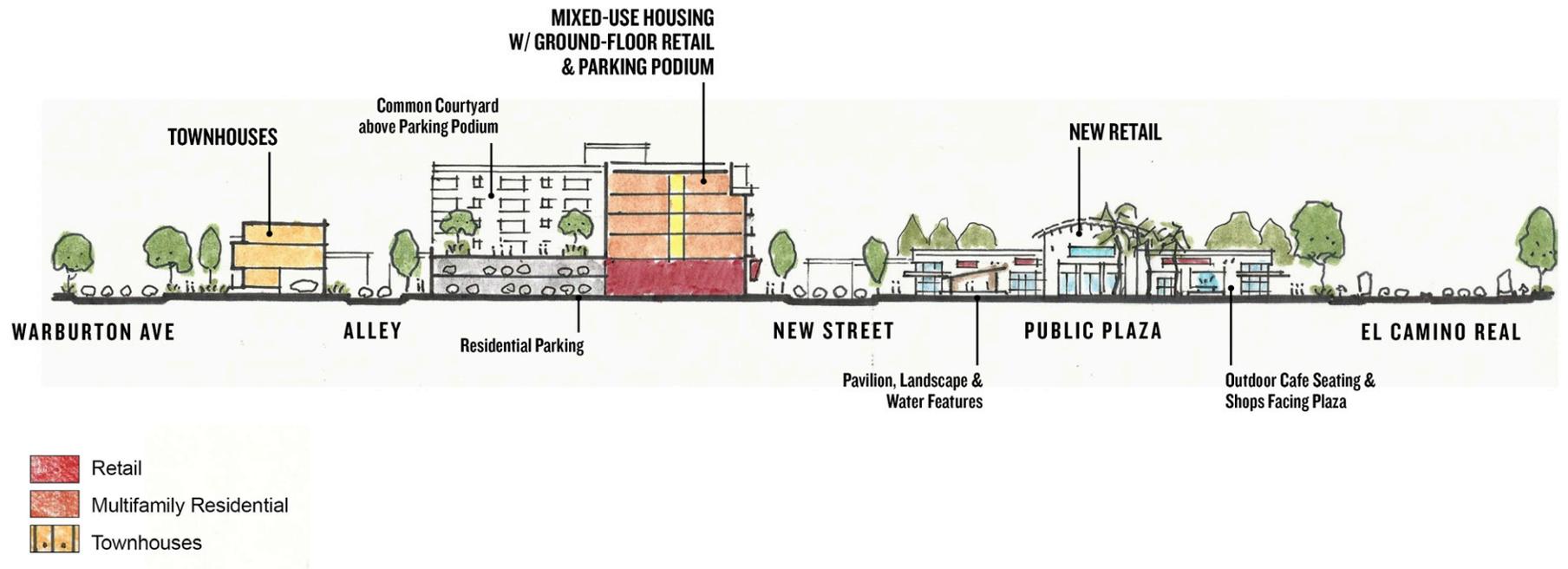


Figure 4-9. Regional Commercial Mixed Use – Santa Clara Town Center Conceptual Site Plan

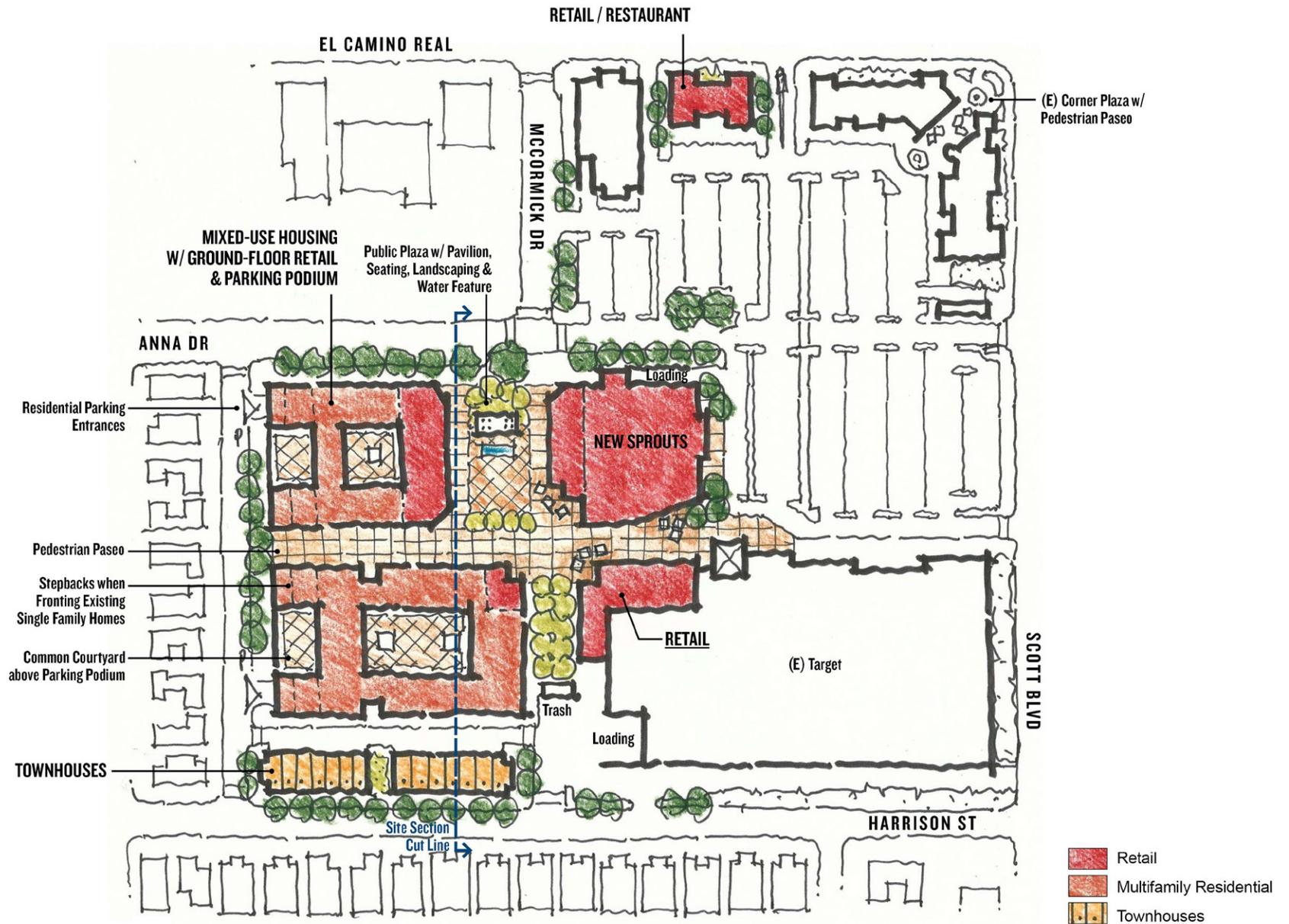
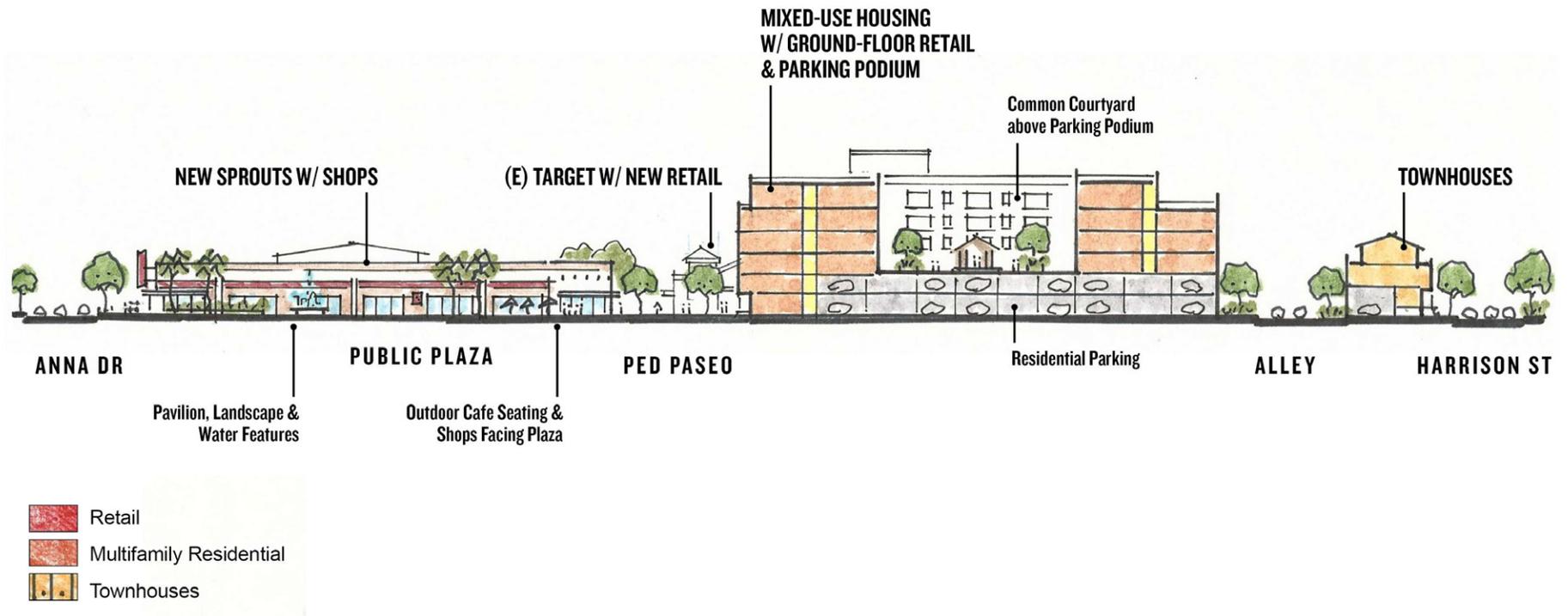


Figure 4-10. Regional Commercial Mixed Use – Santa Clara Town Center Conceptual Plan Cross Section



Corridor Mixed Use

Corridor Mixed Use areas will provide shops, services, and other active ground floor uses at smaller cross streets along the corridor. The Corridor Mixed Use classification allows for standalone commercial or residential uses, and medium-to-high-density mixed-use development in a horizontal or vertical format. However, there are key locations along the El Camino Real corridor where ground floor commercial uses are required as indicated in Figure 4-18. Ground Floor Commercial Overlay Areas.

Development under this designation should have an urban feel with minimal setbacks and active, pedestrian-oriented frontages, shared open space, and parking behind buildings, below-grade, or in structures. Because parcels in this designation are generally mid-sized and more constrained in lot depth than Regional Commercial Mixed Use areas, it allows greater flexibility in intensity and open space requirements, as provided in Tables 4-5 through 4-7.

Standards for Corridor Mixed Use

The standards in Tables 4-5, 4-6, and 4-7 apply to all Corridor Mixed Use projects along El Camino Real.



Table 4-5. Corridor Mixed Use Height, Density, & Intensity Standards

Standards	Corridor Mixed Use
Height, Density, & Intensity ^{1,2}	
Maximum Stories/Height to Top of Wall	60 ft (5 stories) ^{2,3,4}
Minimum Floor Area Ratio	None
Minimum Dwelling Units per Acre	45 du/acre
Maximum Dwelling Units per Acre	65 du/acre ⁴
Minimum Commercial Ground Floor Area	Figure 4-10 shows locations where commercial is required for 50% of the ground floor building frontage along El Camino Real. All other areas - commercial allowed, not required.
Transitions Adjacent to Single-Family/Duplex Residential	
Maximum Height Adjacent to Single-Family and Duplex Residential Zoning District	1:1 slope ratio of setback to height starting from property line at grade (see Figure 4-20).
Maximum Height Across the Street from Single-Family and Duplex Residential Zoning District ⁵	At the setback line, the height of the roof plate ⁷ may be no taller than one story above the maximum height allowed in the opposing residential zone. Behind the setback line, building heights may step up away from the street following a 1:1 slope ratio of step back to building height measured from the roof plate (see Figure 4-22).

1. Density shall be calculated as net density, which excludes public streets and dedicated public parkland (per Chapter 17.35 of the Santa Clara City Code). The lot area that contains publicly-accessible private open space, private streets and pathways, and required easements will be counted toward lot area for the purposes of calculating residential density and commercial floor area ratio.
2. See Figure 4-1 Allowed Heights.
3. Projects must comply with both stories and overall height maximums. Height exceptions up to 10 feet above the maximum may be allowed to accommodate architectural features, rooftop stair access and elevator shafts, mechanical equipment, or other rooftop amenities, as approved by City staff.
4. Projects may be eligible for additional height, density, or FAR in exchange for providing community benefits above and beyond what is required by the Plan, as outlined in section 6.2 Community Benefits Program.
5. Applies to portions of a development directly opposite a single-family or duplex residential zoned property where the street is less than 65 feet wide.
6. A roof plate is defined as the top horizontal framing member of a wall where the roof structure is attached.

Table 4-6. Corridor Mixed Use Setbacks, Open Space, and Storage Standards

Standards	Corridor Mixed Use		
	Ground Floor Commercial	Other Ground Floor Uses	
ECR Minimum Front Setback, from back of walk ^{1,2}	0 or 5 ft ^{3,4}	10 ft ³	
ECR Maximum Front Setback, from back of walk ^{1,2}	10 ft	15 ft	
Minimum Street Setback, other than ECR	10 ft	15 ft	
Maximum Street Setback, other than ECR	15 ft	20 ft	
Minimum Side & Rear Setback (from adjacent parcel or alley) ⁸	5 ft ⁸	10 ft ⁸	
Minimum Setback adjacent to single-family and duplex zoned parcel	25 ft	25 ft	
Minimum Transparency	50%	NA	
Pedestrian Entries	At least 1 pedestrian entry is required on each primary block frontage, unless a greater number is required by the Building Code or Fire Code.		
Private Open Space ⁵	Non-Residential	Hotel	Residential / Residential Portion of Mixed-Use Project
Minimum Required Personal Open Space	NA	NA	80 sf per unit ⁶
Minimum Required Common Usable Open Space	NA	20 sf per room	100 sf per unit ⁷
Minimum Required Publicly-Accessible Open Space	NA	NA	NA
Storage			
Personal Storage	160 cubic feet per unit		

- At least 75% of the building facade shall be located within the minimum and maximum setback lines; up to 25% of the building façade may be located behind the maximum setback to allow for massing breaks, forecourts, plazas, etc. Publicly-accessible plazas/open spaces may be subtracted from the overall facade length to calculate the minimum percentage of building facade to be located within the setback range.
- The intent is to achieve a total sidewalk width of 20 feet along El Camino Real, with a minimum sidewalk width of 15.5 feet. Setbacks are measured from the new back of walk. As sites are redeveloped over time, the City will work with property owners to negotiate the appropriate dedication and/or public easement to meet new sidewalk requirements on a case-by-case basis.
- The minimum front/street side setback for live/work units shall be 10 feet from the back of walk.
- The minimum setback is 0 feet in instances where the sidewalk width is 20 feet. In areas where that cannot be achieved and the sidewalk is less than 20 feet wide, the minimum setback is 5 feet from the back of walk.
- Open space requirements are separate from the parkland dedication requirements established by SCCC Chapter 17.35. However, depending on the size, location, and amenities provided, it is possible that the open space would qualify for private open space credit under Chapter 17.35.
- Required personal open space for up to 50% of units can be provided as common private open space.
- Includes roof decks and shared common areas. Setback areas are not considered usable open space unless they are at least 20 feet wide from the building to the property line. Up to 50 sf per unit can be provided in an indoor communal space so long as it opens directly on to a common outdoor space.
- The minimum setback for parcels adjoining Saratoga Creek ROW shall be 20 feet.

Table 4-7. Corridor Mixed Use Parking Standards

Standards	Corridor Mixed Use
Parking¹	
Maximum Surface Parking Length along ECR parcel frontage	30%
Minimum Setback for Surface Parking	10 ft
Required Off-Street Parking for Residential Uses	
Single-Family Homes	2 spaces per unit
Multi-Family Residential: Studios/1 Bedroom	1 space per unit
Multi-Family Residential: 2 or more Bedrooms	2 spaces per unit
Required Off-Street Parking for Retail and Services	4 spaces per 1,000 sf
Required Bicycle Parking Spaces	See Chapter 5 Transportation and Public Spaces

1. Refer to the Santa Clara Zoning Ordinance for additional off-street parking and loading requirements.



Conceptual Site Plans for Corridor Mixed Use

The following section provides several conceptual site plans for a typical Corridor Mixed Use parcel along El Camino Real. They illustrate how new development, parking, and open space could be arranged and designed on the site in a way that achieves the vision for Corridor Mixed Use areas and meets the standards and guidelines described above. It is important to note that these graphic representations are conceptual and illustrative in nature. This guidance is not intended to restrict or discourage alternative project designs.

Figure 4-11. Corridor Mixed Use Conceptual Site Plan 1

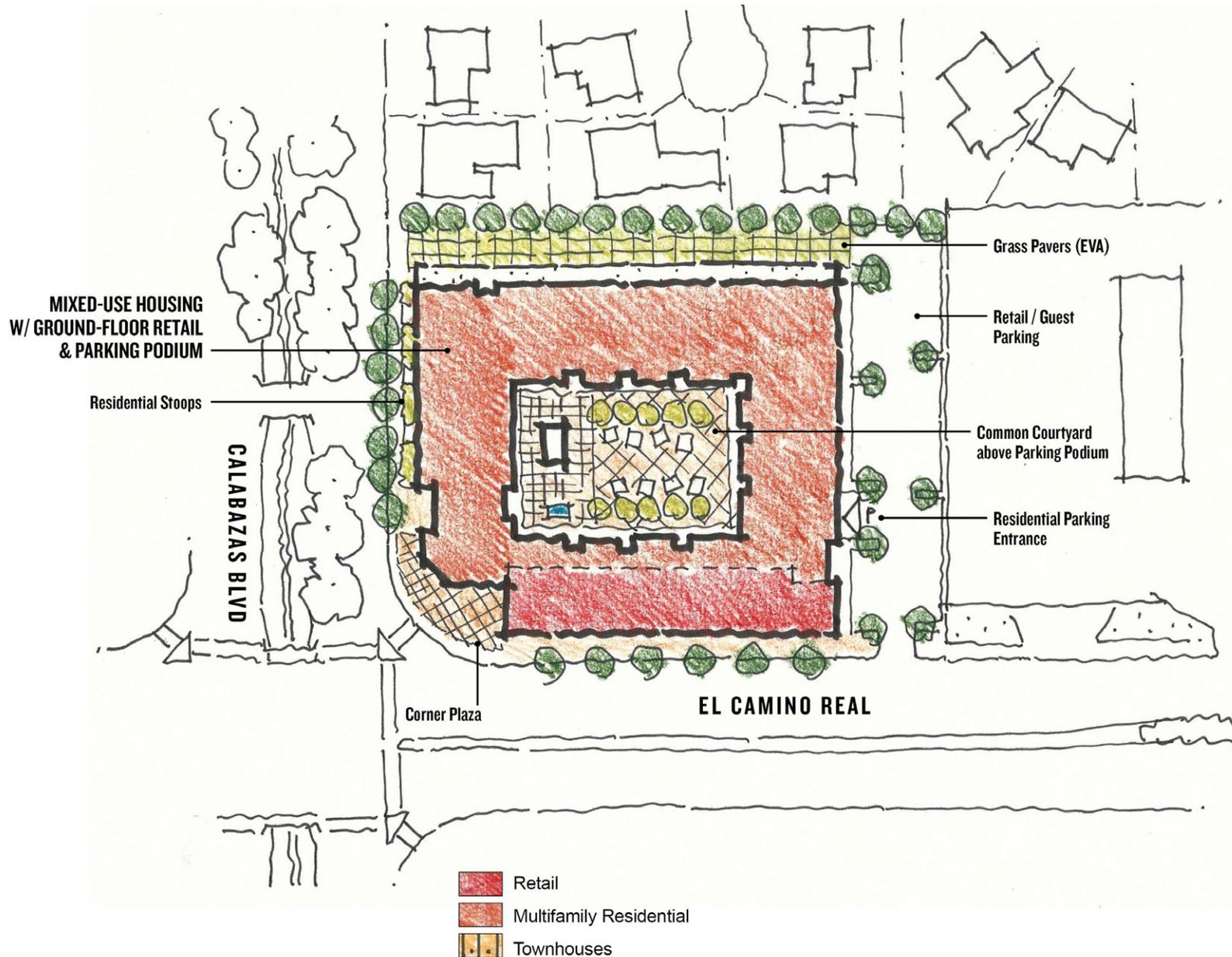


Figure 4-12. Corridor Mixed Use Conceptual Plan 1 Cross Section

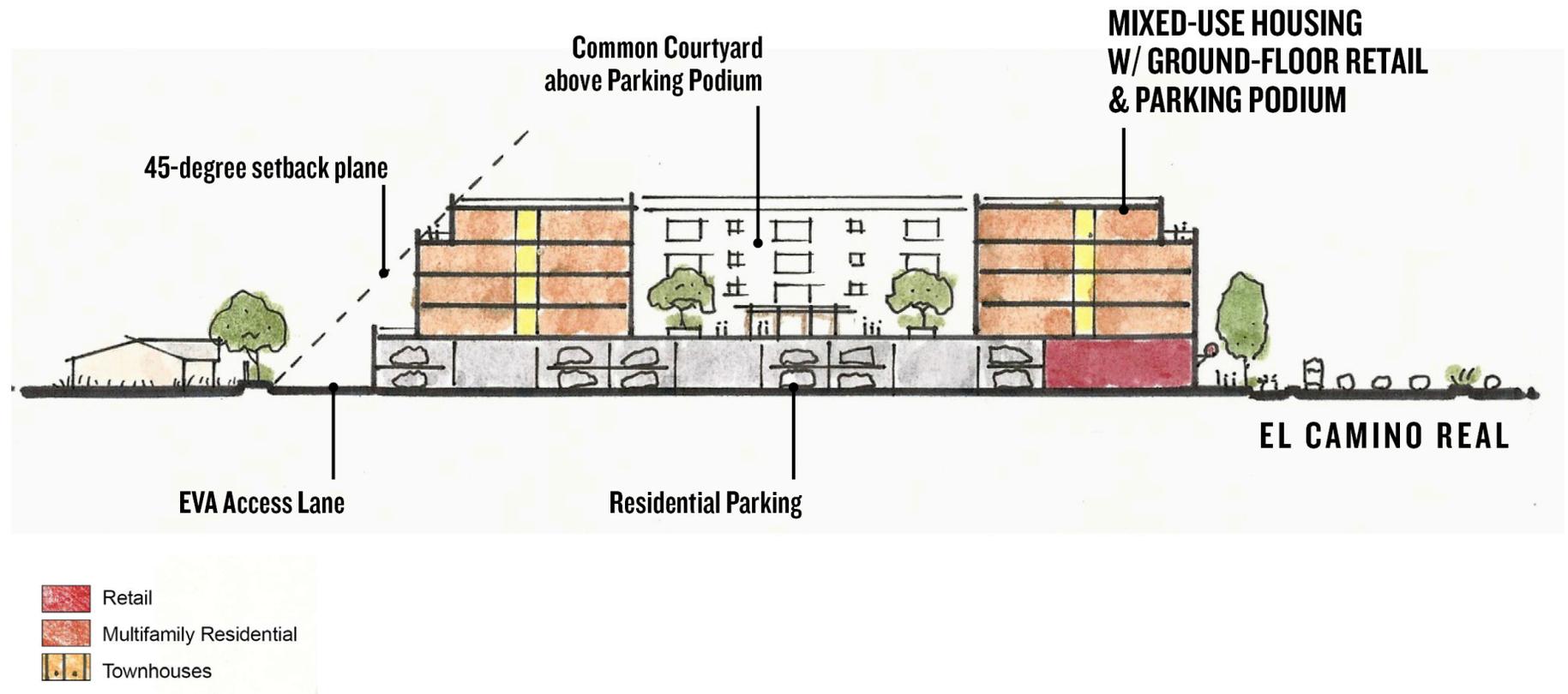


Figure 4-13. Corridor Mixed Use Conceptual Site Plan 2



Figure 4-14. Corridor Mixed Use Illustrative Renderings showing Neighborhood Transitions

The following rendering illustrates how new residential development along El Camino Real could provide appropriate transitions to adjacent single family homes.





Corridor Residential

The Corridor Residential classification is intended for low-to-mid-rise residential building types such as garden apartments and townhouses with garages or below-grade parking. Development in this designation should have an urban feel with pedestrian entrances along El Camino Real, while providing appropriate setbacks, open space, and privacy for residents. Standards for Corridor Residential areas are provided in Tables 4-8 through 4-10.

Standards for Corridor Residential

The standards in Tables 4-8, 4-9, and 4-10 apply to all Corridor Residential projects along El Camino Real.



Table 4-8. Corridor Residential Height & Intensity Standards

Standards	Corridor Residential
Height, Density, & Intensity^{1,2}	
Maximum Stories/Height to Top of Wall	50 ft (4 stories) ^{2,3,4}
Minimum Floor Area Ratio	None
Minimum Dwelling Units per Acre	16 du/acre
Maximum Dwelling Units per Acre	45 du/acre ⁴
Minimum Commercial Ground Floor Area	Commercial allowed, not required
Transitions Adjacent to Single-Family/Duplex Residential	
Maximum Height adjacent to Single-Family and Duplex Residential Zoning Districts	1:1 slope ratio of setback to height starting from property line at grade (Figure 4-20).
Maximum Height Across the Street from Single-Family and Duplex Residential Zoning Districts ⁵	At the setback line, the height of the roof plate ⁶ may be no taller than one story above the maximum height allowed in the opposing residential zone. Behind the setback line, building heights may step up away from the street following a 1:1 slope ratio of step back to building height measured from the roof plate (see Figure 4-22).

1. Density shall be calculated as net density, which excludes public streets and dedicated public parkland (per Chapter 17.35 of the Santa Clara City Code). The lot area that contains publicly-accessible private open space, private streets and pathways, and required easements will be counted toward lot area for the purposes of calculating residential density and commercial floor area ratio.
2. See Figure 4-1 Allowed Heights.
3. Projects must comply with both stories and overall height maximums. Height exceptions up to 10 feet above the maximum may be allowed to accommodate architectural features, rooftop stair access and elevator shafts, mechanical equipment, or other rooftop amenities, as approved by City staff.
4. Projects may be eligible for additional height, density, or FAR in exchange for providing community benefits above and beyond what is required by the Plan, as outlined in section 6.2 Community Benefits Program.
5. Applies to portions of a development directly opposite a single-family or duplex residential zoned property where the street is less than 65 feet wide.
6. A roof plate is defined as the top horizontal framing member of a wall where the roof structure is attached.

Table 4-9. Corridor Residential Setbacks, Open Space, and Storage Standards

Standards	Corridor Residential		
	Ground Floor Commercial	Other Ground Floor Uses	
ECR Minimum Front Setback, from back of walk ²	0 or 5 ft ^{3,4}	10 ft ³	
ECR Maximum Front Setback, from back of walk ^{1,2}	10 ft	15 ft	
Minimum Street Setback, other than ECR	10 ft	15 ft	
Maximum Street Setback, other than ECR	15 ft	15 ft	
Minimum Side & Rear Setback (from adjacent parcel or alley)	5 ft ⁸	10 ft ⁸	
Minimum Setback adjacent to single-family and duplex residentially-zoned parcel	20 ft	20ft	
Minimum Transparency	50%	NA	
Pedestrian Entries	At least 1 pedestrian entry is required on each primary block frontage, unless a greater number is required by the Building Code or Fire Code.		
Private Open Space ⁵	Non-Residential	Hotel	Residential / Residential Portion of Mixed-Use Project
Minimum Required Personal Open Space	NA	NA	100 sf per unit ⁶
Minimum Required Common Usable Open Space	NA	20 sf per room	100 sf per unit ⁷
Minimum Required Publicly-Accessible Open Space	NA	NA	NA
Storage			
Personal Storage	160 cubic feet per unit		

- At least 75% of the building facade shall be located within the minimum and maximum setback lines; up to 25% of the building façade may be located behind the maximum setback to allow for massing breaks, forecourts, plazas, etc. Publicly-accessible plazas/open spaces may be subtracted from the overall facade length to calculate the minimum percentage of building facade to be located within the setback range.
- The intent is to achieve a total sidewalk width of 20 feet along El Camino Real, with a minimum sidewalk width of 15.5 feet. Setbacks are measured from the new back of walk. As sites are redeveloped over time, the City will work with property owners to negotiate the appropriate dedication and/or public easement to meet new sidewalk requirements on a case-by-case basis.
- The minimum front/street side setback for live/work units shall be 10 feet from the back of walk.
- The minimum setback is 0 feet in instances where the sidewalk width is 20 feet. In areas where that cannot be achieved and the sidewalk is less than 20 feet wide, the minimum setback is 5 feet from the back of walk.
- Open space requirements are separate from parkland dedication requirements established by SCCC Chapter 17.35. However, depending on the size, location, and amenities provided, it is possible that the open space would qualify for private open space credit under Chapter 17.35.
- Required personal open space for up to 50% of units can be provided as common private open space.
- Includes roof decks and shared common areas. Setback areas are not considered usable open space unless they are at least 20 feet wide from the building to the property line. Up to 50 sf per unit can be provided in an indoor communal space so long as it opens directly on to a common outdoor space.
- The minimum setback for parcels adjoining Saratoga Creek ROW shall be 20 feet.

Table 4-10. Corridor Residential Parking Standards

Standards	Corridor Residential
Parking¹	
Maximum Surface Parking Length along ECR parcel frontage	30%
Minimum Setback for Surface Parking	10 ft
Required Off-Street Parking for Residential Uses	
Single-Family Homes	2 spaces per unit
Multi-Family Residential: Studios/1 Bedroom	1 space per unit
Multi-Family Residential: 2 or more Bedrooms	2 spaces per unit
Required Off-Street Parking for Retail and Services	4 spaces per 1,000 sf
Required Bicycle Parking Spaces	See Chapter 5 Transportation and Public Spaces

1. Refer to the Santa Clara Zoning Ordinance for additional off-street parking and loading requirements.



Conceptual Site Plans for Corridor Residential

The following section provides several conceptual site plans for a typical Corridor Residential parcel along El Camino Real. They illustrate how various low-to-mid-rise residential building types could be arranged and designed on the site in a way that achieves the vision for Corridor Residential areas and meets the standards and guidelines described above. It is important to note that these graphic representations are conceptual and illustrative in nature. This guidance is not intended to restrict or discourage alternative project designs.

Figure 4-15. Corridor Residential Conceptual Site Plan 1

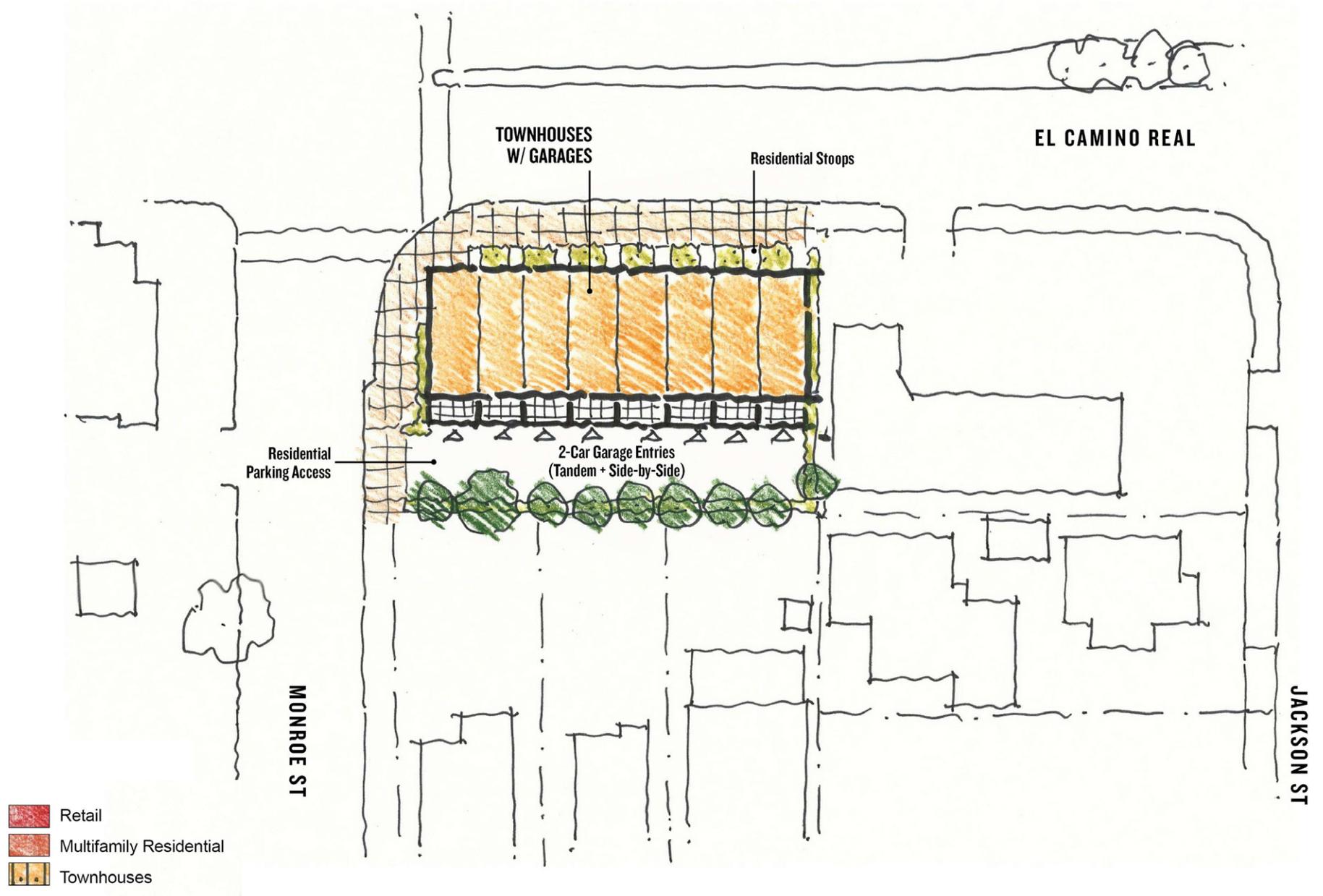


Figure 4-16. Corridor Residential Conceptual Plan 1 Cross Section

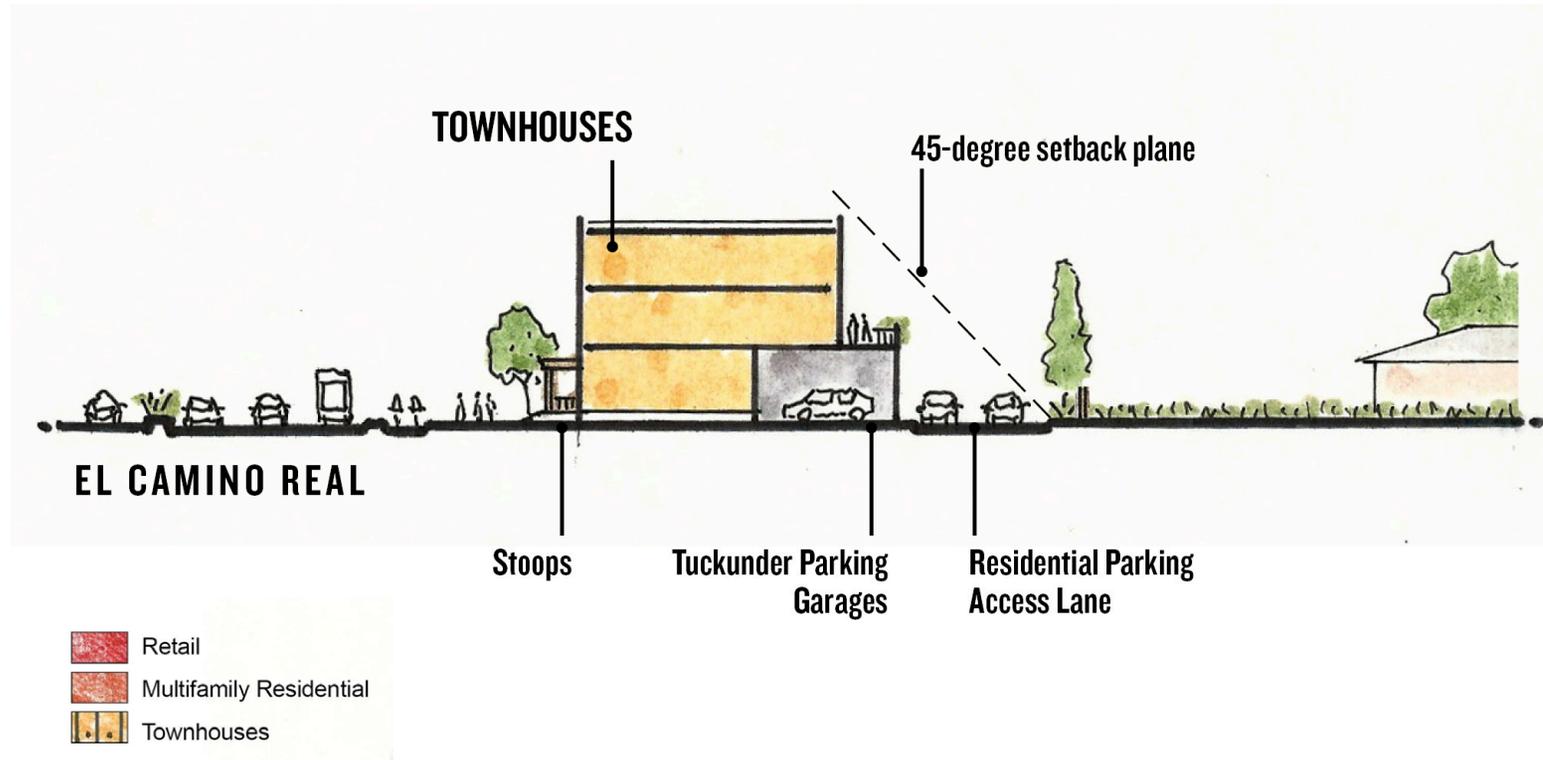
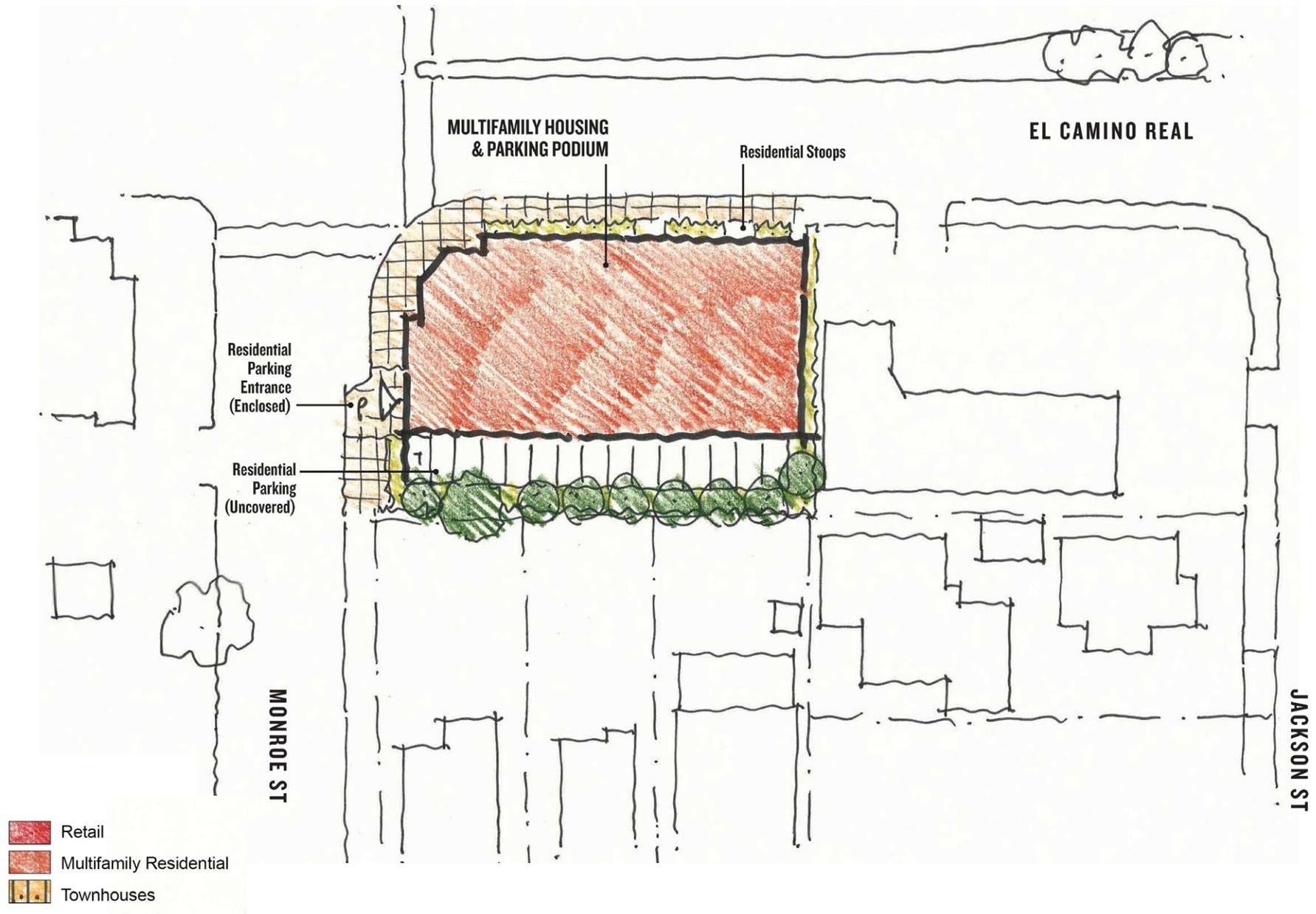


Figure 4-17. Corridor Residential Conceptual Site Plan 2



Ground Floor Commercial Overlay

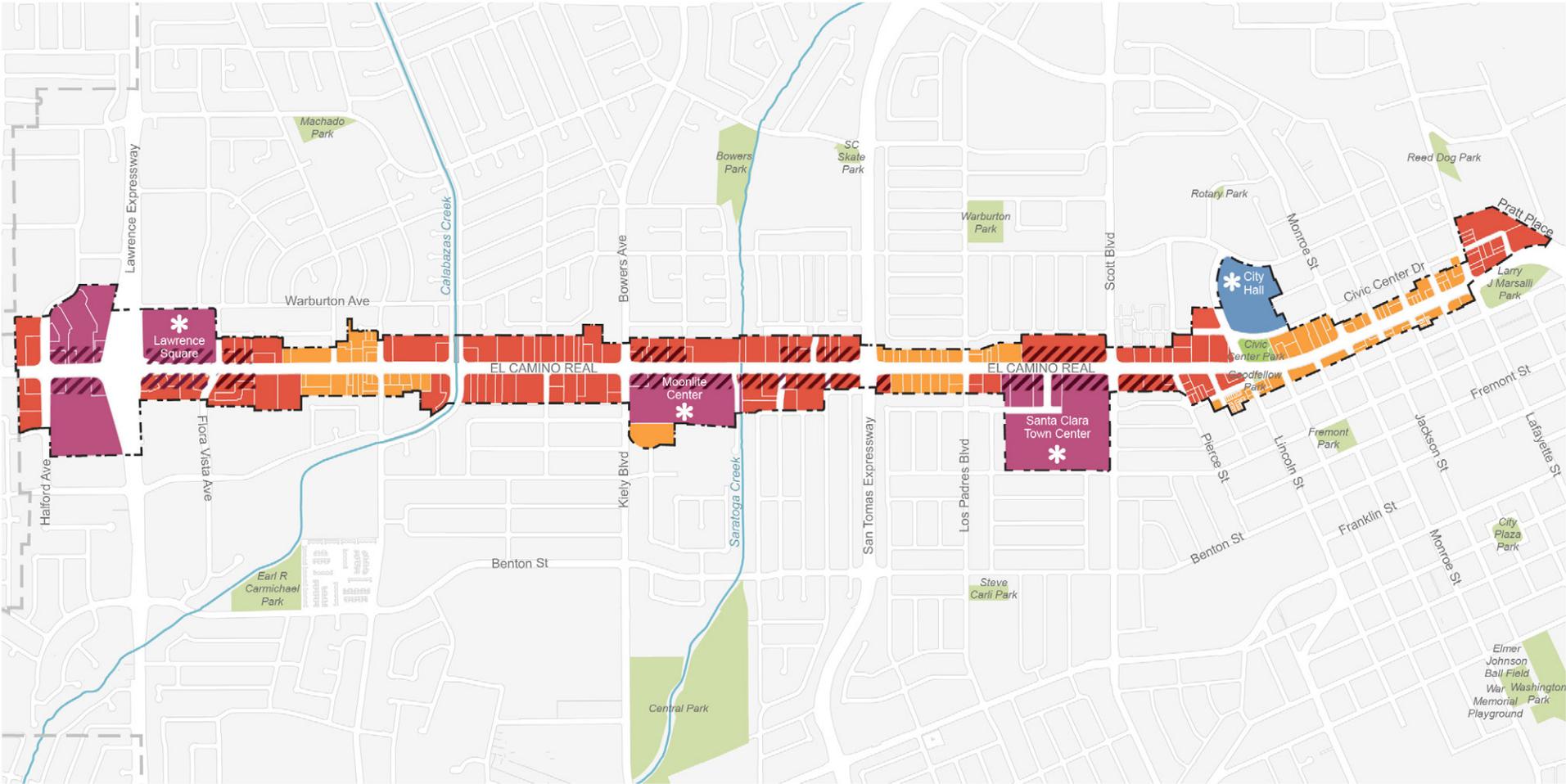
Ground floor commercial spaces or active uses are required in Regional Commercial Mixed Use and some Corridor Mixed Use areas. The Ground Floor Commercial Overlay described in Table 4-11 and shown in Figure 4-18 illustrates where ground floor commercial or active uses are required. These concentrations of commercial/active uses will support pedestrian activity and create opportunities for vibrant public spaces. The Ground Floor Commercial Overlay does not cover any Corridor Residential areas, where ground floor commercial/active uses are encouraged but not required.

Table 4-11. Ground Floor Overlay Commercial Requirements

Area	Requirement
Regional Mixed Use	At least 50% of the ground floor frontage along El Camino Real shall be commercial or active ground floor uses. ^{1,2} See notes below for definitions and what uses qualify as commercial or active ground floor uses.
Corridor Mixed Use	Commercial or active ground floor uses are required for 50% of the ground floor building frontage along El Camino Real in the locations shown in Figure 4-10. For all other Corridor Mixed Use areas commercial is encouraged but not required. ^{1,2}

1. Commercial or active ground floor uses include all allowed or conditionally permitted uses listed in Table 4-1. Allowed Land Uses under Recreation, Education, and Public Assembly uses and Retail, Service, and Office uses. Additionally, it includes child day care facilities, community care facilities (small), and wineries, distilleries, breweries, and micro-breweries that include on-site sale or consumption of goods/products.
2. Private amenities such as lobbies to upstairs uses, parking, fitness rooms, leasing offices, cafeterias, and other private amenity and service spaces are also allowed on the ground floor but do not count towards the required 50% ground floor commercial frontage. Service spaces include, but are not limited to, trash and utility rooms, bike parking, community rooms, shared restrooms, and loading areas. Parking and service spaces should be clearly secondary to commercial spaces, and commercial spaces should occupy frontages along El Camino Real, internal streets or pathways, public open spaces, and other highly visible locations.

Figure 4-18. Ground Floor Commercial Overlay



Legend

- City Boundary (dashed line)
- Plan Boundary (dotted line)
- Parcels (grey fill)
- Landmarks (star symbol)
- Parks (green fill)
- Creeks (blue line)

Land Use Designation

- Regional Commercial Mixed Use (purple fill)
- Corridor Mixed Use (orange fill)
- Corridor Residential (yellow fill)
- Public/Quasi-Public (blue fill)

Commercial Overlay

- Ground Floor Commercial Required (red hatched pattern)

Scale: 0 0.125 0.25 0.5 Miles
5 minute walk

4.4 Standards and Guidelines for All Areas

Neighborhood Transitions

It is important that new development provides appropriate transitions of height and scale to existing neighborhoods. New development adjacent to residential neighborhoods should incorporate a range of transition strategies described and illustrated below including, but not limited to:

- 1:1 slope ratio of setback to building height
- Increased building setbacks
- Upper-story step backs
- Architectural articulation
- Smaller scale/house-form building types and varied roof lines
- Orientating primary windows away from existing homes
- Landscape buffers
- Limiting balconies overlooking existing homes
- Providing individual building/unit entries across the street from residential uses



The following standards provide specific design requirements and strategies to ensure compatibility in scale and character, solar access, and privacy for existing low-density residential properties adjacent to the corridor.

Transition Standards

- 1. Transitions Adjacent to Residential.** As shown in Figure 4-20 Building Height Limits Abutting Residential Zoning Districts, for any new development adjacent to single-family or duplex residential zoning districts no portion of the building (with the exception of architectural projections) shall be within the setback established by a diagonal plane that begins at finished grade and slopes away from the abutting property line at a 1:1 ratio of setback to building height until a point not to exceed allowable building height.
- 2. Transitions Across the Street from Residential.** The following applies to portions of a development directly opposite a single-family or duplex residential zoned property where the street is less than 65 feet wide.
 - a.** At the setback line, the height of the roof plate may be no taller than one story above the maximum height allowed in the opposing residential zone.
 - b.** Behind the setback line, building heights may step up away from the street following a diagonal plane that begins at the top of the building facade/wall plate and slopes away from the front facade/wall plate at a 1:1 ratio of step back to building height, as shown in Figure 4-22 Building Height Limits Across the Street from Residential Zoning Districts.

- 3. **Massing and Design.** When a building has an abutting rear property line with a single-family/duplex residential zoned parcel or existing single-family/duplex home, the building shall break down in massing by meeting the following standards:
 - a. A minimum facade break of six feet in width and six feet in depth for every 20 - 50 feet of facade length.
 - b. A maximum continuous facade length of 50 feet within 10 feet of minimum rear setback line.

- 4. **Landscape Screening Between Uses.** A landscape buffer shall be provided between residential and mixed-use or nonresidential uses and between single-family uses and multi-family uses containing three or more units. Buffer areas shall include a minimum 10-foot wide planter strip with a minimum 1 tree per 30 linear feet plus continuous shrubbery planting at least 72 inches (6 feet) in height. Additional fencing requirements can be found in the Santa Clara Zoning Ordinance.

- 5. **Balconies.** Balconies on floors greater than 25 feet in height shall be set back a minimum of 30 feet from an abutting property line with a single-family/duplex residential zoned parcel or existing single-family/duplex home.

Figure 4-19. Massing and Design

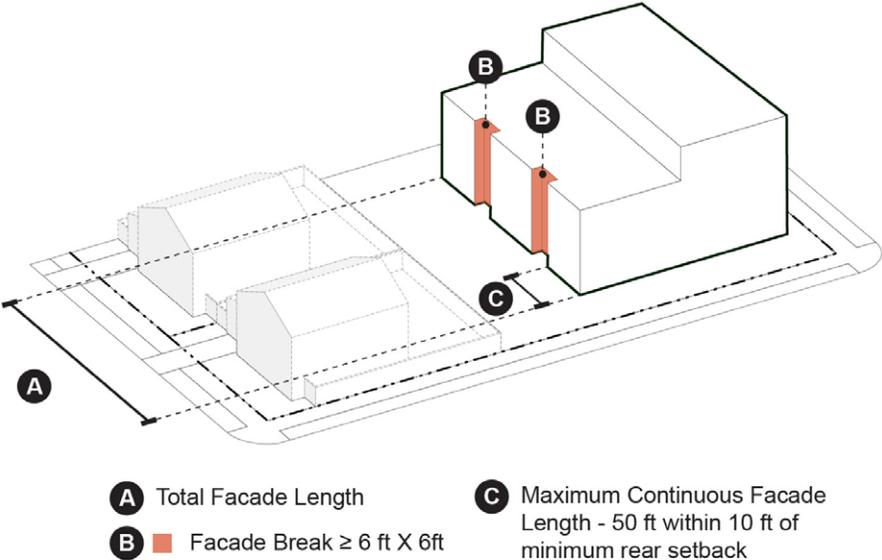


Figure 4-20. Building Height Limits Abutting Residential Zoning Districts

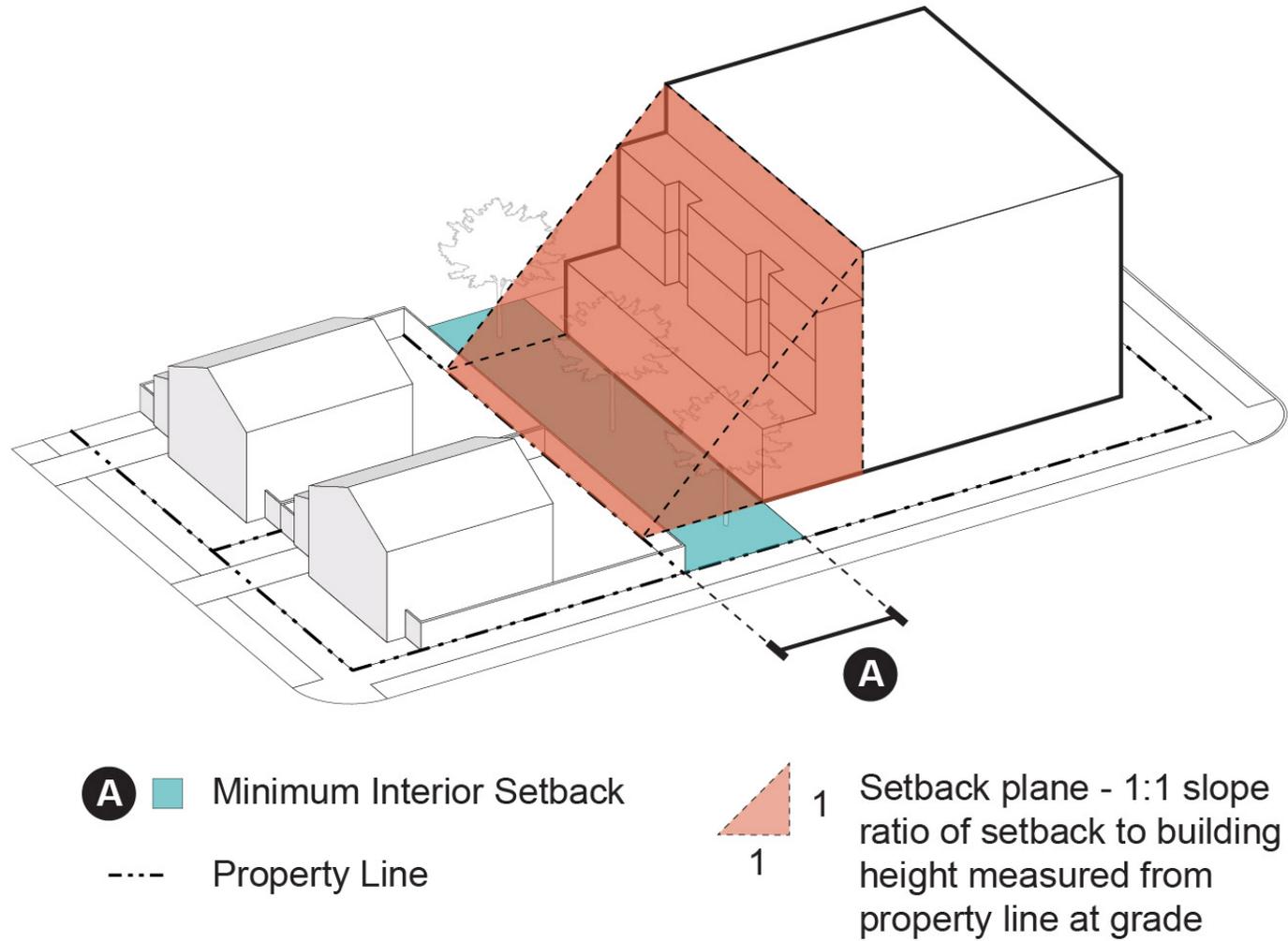


Figure 4-21. Transition Strategies Abutting Residential Zoning Districts

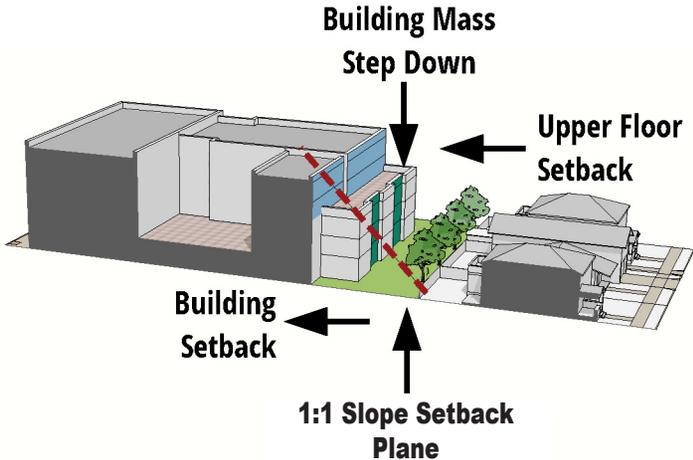
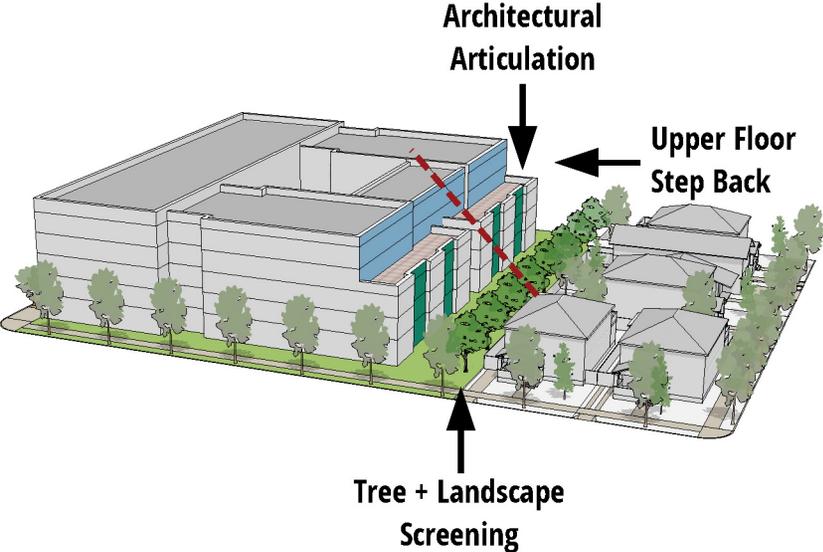
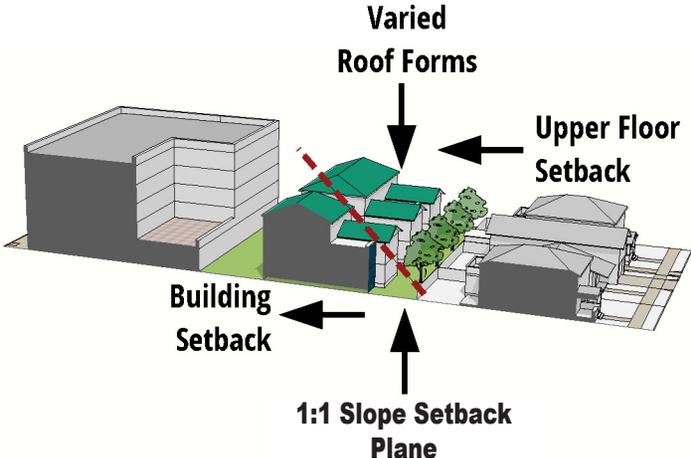
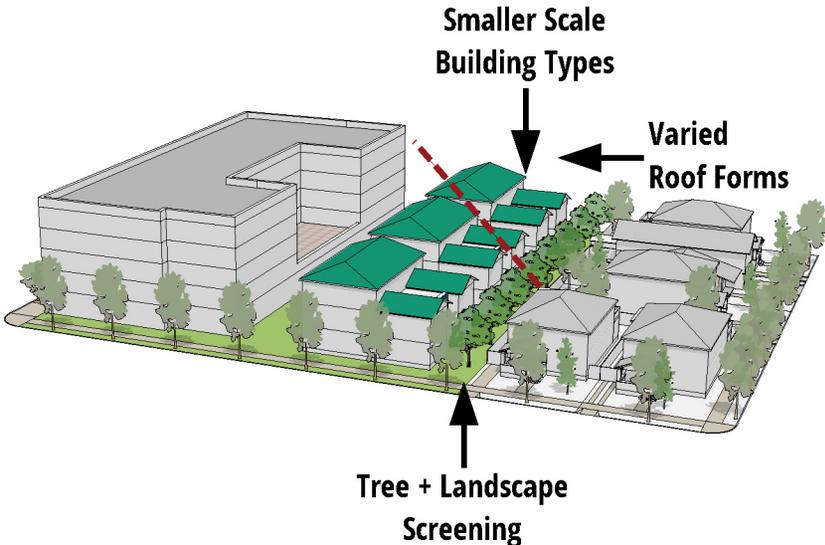
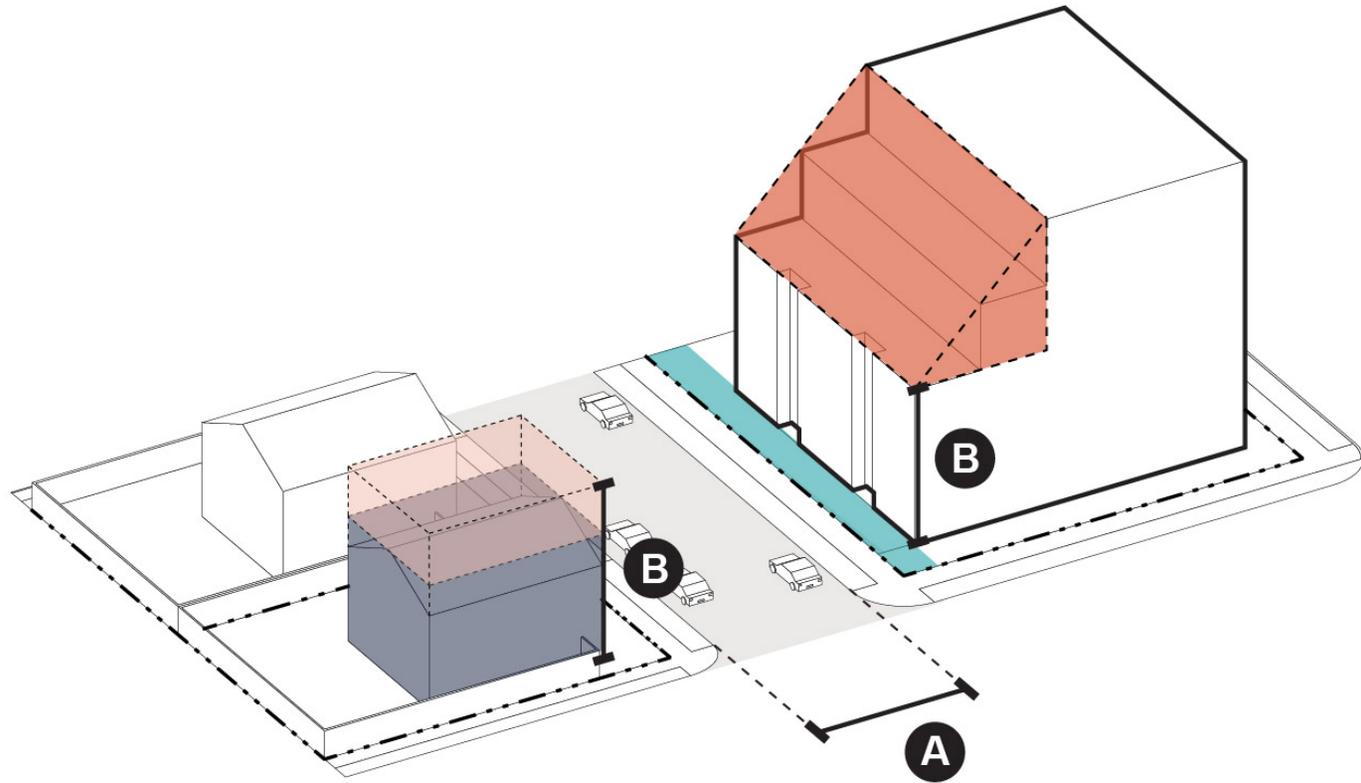


Figure 4-22. Building Height Limits Across the Street from Residential Zoning Districts



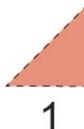
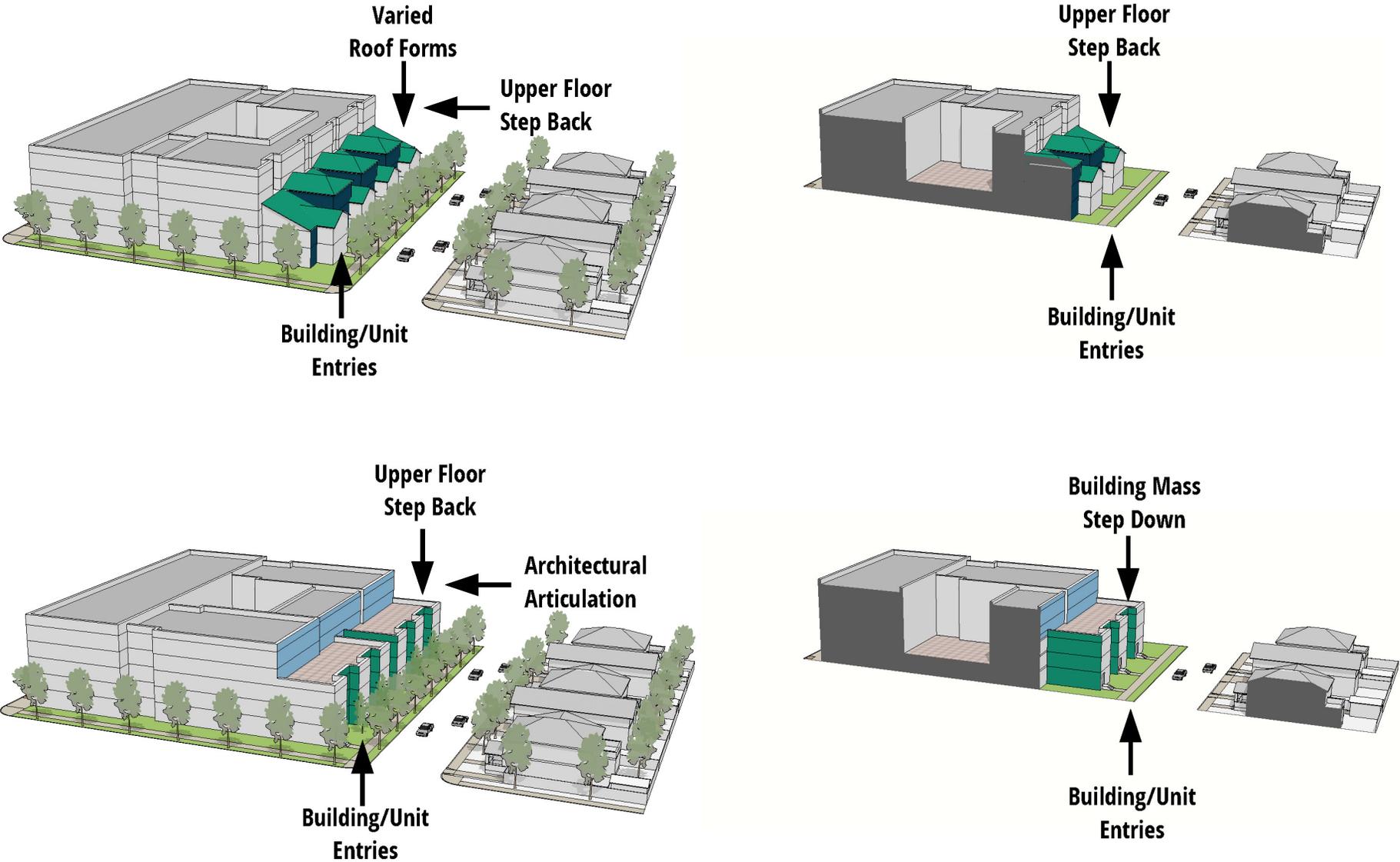
- A** Street width $\leq 65'$
-  Front setback
-  Maximum building height of opposite residential zone (2 stories / 25')
- B**  Maximum allowed building height at front setback - 1 story above maximum height of opposing residential zone
-  Step back plane - 1:1 slope ratio of step back to building height measured from roof plate at setback line

Figure 4-23. Transition Strategies Across the Street from Residential Zoning Districts



Site Planning

Site Design and Access Standards

Enhancing site design and connectivity will improve the way residents, visitors, and employees navigate through the Plan Area and access nearby destinations. Well-designed projects provide for safe, efficient, and convenient movement and site access for users of all modes of transportation. The following site design standards help consolidate access points and minimize potential conflicts between automobiles, bicyclists, and pedestrians while providing more efficient, flexible, and convenient circulation options for all users.

- 1. Smaller Blocks and New Connections.** New projects that involve redevelopment of more than 50% of the site shall comply with the following standards:
 - a.** New developments or projects must create smaller blocks and new connections such as publicly-accessible streets or bicycle/pedestrian pathways such that no new building or block shall be longer than 600 feet in length without a publicly-accessible connection through the building or parcel (see also Building Breaks standard).
 - b.** Where a site has through access to two parallel public or publicly-accessible rights-of-way, at least one publicly-accessible street or pedestrian and bike connection shall connect through the site to another publicly-accessible sidewalk, street, and/or bike path for every 600 feet of parcel frontage. A public access route on an adjacent parcel/project may be used to comply with this requirement, so long as a connection is provided at minimum every 600 feet along the block/frontage.
 - c.** Street designs are determined by the Santa Clara Design Criteria for Improvements in Public Right-of-Ways and City Easements. Street rights-of-way shall be dedicated to the City in fee or provided as a public access easement, at the discretion of the Director.
 - d.** Multi-use paths through sites to satisfy this requirement shall provide at minimum a 12-foot-wide path within a minimum 20-foot-wide public access easement and be designed consistent with City standards in the Design Criteria for Improvements in Public Right-of-Ways and City Easements. Multi-use paths shall permit 24-hour access for pedestrians, cyclists, and as appropriate, emergency vehicles.
- 2. External Connectivity.** Streets within any proposed development site shall be aligned with existing and planned streets and pathways in adjacent neighborhoods so as to create a continuous street pattern. All streets, alleys, pedestrian, and bike pathways in any development site shall connect to other streets and to existing and planned public sidewalks, streets, open spaces, and bike paths outside the proposed development.
- 3. Multi-modal site access.** Pedestrian and bike connections shall connect to existing and proposed public sidewalks, streets, transit stops, open spaces, bike paths, bicycle parking areas, and automobile parking areas adjacent to the project site.
 - a.** A pedestrian path between or through buildings or parking lots from the sidewalk to the interior of the site shall be provided at a minimum of every 600 feet of a project's frontage (see also Smaller Blocks and New Connections standard).
 - b.** Pathways shall be provided from bikeways to bicycle parking areas and building entrances.
 - c.** Pedestrian connections/pathways shall have a minimum six-foot wide unimpeded throughway for the extent of the path or sidewalk, and shall include pedestrian-scale lighting no taller than 15 feet in height.
- 4. Parking Access.** For retail spaces where parking is located to the rear, a walk-through or pedestrian breeze way shall be provided at a minimum of every 200 feet to facilitate customer access from the parking lot/facility to the retail space.

5. **Pedestrian Circulation Materials.** Where pedestrian circulation crosses vehicular routes, a change in grade, materials, textures, or colors shall be provided to emphasize the conflict point and improve visibility and safety.
6. **Driveways and Curb Cuts.** New projects shall meet the following standards for driveways and curb cuts. Alley frontages are exempt from these standards.
 - a. Vehicle access to a project site from El Camino Real shall be provided, in order of preference: (1) from an alley; (2) in the absence of an existing or proposed alley, from a driveway shared with a property abutting the development site; (3) in the absence of an alley or shared driveway, from the side/lesser street abutting the development site; or (4) in the absence of a side street, from a curb cut/driveway along El Camino Real.
 - b. Each project site shall be limited to one curb cut, including driveways, service streets, and alleys, per 200 feet of public street frontage, or two curb cuts per street frontage, whichever is less (unless otherwise required for emergency vehicle access).
 - c. Driveways shall be a minimum 30 feet from a primary pedestrian entrance (entrance along the primary street frontage) or publicly-accessible open space.
 - d. Driveways shall be a minimum 50 feet from any street intersection.
7. **Curb Cut Design.** Curb cuts shall be designed so sidewalks remain level as they cross the driveway.
8. **Pedestrian Routes through Parking Areas.** Parking areas and structures shall provide clearly delineated pedestrian walkways that connect parking areas to building entries and/or the sidewalk. Pedestrian walkways through parking areas shall comply with the following provisions:
 - a. A walkway running parallel to the parking rows shall be provided at a minimum of every four parking rows.
 - b. Where parking lots are located between a right-of-way and a primary entrance into a site's primary use structure, a continuous walkway shall be provided through the parking lot that connects the right-of-way and the primary entrance.
 - c. Pedestrian pathways shall be a minimum of 5 feet in width.
 - d. Pedestrian pathways shall be clearly delineated by using landscaping, raised walkways, special pavers, bollards, arches, trellises, and/or other design elements to alert drivers to potential conflicts with pedestrians. Where the path crosses the auto lane, the path shall be clearly delineated by a contrasting color, pavement material or pattern, and/or be raised slightly to form a speed table.





9. Underground Utilities. All new utilities and utility connections shall be placed underground, unless otherwise prohibited by the utility provider (e.g., water backflow prevention device that must be placed above ground).

10. Location of Utilities and Service Areas. All above-ground utilities and equipment (e.g., electric and gas meters, fire sprinkler valves, irrigation backflow prevention devices, etc.), service areas, and outdoor storage areas shall be integrated into building and landscape design and located to minimize impact on the pedestrian experience and neighboring properties by following the standards below:

- a. Utilities and equipment, service, non-passenger loading, and storage areas shall be located inside of buildings or on non-primary street frontages, alleys, parking areas, and/or at the rear or side of building. Utilities and equipment, service, non-passenger loading, and storage areas shall not be located within the front setback area, along mid-block pedestrian connections, within the public right-of-way, or within 25 feet of a street corner.
- b. Utilities and equipment, service, non-passenger loading, and storage facilities shall not be located within minimum setback areas and shall be fully screened from view to the following screening standard (see *Service, Utility, and Equipment Screening* standard below).
- c. Refuse collection areas shall be located inside of buildings or inside of enclosures located along alleys or in parking areas and shall be fully screened from view to the following screening standard (see *Service, Utility, and Equipment Screening* standard below)
- d. Refuse collection areas are prohibited on primary frontages, typically the front lot line.

11. Service, Utility, and Equipment Screening. Screening of service and storage areas, refuse collection areas, utilities and equipment shall meet the following standards (unless otherwise prohibited by the utility provider):

- a. Screening shall be equal to or higher than the height of the equipment to be screened.
- b. Screening shall be made of a primary exterior finish material used on other portions of the building, architectural grade wood or masonry, metal, or landscape screening that forms an opaque barrier when planted (See *Landscaping* Section).

Site Design and Access Guidelines

1. **Passenger Pickup and Drop-Off Areas.** Flexible drop-off/pickup areas for taxis and ride hailing services are encouraged near transit stops and areas of high pedestrian activity, and should be designed with special striping, paving, bollards, and/or signage to distinguish them from the street or sidewalk. See Chapter 5 Transportation and Public Spaces for additional details and requirements.
2. **Car-Share Access.** When possible, provide designated parking spaces for car-share services.
3. **Creek Activation.** Placement of active uses adjacent to Calabazas and Saratoga Creeks is highly encouraged, and specifically at the intersection with El Camino Real.



Photo Credit: GreaterPlaces.com

Parking Design Standards

As El Camino Real evolves from an auto-oriented commercial thoroughfare to a pedestrian-scale, mixed-use corridor, parking needs, format, and design will change. Existing surface parking lots and on-street parking will be consolidated, and new parking structures and bike parking facilities will be provided. Structured parking and parking with storage solutions such as mechanized or lift systems are strongly encouraged over surface parking. Parking structures should be integrated into the overall development and design. To reduce their impact on the pedestrian environment, all parking lots, structures, and facilities shall be designed using the standards below. For additional off-street parking and loading regulations, including parking ratios, dimensions, design standards, and parking lot landscaping, refer to the Santa Clara Zoning Ordinance. Additional parking requirements and strategies for the Plan Area, including required vehicle and bicycle parking spaces, can be found in *Chapter 5 Transportation and Public Spaces*.

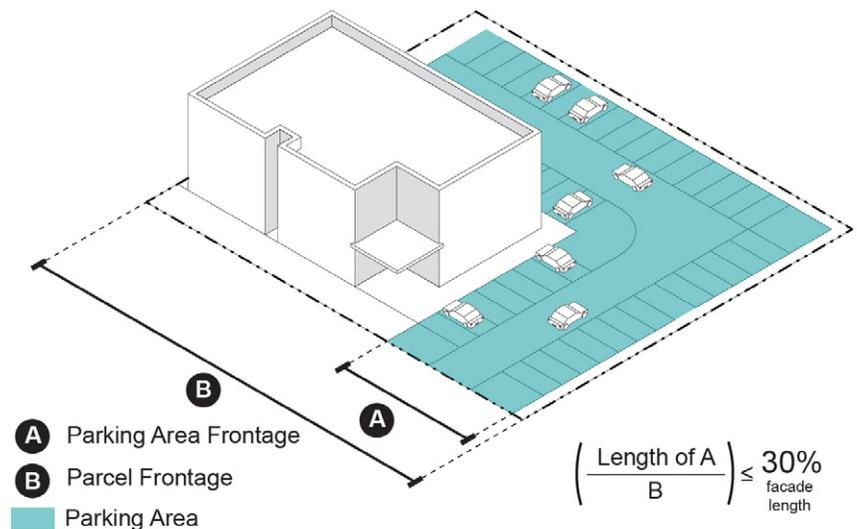
1. Limitation on Parking and Loading Frontage. To strengthen the presence of buildings on the street, vehicle access, loading, service, and off-street parking shall follow the following standards:

- a. No more than 30% of the primary street frontage or 50 feet, whichever is greater, shall be devoted to parking garages and openings, carports, open/surface parking, loading entries, or utilities access. This limitation does not apply to frontages along alleys.
- b. Off-Street parking, loading, service, and vehicular circulation areas are prohibited between the building and the El Camino Real and/or primary street frontage (the front lot line), except for driveway access.
- c. Parking, vehicular circulation, loading, and service areas shall be located behind the minimum setback or 5 feet from the back of walk, whichever is greater.
- d. Parking shall not be located within 50 feet from street corners.

2. Parking Location/Orientation. Off-street parking shall be located in one of the following facilities and oriented as follows:

- a. Surface parking lots, garages, or carports located to the side or rear of buildings in relation to adjacent streets. (If a site fronts on two or more streets, the standard shall apply on the street with the higher classification. Determination of which street is a higher classification shall be made by the Director based on total paving width, amount of traffic, adjacent traffic controls, and likely destinations along each street in question. If the Director makes a determination that a site fronts on two public streets of equal classification, the project applicant may determine on which frontage to meet the standard.)
- b. For townhouses, garages with side entries, in which the face of the garage door is generally perpendicular to the fronting street.
- c. For townhouses, individual garage doors that face the street but do not occupy more than 40% of the width of any street-facing building facade. Where this option is used, garages shall be set back at least five feet behind the front facade of the dwelling or the front of a covered porch.

Figure 4-24. Limitation on Parking and Loading Frontage.



- d. Parking structures in which parking is located underground or the exterior facades are treated with an external skin, facade articulation strategy, or an integrated building facade (See also Parking Structure Design and Screening standard).
3. **Marked Parking Entrances.** Parking entrances shall be clearly marked with signage.
 4. **Pedestrian-Designated Entrances to Parking.** For parking structures, a clearly delineated pedestrian entrance that is physically separated from the vehicle entrance shall be provided. Pedestrian pathways shall be clearly delineated by using projecting elements, awnings, signs, or other architectural details to highlight pedestrian entrances to parking structures. (See also Pedestrian Routes through Parking Areas standard)
 5. **Parking Structure Design and Screening.** Except for garage entrances, structured parking shall not be visible from the street, or any adjacent public park or publicly-accessible open space area. Public-facing elevations of parking structures shall be integrated into the building architecture and/or screened from public view by meeting the following standards:
 - a. All ground floor parking levels facing a public right-of-way, publicly-accessible open space or path, or designated open space shall be lined/wrapped with residential or commercial uses (where allowed by the land use designation) with a minimum depth of 20 feet.
 - b. All portions of partially subgrade parking visible above grade shall be designed and treated with the same level of detail, material quality, and facade articulation as other facade areas and/or screened with landscape screening (e.g. shrubs, landscaped trellises) and/or crafted ornamental metal screens. Any portion of the screening that is between 3 and 7 feet above the adjacent grade shall be at least 20 percent transparent but not more than 80 percent transparent (vehicular access openings shall be exempt from this standard).

- c. Parking levels above the ground level may extend to the building facade but shall be designed and treated with the same level of detail and material quality as other facade areas (e.g. Facade articulation and modulation, use of real windows with glazing or false windows defined by frames, lintels, or sills). No more than two levels of parking shall extend to the building facade.

Parking Design Guidelines

1. **Surface Parking Screening.** Surface parking lots should be avoided. Where provided, they should be screened from adjacent streets. Screening should provide visual interest, but should not be so large and dense that the screening elements (such as walls or landscaping) limit pedestrian access and sight lines for safety and security. (Refer to the Landscaping standards in this chapter and the Santa Clara Zoning Ordinance).
2. **Garage Entries.** Garage entries should be integrated into building facades using architectural techniques, matching facade or material treatments, and/or by partially recessing the entries into the building. Door design treatments and details should minimize the apparent width of the entrance in accordance with the building's predominant architectural character.





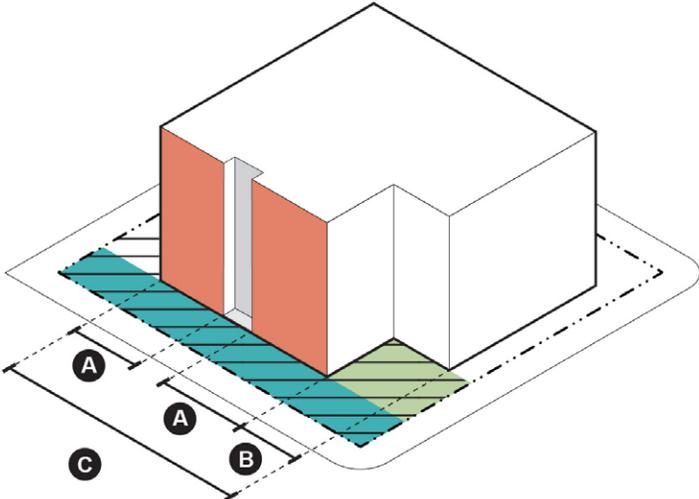
Building Form and Design

Architectural Character, Massing, and Facade Design Standards

Architectural character, massing, and facade design play a large role in developing the desired character for an area, and complement the guidance for building setbacks, height, and intensity found elsewhere in this chapter. Important details such as style, building form, scale, and high-quality architectural elements play a crucial role in creating a memorable, beautiful, and pedestrian-scaled places with buildings that contribute to the public realm. A wide range of architectural styles is encouraged along El Camino Real to add richness and variety to the built environment. The goal of these design standards is to encourage good design while allowing for creativity, flexibility, and exceptional architecture along the corridor.

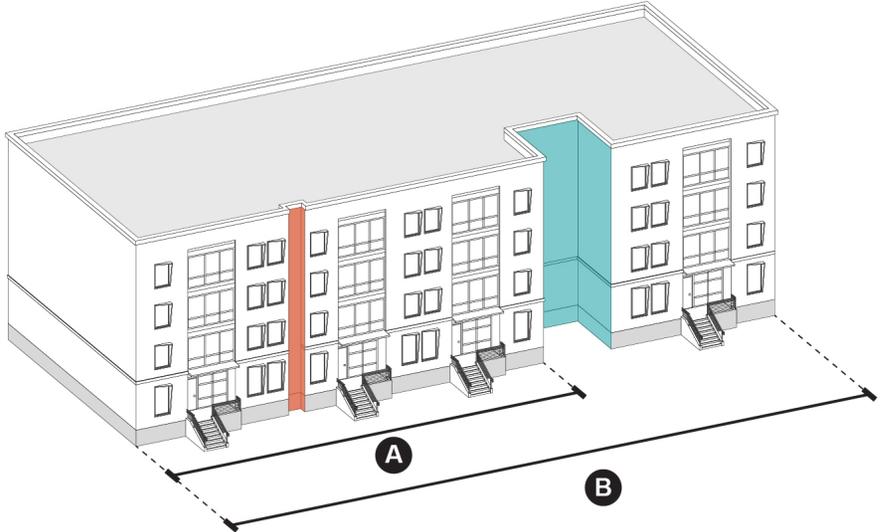
- 1. Building Frontage Location.** At least 75% of the building facade shall be located within the minimum and maximum setback lines; up to 25% of the building facade may be located behind the maximum setback to allow for massing breaks, forecourts, plazas, etc. Publicly-accessible plazas/open spaces may be subtracted from the overall facade length to calculate the minimum percentage of building facade to be located within the setback range.
- 2. Building Breaks.** No single building or facade along a primary frontage shall be longer than 600 feet without a building break/separation (see also Smaller Blocks and New Connections standard).
- 3. Major Massing Breaks.** Buildings greater than three stories in height with a building facade greater than 200 feet in length shall have a minimum of one major massing break. Major massing breaks shall be a minimum of five feet deep and a minimum of 10 feet wide and shall extend the full height of the building including a break in the roofline.

Figure 4-25. Building Frontage Location



- Front setback area
 - Minimum front setback area
 - Publicly-accessible plaza or open space
 - A** Facade located at minimum front setback
 - B** Publicly-accessible plaza or open space
 - C** Building frontage
- Where:
- $$\left(\frac{A}{C - B} \right) \geq 75\%$$

Figure 4-26. Massing Breaks



- A** Minor break for building lengths ≤ 100 long
- B** Major break for buildings lengths ≥ 200' long

Building facades greater than 400 feet in length shall include at least two major massing breaks with one major break with a minimum depth of 10 feet and minimum width of 20 feet.

4. Minor Massing Breaks. Continuous building facades greater than 100 feet in length shall have at least one minor massing break through the use of varying setbacks, building entries and recesses, or structural bays. Minor breaks shall be a minimum of 2 feet deep and four feet wide and shall extend at minimum the full height of the building above the ground floor, including a break in the roofline.

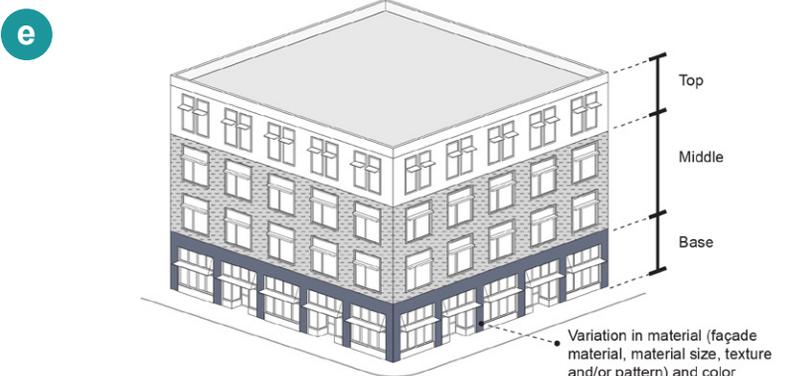
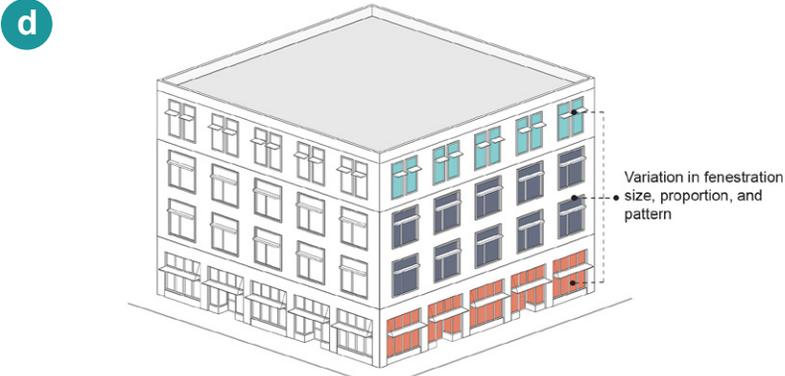
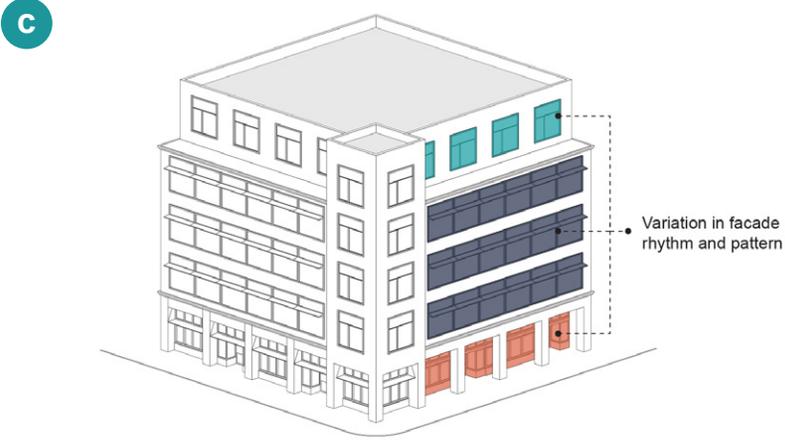
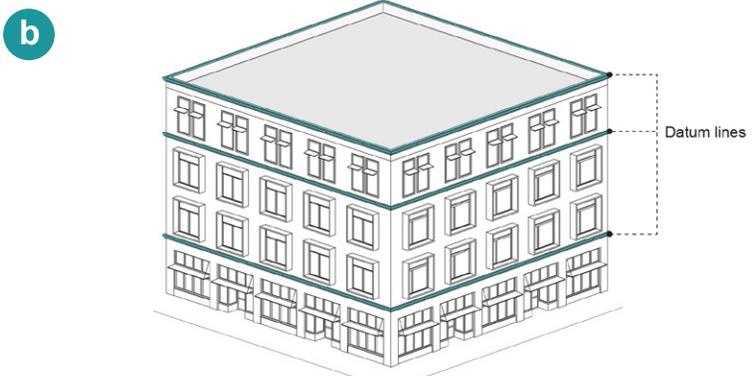
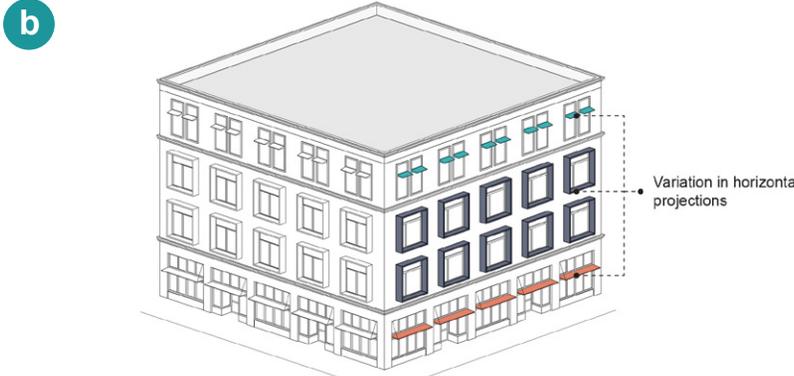
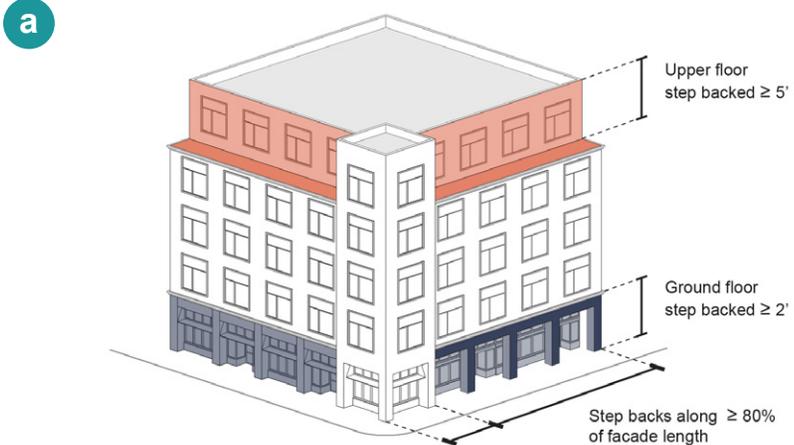


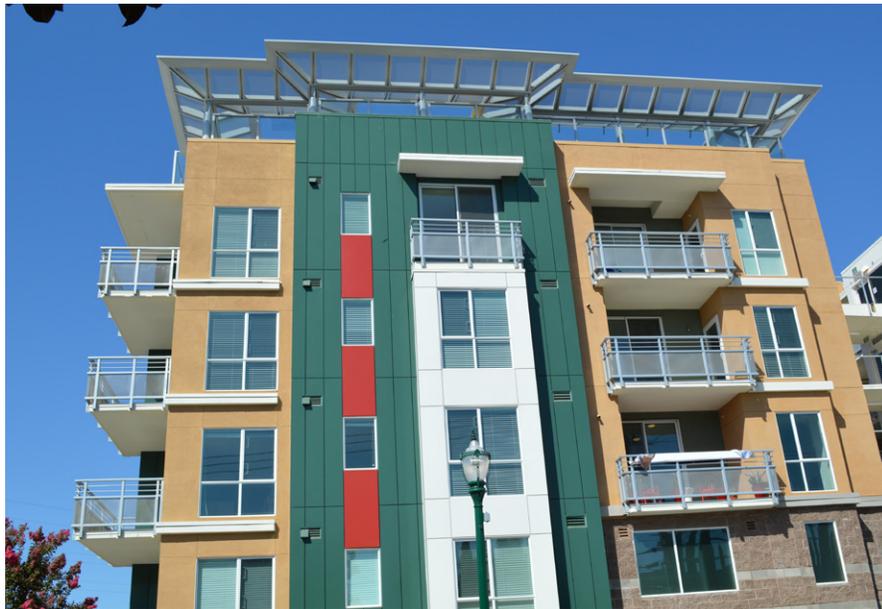


5. **Building Components (Base/Middle/Top).** Buildings four stories and higher, on lots wider than 75 feet, shall be designed to differentiate a defined base, a middle or body, and a top, cornice, or parapet cap. Buildings three stories or less on lots wider than 75 feet shall include at minimum a defined base and top. Each of these elements shall be distinguished from one another for a minimum of 70% of the facade length through use of two or more of the following:

- a. **Horizontal facade modulation.** Horizontal facade modulation which could include upper floor or ground floor step backs. Ground floor step backs shall include a horizontal shift of the ground floor facade with a minimum depth of two feet to create an overhang or arcade. Upper floor step backs shall include at minimum a five-foot step back from the primary facade for a minimum of 80% of the length of the facade.
- b. **Horizontal facade articulation and/or variation in facade articulation strategy** (see *Facade Articulation* standard).
- c. **Variation in facade rhythm and pattern** (see *Facade Rhythm and Pattern* standard).
- d. **Variation in fenestration strategy** (size, proportions, pattern, and depth or projection) (see *Fenestration* standard).
- e. **Variation in material** (facade material, material size, texture and/or pattern) and color.

Figure 4-27. Building Components (Base/Middle/Top)





6. Facade Articulation. Building facades shall use a variety of strategies including building modulation, fenestration, and facade articulation to create visual interest and express a variety of scales through a variety of strategies. All facades shall include a minimum of two of the following facade articulation strategies to create visual interest:

- a. Recesses.** Vertical and horizontal recesses such as a pattern of recessed grouping of windows, recessed panels, or similar strategies. The recess shall be a minimum four inches in depth.
- b. Projections.** Vertical and horizontal projections such as shading and weather protection devices, applied art reliefs and sculptures, decorative architectural details, or similar strategies. Projections shall be a minimum four inches in depth. Art reliefs are exempt from minimum depths.
- c. Datum lines.** Datum lines that continue the length of the building, such as cornices, with a minimum four inches in height and a minimum two inches in depth with a change in material.
- d. Balconies.** Balconies, habitable projections, or Juliet balconies (every 20 to 50 feet). Balconies shall be a minimum of four feet in depth; habitable projections shall be a minimum of two feet in depth; Juliet balconies shall be a minimum of four inches in depth.
- e. Screening devices.** Screening devices such as lattices, louvers, perforated metal screens, or similar strategies; that are distinct in material from the primary facade.
- f. Fine-grained materials.** Use of fine-grained building materials, such as brick or wood shingles, not to exceed eight inches in either height or width.

7. Facade Rhythm and Pattern.

a. Residential and residential mixed-use buildings shall express a rhythm and pattern that reflects the size and scale of a housing unit and/or individual rooms and spaces. This may be achieved with building modulation to create vertically-oriented facades (height greater than the width of the facade), facade articulation, and repeating vertically-oriented patterns of fenestration as follows:

- i. Facades shall use vertical patterns of building modulation, facade articulation, and fenestration (see Figure 4-28). This rhythm shall be between 20 to 50 feet in width for housing units or 10 to 20 feet in width for individual rooms and spaces; OR
- ii. Facades that use horizontal articulation and fenestration patterns shall incorporate a vertical shift in modulation (minor massing break) with a minimum dimension of four feet wide and two feet deep at least once every 50 feet of facade length (see Figure 4-28).

c. Ground floor storefront uses shall express a vertical rhythm not to exceed 20 to 50 feet in width.

8. Fenestration. Fenestration shall meet the following standards:

- a. Fenestration shall reinforce vertical proportions and patterns with vertically oriented windows that shall not exceed a 2:1 horizontal-to-vertical ratio.
- b. Windows that are flat or “flush” with the facade are prohibited unless applied to a portion of a building that is part of a recessed facade modulation as identified horizontal or vertical shift modulation strategies in the Facade Articulation standard above.
- c. Windows shall be recessed a minimum of two inches to provide a “punched” recessed character or window trim shall be a minimum of two inches in width and depth.
- d. Curtain walls, if used, shall have a vertical orientation of mullions, joints, or solid panels that create a vertical pattern that does not exceed a 2:1 horizontal-to-vertical ratio.

Figure 4-28. Facade Rhythm and Pattern

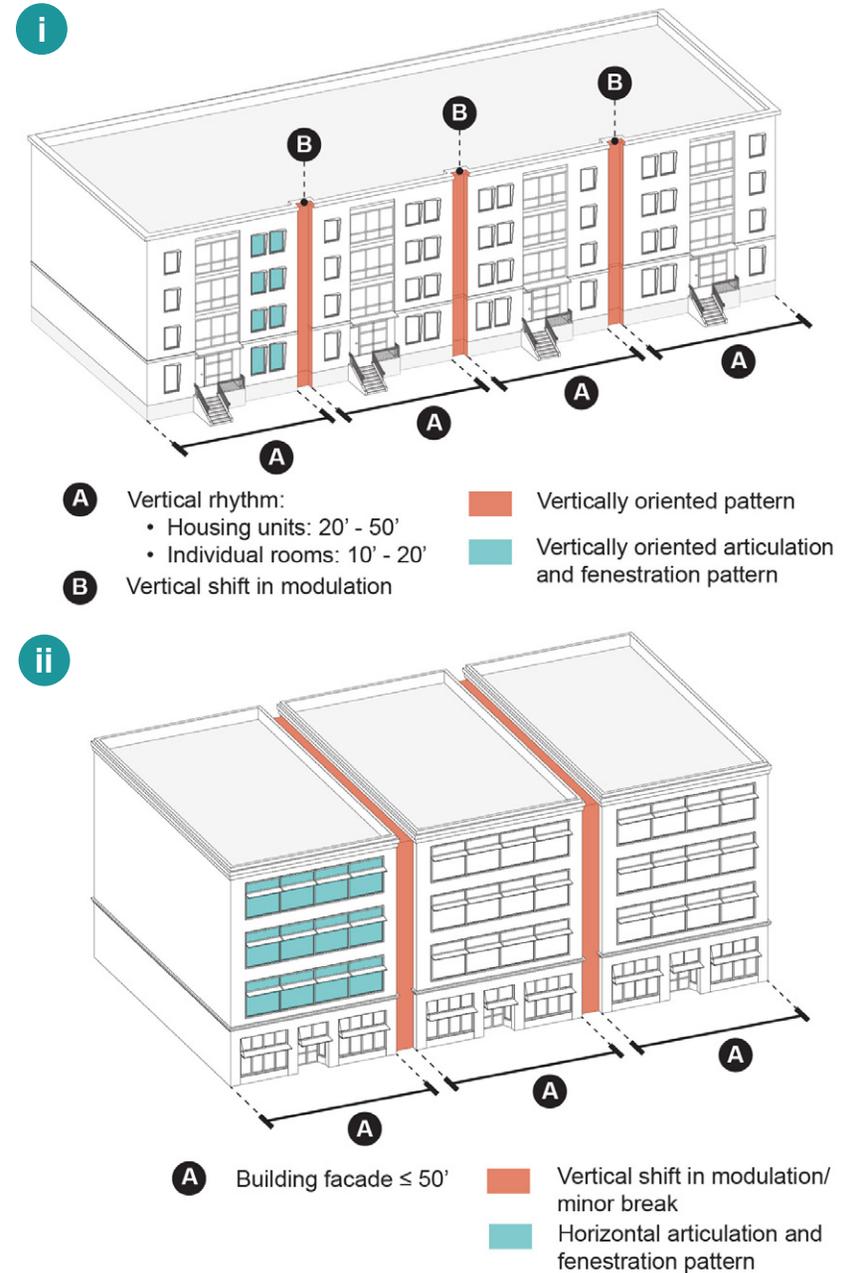
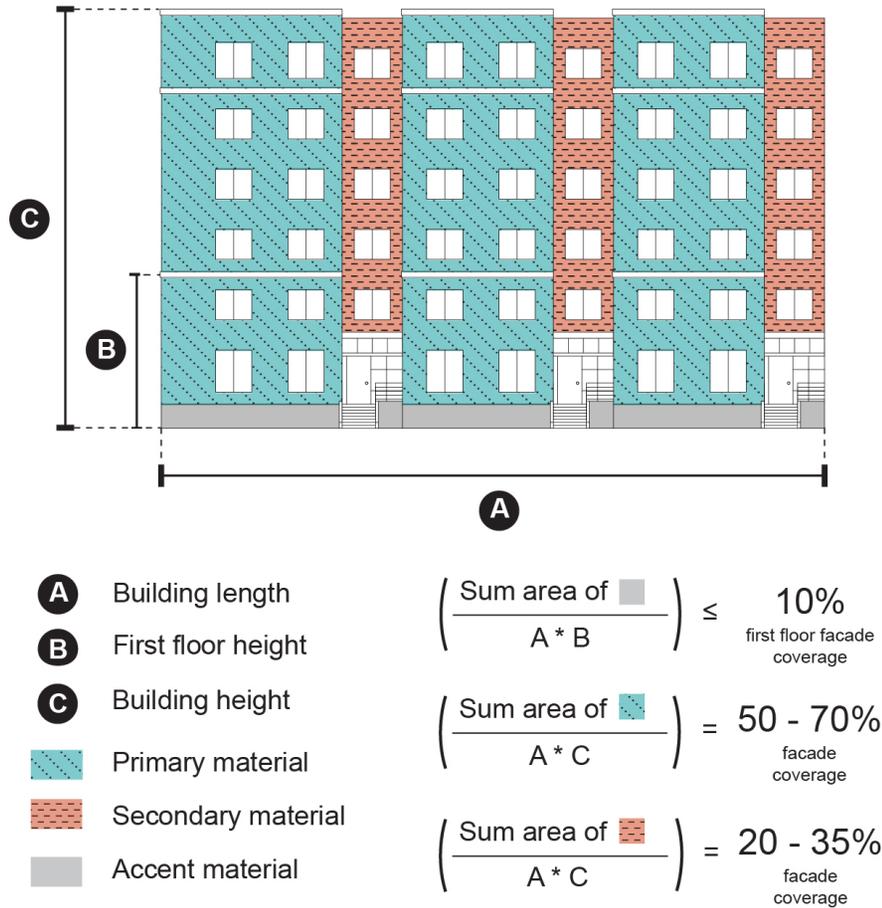


Figure 4-29. Materials and Finish



9. Materials and Finish. Each facade shall include the following material design:

- a. High-quality, durable finishing materials which include concrete, steel, stone, brick, tile, hardwood, stucco, and glass. Low quality materials including corrugated metal, stucco foam trim, and T1-11 siding are prohibited.
- b. Durable finish and/or accent material, such as masonry, stone, and/or finished metal to cover up to 10% percent of the first floor of the front facade (excluding building trim).
- c. Variation in building materials. Primary material shall cover between 50 to 70 percent of each exterior (excluding windows, doors, garage doors, and building trim). A secondary material (or multiple materials) shall cover the remainder of each facade (excluding windows, doors, garage doors, and building trim) between 20 to 35 percent.

10. Building Component Colors. All vents, gutters, downspouts, flashing, electrical conduits, etc., shall be painted to match the color of the adjacent surface.



Photo credit: Brick-inc.com

Building Entries and Ground Floor Character Standards & Guidelines

Active and well-designed frontages and facades help create engaging streets and sidewalks, a cohesive look and feel to an area, and a comfortable and attractive environment for residents, employees, and visitors. The standards and guidelines below provide design guidance for new development to create a more pedestrian-friendly environment, including specific direction depending on which type of active ground floor use – retail or residential – is being provided.

1. **Primary Building Entries.** Primary building entrances shall meet the following standards:
 - a. Primary building entries shall be at or above the back of sidewalk grade. If ADA ramps are provided for above-ground entries, they shall be integrated into the facade design and/or shall be located to the side or rear of the building or entry to the extent feasible. If located along the primary frontage running parallel to the sidewalk, they shall include a landscape buffer/planter between the ramp and sidewalk with a minimum depth of two feet.



- b. Primary entries shall meet one of the following standards:
 - i. Primary building entries shall be located on and directly face a public right-of-way or publicly-accessible path/open space; OR
 - ii. Primary building entries shall be visible from a public right-of-way or publicly-accessible path/open space through a forecourt or front porch.
 - c. Primary building entries (excluding individual residential entries) shall be accentuated from the overall building facade through a facade modulation that includes at least one of the following:
 - i. A recess or projection from the primary facade plane with a minimum depth of two feet;
 - ii. A change in roof form;
 - iii. Weather protection that is a minimum 4 feet wide and 4 feet deep by recessing the entry, providing an awning/canopy or using a combination of these methods.
2. **Frequency of Entrances.** The maximum distance between shared residential building entrances along the same frontage shall be no more than 100 feet. Corner commercial uses shall have a corner entrance or an entrance along each street frontage.
 3. **Front Yard Setback Character.** Required setbacks shall provide landscaped areas to create a transition between public and private space. The following standards apply based on intended use, and are exclusive of areas devoted to the required dedication/public easement to meet the new 20-foot sidewalk requirement, outdoor seating, front porches, door swing of building entries, and publicly-accessible open space:
 - a. **Ground-floor retail or active uses.** A Minimum of 20% of the required setback.
 - b. **Other ground-floor non-residential uses.** A minimum of 40% of the required setback area.
 - c. **Ground-floor residential uses.** A minimum of 60% of the required setback area.



Photo Credit: KDA Architects

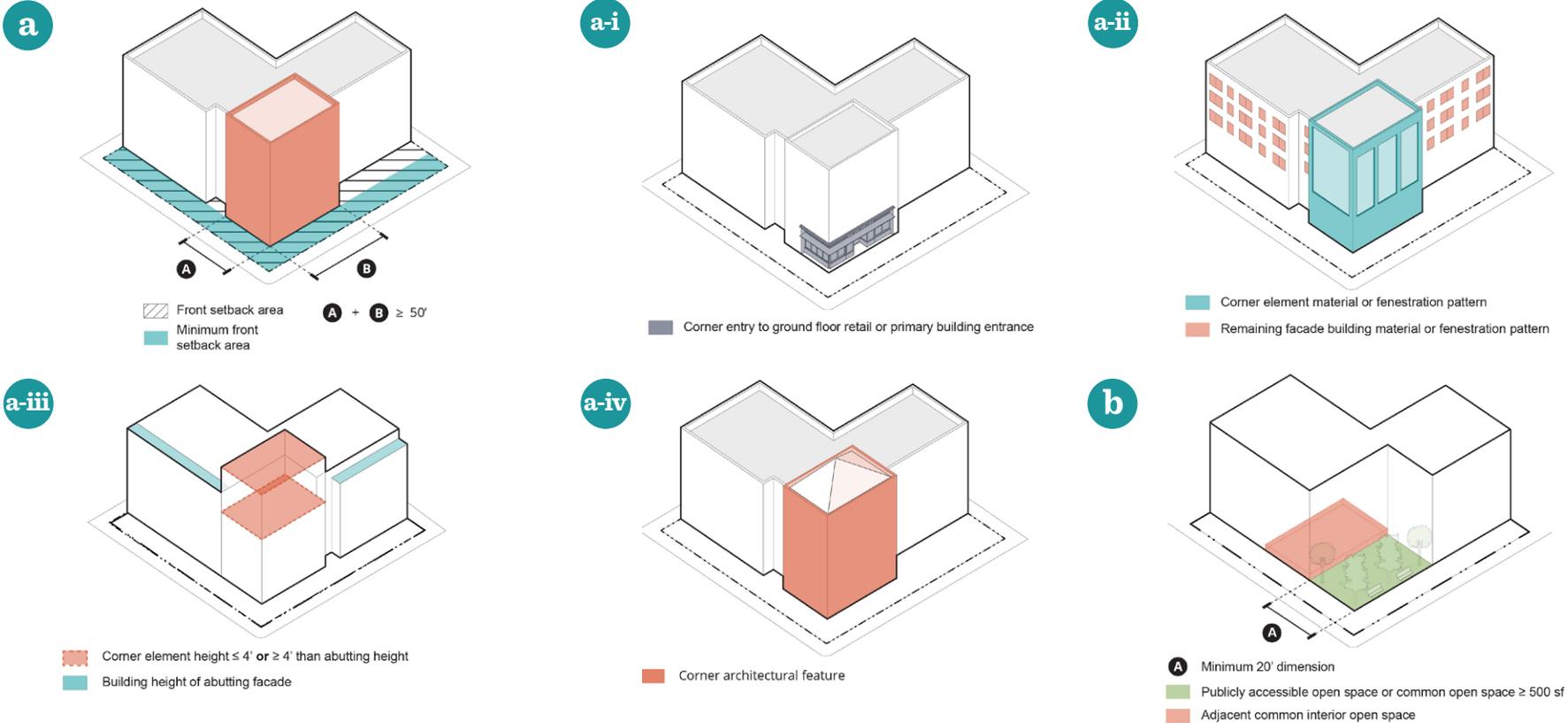


4. Treatment of Corner Buildings. Corner buildings greater than 40 feet or three stories in height shall include at least one of the following special features:

- a.** Building facade shall be located at the minimum front yard setback or build-to-line for a minimum aggregated length of 50 feet in length on both facades meeting at the corner and shall include one or more of the following building features:
 - i.** An entry to ground floor retail or primary building entrance located within 25 feet of the corner of the building.
 - ii.** A different material application and/or fenestration pattern from the rest of the facade.
 - iii.** A change in total height of at least four feet greater or less than the height of the abutting primary facade.
 - iv.** A special architectural feature such as a rounded or cut corner, tower/cupola, or similar.
- b.** An open space with a minimum dimension of 20 feet and minimum area of 500 square feet. The open space shall be one of the following:
 - i.** A publicly accessible open space/plaza.
 - ii.** A space used for outdoor seating for public dining.
 - iii.** A residential Common Open Space adjacent to a common interior space and less than two feet above adjacent sidewalk grade. Fences and railing shall be a minimum 50% transparent. (*Note:* This option does not apply to corner locations along El Camino Real).

5. Blank Walls. Blank walls (facades without doors, windows, landscaping treatments, artistic treatments, or facade articulation as identified in the *Facade Articulation* standard) shall be less than 30 feet in length along sidewalks, pedestrian walks, or outdoor spaces. For parking structure facade treatments and screening, see the *Parking Structure Design and Screening* standard.

Figure 4-30. Treatment of Corner Buildings



6. Glass. Mirrored glass is prohibited in order to minimize off-site glare and maximize transparency.

7. Projections and Encroachments. Projections and encroachments shall meet the following standards:

a. Upper-floor encroachments:

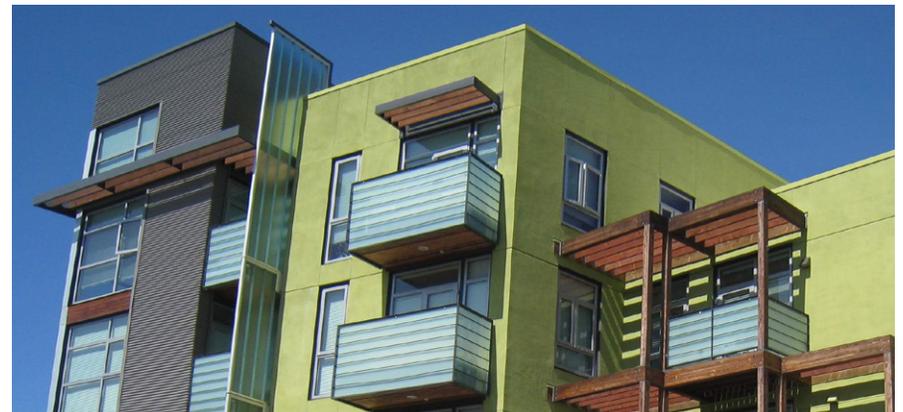
- i.** In areas where no or a minimal setback (5 feet or less) is required, upper-floor building projections, such as balconies, bay windows, dormer windows, eave overhangs, and similar features projecting from the principal building shall not project beyond a maximum of 3 feet from the building face into the required setback or public spaces.
- ii.** In areas where setbacks are greater than 5 feet, upper-floor building projections, such as such as balconies, bay windows, dormer windows, eave overhangs, and similar features shall not project beyond a maximum of 5 feet from the building face into the setback area, and provided such features shall be at least 3 feet from any interior side or rear property line.
- iii.** Weather protection features such as canopies and awnings shall not project beyond a maximum of 6 feet horizontally from the building face at the property line or at the minimum setback line.
- iv.** The total area of all building projections shall not exceed 35% of the primary building facade area. Primary building facade is the facade built at the property or setback line.
- v.** Upper-floor building, architectural, and weather protection projections shall have a minimum vertical clearance of 8 feet above grade.
- vi.** Any projection over City property is subject to City discretion and issuance of an encroachment permit. Projections shall not encroach into the Caltrans right-of-way.

b. Lower-floor encroachments:

- i.** Covered porches may encroach a maximum of 8 feet into any required front yard or street side yard setback and to within 2 feet of the back of walk.
- ii.** Uncovered and unenclosed porches, decks, patios, stoops, and other similar features may encroach into required street yard setbacks within 2 feet of the back of walk (new back of walk along El Camino Real) and to within 5 feet of any interior side and rear property line.
- iii.** Steps and stairs may encroach to within 5 feet of any interior side and rear property line, and up to 100% of the depth of any required street yard setback, but may not encroach into the sidewalk (new back of walk along El Camino Real).

c. Other allowed encroachments:

- Uncovered and unenclosed walkways and driveways;
- Handrails;
- Fences, railings, walls, and landscape planters (see Fences and Walls section for additional standards)
- Bicycle parking;
- Permanent seating;
- Public art.



Non-Residential Ground Floor Design

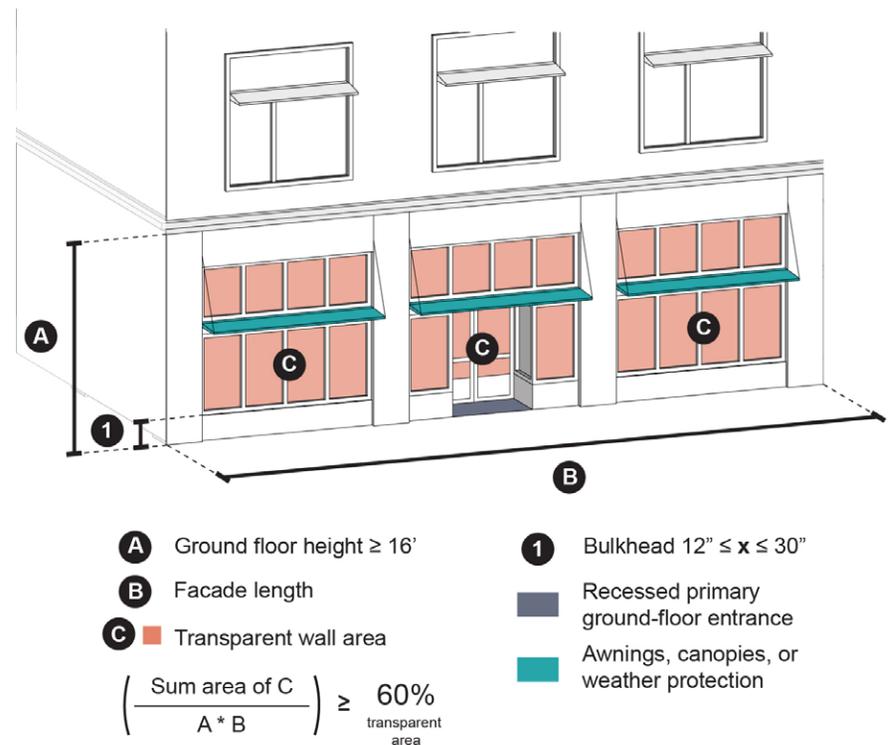
Well-designed ground floor retail spaces can encourage and support a diverse range of retail activities from small, neighborhood-oriented commercial to regional shopping destinations. Retail and restaurant frontage and setback areas are strongly encouraged to incorporate active spaces including shopfronts, outdoor seating and dining areas, and retail stands and kiosks as well as regular doors and windows, community gathering areas, bicycle parking, public open spaces, plazas, and landscaped areas. In addition to the Building Entries and Ground Floor Character standards for all uses listed above, the following standards apply to non-residential ground floor uses (see Figure 4-10 Ground Floor Commercial Overlay for locations where ground floor commercial is required).

1. Retail/Storefront Ground Floor Design.

- a. **Ground floor height.** Ground floor height shall be a minimum 16 feet interior floor-to-ceiling height.
- b. **Minimum tenant space depth.** All ground floor commercial/retail tenant spaces shall be at least 50 feet deep for a minimum of 50% of primary street building facades. All other commercial frontages shall be a minimum 30 feet in depth. Parcels less than 100 feet in depth are exempt from this requirement.
- c. **Minimum tenant space width.** Ground floor retail and commercial shall have tenant space width of at least 16.5 feet.
- d. **Transparency.** Ground floor retail and commercial uses shall contain clear openings and windows for a minimum of 60% of the total area of the first floor facades facing sidewalks, pedestrian walks, or publicly-accessible outdoor space areas. Transparent glazing shall have a minimum Visible Transmittance (VT) value of 60 and be without tint or coloration.

- e. **Bulkheads and solid base walls.** If provided, shall not be less than 12 inches or higher than 30 inches.
- f. **Weather protection.** Primary ground floor entrances shall include weather protection that is a minimum 6 feet wide and 4 feet deep by recessing the entry, providing an awning/canopy, or using a combination of those methods.

Figure 4-31. Retail/Storefront Ground Floor Design





Live/work unit

2. Non-Storefront Ground Floor Design.

- a. Ground floor height shall be a minimum 14 feet floor-to-ceiling or shall match the 2nd floor datum line of an abutting building.
- b. Transparency shall include a minimum 50 percent transparent glazing between 2 and 10 feet in height from sidewalk or terrace grade.
- c. Lobbies, common amenity spaces, leasing offices, and similar non-residential spaces that are a part of new mixed-use development shall provide direct access to an adjacent street, patio, or open space.
- d. Primary entries shall include weather protection that is a minimum 8 feet wide and 6 feet deep by recessing the entry, providing an awning/canopy, or using a combination of these methods.

3. **Venting.** Venting for cooktops, ovens, and other food heating equipment shall be incorporated in the design of retail and commercial spaces to accommodate restaurant and food-service tenants.
4. **Grease Traps.** All ground floor retail and commercial tenant spaces shall have access to a grease trap that meets health codes.
5. **Structural Columns.** Structural columns shall be at least 20 feet from each other in each direction to facilitate functional tenant space configuration.
6. **Awning Placement.** Awnings, canopies, and weather protection placement shall be as follows:
 - a. Awnings/canopies must provide a minimum of eight feet of vertical clearance over the sidewalk.
 - b. When transom windows are above display windows, awnings, canopies and similar weather protection elements shall be installed between transom and display windows. These elements should allow for light to enter the storefront through the transom windows and allow the weather protection feature to shade the display window.
 - c. Awnings may be fixed or retractable.
 - d. Awnings, canopies and other weather protection elements shall not extend across more than 80 percent of the facade. Instead, individual segments shall be installed over each storefront entry or set of storefront windows and shall not extend across wall sections, across multiple windows, or over columns.
7. **Outdoor Dining and Display.** Outdoor dining and displays are permitted and encouraged. Planters or railings shall be used to separate seating areas from the sidewalk. Outdoor dining areas located on side or rear yards may be fenced for security and screened for privacy. Designated outdoor dining areas shall maintain a minimum six-foot wide clear pedestrian sidewalk area and a minimum eight-foot tall vertical clearance. Outdoor dining and display areas shall not impede entrances or building access. Outdoor dining and displays are not allowed in the Caltrans right-of-way.

- 8. Single-Story Non-Residential Frontages.** For new single-story non-residential buildings, at least 75 percent of the street-facing portion of the building shall be at a height of at least 20 feet to the top of the parapet, to ensure pedestrian-supportive street presence and appropriate scale with neighboring uses.
- 9. Live/Work Unit Ground Floor Design.** When a live-work unit is located on a street-facing facade, the following standards shall apply:
- a. Minimum front/street side setbacks.** The minimum front/street side setback for live/work units shall be 10 feet from the back of walk.
 - b. Grade separation.** Street-facing live/work units shall be at grade or between 2 and 4 feet above grade.
 - c. Ground-floor height.** The ground floor of live-work units shall have a minimum floor-to-ceiling height of 13 feet.
 - d. Minimum non-residential portion design and dimensions.** The portion of each such live-work unit in which work/business is conducted must be a minimum of 300 square feet and must be located between the street and the residential portion of the live-work unit, or on the ground floor with the live portion located on an upper floor. The non-residential portions of the unit shall meet the following:
 - i.** Extend the width of the street-level, street-facing facade;
 - ii.** Be a minimum depth of 15 feet from the street-level, street-facing facade;
 - iii.** Not contain any of the primary features of the residential (live) portion of the live/work unit, such as kitchen, sleeping, or laundry facilities, or bathrooms containing a shower or bathtub; and
 - iv.** Include a divider or partition between the non-residential and residential portions of the unit.
 - e. Entries.** Each live/work unit shall have a pedestrian entry on the street-facing facade that provides direct access to the non-residential portion of the unit. A separate entry for the residential portion of the unit shall be provided through a consolidated/central entrance along the street-facing facade or individual residential entries located at the rear or side of the building.
 - f. Weather protection.** Primary ground floor entrances shall include weather protection that is a minimum 6 feet wide and 4 feet deep by recessing the entry, providing an awning, or using a combination of those methods.
 - g. Transparency.** The ground floor of live/work units shall contain clear openings and windows for a minimum of 60% of the total area of the first floor facades facing sidewalks, pedestrian walks, or publicly-accessible outdoor space areas. Transparent glazing shall have a minimum Visible Transmittance (VT) value of 60 and be without tint or coloration. Transparent areas shall be designed and maintained to provide views into and out of the non-residential portion of the live/work unit.
 - h. Bulkheads and solid base walls.** If provided, shall not be less than 12 inches or higher than 30 inches.
 - i. Signage.** Each live/work unit shall include an exterior sign with the name of the business associated with the live/work unit. Such signage shall be clearly associated with the unit and visible to pedestrians outside of the building.
 - j. Ventilation.** All live/work units shall be provided with at least one operable window. A ventilation system shall be installed subject to the approval of the Chief Building Official and Fire Marshal for any live/work activity which requires additional ventilation or which generates hazardous fumes or dust.
 - k. Changes in use.** After approval, a live/work unit shall not be converted to entirely residential use unless authorized through a Minor Use Permit approval.



Residential Ground Floor Design

Ground-floor residential frontage and setback areas are encouraged to include stoops, stairs, patios, terraces, gardens, and active lobby spaces that will foster greater social interaction and activate the street, as well as appropriate transitions between public and private space. In addition to the Building Entries and Ground Floor Character standards for all uses listed above, the following standards apply to residential ground floor uses (see *Non-Residential Ground Floor Design* section for Live/Work design standards).

1. Residential Ground Floor Design.

- a. The finished floor of ground floor residential units shall be within the minimum and maximum heights according to setback distance from back of walk identified in the figure to the right, and as follows (see Figure 4-32):
 - i. At 10-foot setback, minimum finished floor height shall be 5 feet above grade.
 - ii. At 15-foot setback, minimum finished floor height shall be 3.5 feet above grade.
 - iii. At 20-foot setback, minimum finished floor height shall be 2 feet above grade.
 - iv. Maximum finished floor height shall be 8 feet above grade.
- b. On sites with a cross slope greater than 2% along a building facade, the average height of the finished floor and back of walk shall be used. Where ADA accessibility requirements prohibit raised unit entries for some or all units, those units are exempt. For corridor buildings, accessible entries shall be located on the corridor.
- c. Ground floor units where the front setback is 15 feet or greater shall have a minimum of one tree per 35 linear feet of facade located in the building setback, and shall include ground cover and/or shrubs to limit views into residential units.

- d. A minimum of 50% of the ground floor residential units that face a public right-of-way or publicly-accessible path, or open space shall have a unit entry with direct access to the sidewalk, path, or open space. (Senior units or other deed-restricted units for special populations are exempt.)
- e. Primary ground-floor entrances serving residential uses shall include weather protection that is a minimum 4 feet wide and 4 feet deep by recessing the entry, providing a porch, providing an awning/canopy, or using a combination of these methods.

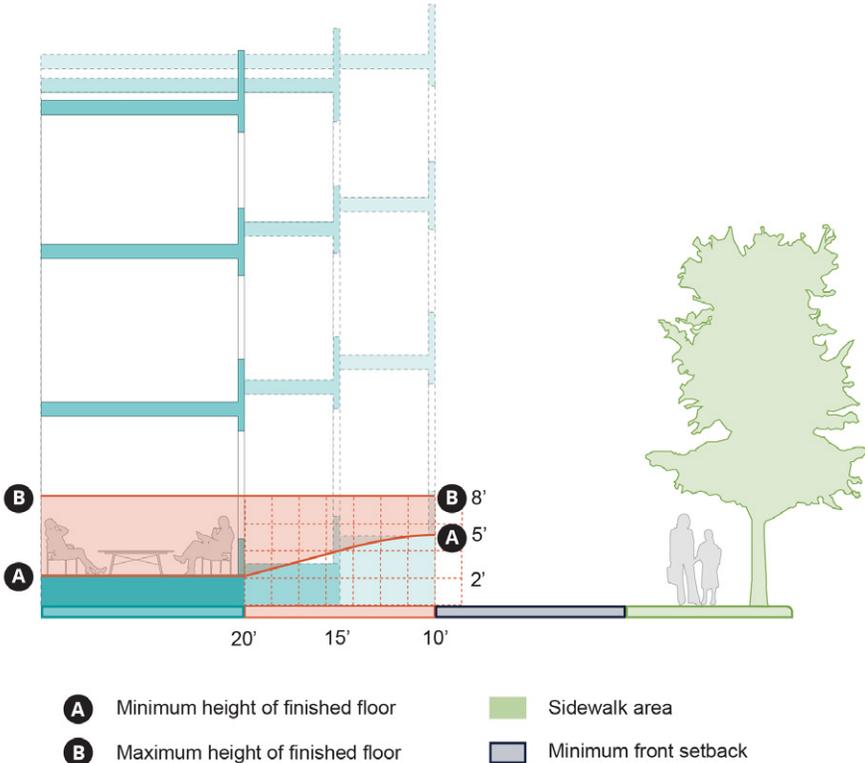
Sustainable Design Features

Sustainable design features can enhance durability, improve air and water quality, conserve natural resources, reduce solid waste, optimize building performance, and minimize impacts on existing infrastructure. The following standards and guidelines will help achieve long-term sustainability in the Plan Area and help the City reach its goal of creating a more sustainable, healthy, and livable community.

Sustainable Design Standards

1. **Green Buildings.** New development shall achieve the mandatory elements of CalGreen as required by State law, but should seek opportunities to exceed, pursue, and achieve CalGreen Tier 1 or 2. LEED for Building Design and Construction (LEED-BD+C), GreenPoint, or similar green building certification or qualifying elements/standards are also strongly encouraged for new development.
2. **Solar-Ready Buildings.** All new buildings shall be built with solar-ready electrical systems/hardware and provided with adequate roof surface area for these systems.
3. **Stormwater Treatment.** New development shall integrate stormwater catchment and treatment systems into its site and buildings.

Figure 4-32. Finished Floor Range for Ground Floor Residential Units





Sustainable Design Guidelines

1. **Sustainable Design.** Sustainable design features such as photovoltaic generation and passive solar water heating are encouraged.
2. **Sustainable Roofs.** Solar reflective roofing and green roofs are encouraged to reduce overall building energy needs and manage stormwater runoff.
3. **Operable Windows.** Operable windows should be used whenever possible to allow passive ventilation, heating, and cooling.
4. **Heat Island Effect.** All projects should strive to minimize the heat island effect, including strategies such as green roofs, high-reflective roof and paving materials, cool exterior siding, and vegetation shading over paved areas.
5. **Indoor Water Reuse.** New construction is encouraged to use on-site graywater systems to facilitate indoor water capture and reuse.
6. **Stormwater Harvesting.** Buildings are encouraged to reuse collected rainwater.
7. **District Systems.** District systems should be explored and are encouraged for stormwater management, sewer treatment, gray water re-use, energy generation, and shared heating/cooling.

Fences and Walls

Fences and walls separate public and private property, create defined gathering areas, and provide a sense of privacy. To ensure fences and walls are designed and used appropriately, they should be designed according to the following standards. Additional fencing and wall standards can be found in the City's Zoning Ordinance.

Fence and Wall Standards

1. **Commercial Fences.** No fences are permitted between commercial uses and El Camino Real or other major streets in the Plan Area. Fences to delineate outdoor dining or display areas are allowed up to 36 inches in height.
2. **Residential Fences.** All fences in residential areas shall be consistent with the City's existing residential fence requirements. Low fencing and gates up to 36 inches in height are allowed along residential building frontages in the front and street side yard setback area, with a maximum height of 6 feet for elsewhere on the property.
3. **Wall and Fence Design.** All new sound walls, masonry walls, or non-transparent fences 50 feet in length or longer, and 4 feet in height or taller shall be designed to minimize visual monotony through at least one of the following:
 - a. **Changes in plane.** An offset a minimum of 2 feet deep for every 50 feet to 75 feet of wall;
 - b. **Changes in height.** Wall inserts and/or decorative columns or pilasters every 20 feet to provide visual relief;
 - c. **Changes in material.** Changes in material and/or material texture;
 - d. **Landscaping.** Continuous and opaque landscape screening.



4. **Wall and Fence Materials.** Perimeter fencing, security fencing, walls, and gates shall be constructed of high-quality and durable materials, which includes brick, stone/masonry, tile, concrete, textile block, wood, iron, and steel. Chain link, barbed wire, razor wire, electrically charged wire, and corrugated metal fencing are prohibited.

Landscaping

Landscaping, plantings, and other naturalized areas provides shade, enhance the appearance and enjoyment of outdoor spaces, screen unsightly uses, and help soften the visual appearance of buildings and paving. Landscaping is envisioned to be consistent with the natural attributes of the region while helping to conserve water, reduce stormwater pollution, and reduce urban heat islands. New development projects should incorporate landscaping along building frontages, along pathways, and in public and private open spaces that incorporates the following strategies:

- Landscape treatments should reflect an urban character with the strategic use of planting areas, street trees, planter boxes, hanging baskets, and appropriate foundation plantings where practical. Potted plants are allowed onsite and in public easements along the El Camino Real frontage.
- Onsite plantings and furnishings should complement the building architecture and landscape character of the immediate area.
- Shaded trees should be planted along pedestrian routes.



- Plant materials should always be incorporated into new sites to provide “softening” of hard paving and building surfaces.
- Tree sizes should be suitable to lot size, the scale of adjacent structures, and the proximity to utility lines.
- Use locally riparian native species for areas adjacent to a riparian corridor.

The following standards and guidelines apply to landscaping on private development sites, as well as landscaping in public areas such as sidewalks, planting zones, public spaces, or frontage areas that provide a transition between public and private spaces. Existing healthy shrubs and trees may be used to satisfy any requirements of this section, provided they meet minimum size, spacing, and screening requirements. Chapter 5 Transportation and Public Spaces provides more detail about the design of sidewalks and public rights-of-way, including appropriate locations for plantings and street trees. Additional landscaping standards, including plant size, spacing, and width, and landscaping regulations for setbacks, signs, parking lots, and pedestrian pathways can be found in the City’s Zoning Ordinance.

Landscaping Standards

- 1. Private Street and Pathway Landscaping.** All publicly-accessible private streets and multi-use pathways shall provide a combination of trees, shrubs, and ground cover as follows (see also Santa Clara Zoning Ordinance):
 - a. Minimum of one tree per 35 linear feet of street/pathway. Palm trees cannot be used to satisfy the minimum requirement.
 - b. A minimum of 20% of the street right-of-way or pathway shall be planted with ground cover and/or shrubs.
- 2. Courtyard Landscaping.** Courtyards shall provide a combination of trees, shrubs, and ground cover as follows:
 - a. Minimum one tree per 500 square feet of courtyard space. Palm trees cannot be used to satisfy the minimum requirement.
 - b. A minimum of 20% of the courtyard area shall be planted with landscaping.

3. **Above-Grade Courtyard Landscaping.** Planting in above grade courtyards shall have a minimum soil depth of 12 inches for ground cover, 20 inches for shrubs, and 36 inches for trees.
4. **Plant Palette.** To encourage variety, the plant palette (excluding trees) for each project shall include at least two colors, textures, and heights.
5. **Street Trees.** New development shall provide street trees along the public right-of-way planted no farther apart on center than the mature diameter of the proposed species, or a maximum of 40 feet on center. Street tree species shall be selected in consultation with the City and/or from the City's adopted master list of street trees. Palm trees are prohibited along the public right-of-way. See Chapter 5 Transportation and Public Spaces for additional information on utility conflicts related to tree planting and public streetscape design specifications along El Camino Real.
6. **Drought-Tolerant Species.** A minimum of 50% of non-turf landscaped areas shall be planted with native or drought-tolerant planting (as identified in the Santa Clara Valley Water District Qualifying Plant List or East Bay MUD Plants and Landscapes For Summer-Dry Climates guide book) to bring interest and beauty to the landscape, support biodiversity, and reduce the need for pesticides and excessive irrigation.
7. **Irrigation.** All landscaped areas shall be irrigated with an in-ground irrigation system, unless a licensed landscape architect submits a written verification that the proposed planting materials do not require irrigation. Permanent irrigation systems shall meet the following standards:
 - a. Utilize low-volume irrigation emitters such as bubbler, drip irrigation, and soaker hose emitters and/or high-efficiency nozzles on spray irrigation.
 - b. Be equipped with a meter or submeter and backflow preventer.





8. **Limit Turf Areas.** Turf shall be limited to accent areas, activity or recreation areas (e.g. sports or play areas of a common open space), or in parkway areas between sidewalks and street curbs. Turf is not permitted in median strips.
9. **Landscape Screening.** Plantings required for screening (see Service, Utility, and Equipment Screening and Parking Structure Design and Screening standards above) shall be a minimum of 15-gallon in size at time of planting and shall be spaced to form an opaque barrier.

Landscaping Guidelines

1. **Landscape Screening to Reduce Visual Impacts.** Landscaping should be used to provide effective screening of parking areas, retaining walls, fences, utility enclosures, utility cabinets, service areas, service corridors, and similar areas to reduce negative visual impacts.
2. **Mature Trees.** Mature, healthy existing trees should be preserved where possible.
3. **Stormwater Management.** Stormwater runoff should be detained and retained by maximizing the use of pervious surfaces, vegetated bioswales, and vegetative groundcover to the greatest extent possible.
4. **Landscape Maintenance.** All required landscape improvements should be maintained in good condition, with regular pruning and/or replacement, and should be kept free from refuse and debris. Any plant material that is significantly damaged, missing, disease-ridden, or dead should be replaced to meet the intent of the original landscape plan approval within one year or the next planting season, whichever occurs first.
5. **Parking landscaping.** New and reconfigured surface parking lots should provide a tree canopy with a goal of 50 percent or greater coverage at maturity, which may be offset by the substitution or mixing of solar panels. See the Santa Clara Zoning Ordinance for additional requirements.

Private Open Space

Private, on-site open spaces are an important feature of good site design. They provide usable outdoor areas where residents, workers, and other building visitors can rest, relax, and socialize. There are two types of private residential open space: personal outdoor areas and common outdoor areas. Personal outdoor areas are intended for the private use for each individual dwelling unit and can be provided in a variety of formats such as porches, balconies, terraces/decks, private gardens, and private yards. Common private outdoor areas are intended for the common shared use of building residents. They can be access-controlled and provided in a variety of formats such as courtyards, gardens, recreation amenities, play areas, rooftop amenities, common outdoor dining areas, and outdoor kitchens, barbeque spaces, and picnic amenities. Both are important components of a successful residential development. Open space standards for all three land use designations and requirements specific to Activity Centers are outlined above. The following provides additional private open space standards and guidelines that apply to the entire Plan Area.

Private Open Space Standards

1. **Provision of Private Open Spaces.** A minimum amount of private outdoor space shall be provided for projects as identified in Tables 4-3, 4-6, and 4-9.
2. **Personal Private Open Space Design.** Personal private open spaces shall be designed to create usable space for residents to spend time sitting and relaxing outdoors or observing public and common open spaces, and to provide direct visible access to the sky. Storage enclosures, unusable buffer spaces, unusable landscape area, or other unusable outdoor areas may not count towards personal private open space requirements. Personal outdoor spaces shall meet the following standards:

- a. A minimum dimension of 10 feet in at least one direction, with a minimum of at least five feet in any other direction for each personal outdoor space provided;
- b. Minimum clear height dimension of 8 feet and 6 inches; and
- c. Accessible directly from a residential unit.

3. **Personal Private Open Space Orientation.** Personal private open spaces shall be internally located within the building or building site, along pedestrian pathways between buildings, within alcoves and courtyards, and/or near (within 50 ft of) building entrances. If private outdoor spaces are located at the perimeter of the property, they shall provide inviting, visually permeable street frontages and by avoid opaque privacy fences, blank walls, or other fully opaque screening techniques that have a negative impact on the public pedestrian environment.





- 4. Common Private Open Space Design.** Common private open space shall meet the following standards to create comfortable and functional outdoor space that encourages community activity and use:
- a. A minimum dimension of 15 feet in at least one direction, with a minimum of at least 10 feet in all other directions. Courtyards enclosed on four sides shall have a minimum dimension of 40 feet and have a minimum courtyard width to building height ratio of 1.25:1.
 - b. Minimum of 60% of area open to the sky free of permanent weather protection;
 - c. Minimum 25% of landscape area;
 - d. Include shaded areas through the use of shade trees and/or structures (e.g. awnings, trellises, umbrellas);
 - e. Include places to sit (e.g. seat walls, planter ledges, benches, moveable seating, fixed seating and seating steps);
 - f. Include one or more of following amenities:
 - Playground equipment;
 - Picnic tables;
 - Barbecue grills;
 - Exercise equipment;
 - Sports facilities.

5. **Visibility of Common Spaces.** Unless located on the rooftop, common outdoor spaces shall be designed and oriented to be visible from inside the building, such as windows located at building entrances and/or dwelling unit windows.
6. **Transitions between Open Spaces.** Ground level private open spaces shall be screened or buffered from adjacent public open spaces and common open spaces by meeting at least one of the following standards:
 - a. Landscaped plant material and/or planters with plant material such that screening or buffering shall reach a minimum height of 32 inches and a maximum height of 60 inches (max 36 inches for front and street side frontages).
 - b. Open fencing, arbors, trellises, or other structures with a minimum height of 32 inches and a maximum height of 60 inches (max 36 inches for front and street side frontages).
 - c. Masonry or wood wall with a minimum height of 30 inches and a maximum height of 36 inches.

Private Open Space Guidelines

1. **Non-Residential Private Open Space.** Non-residential uses such as offices, retail stores, auto sales and services, hotels, and other non-residential uses are encouraged to provide on-site private common spaces. These spaces could be provided in a variety of indoor or outdoor formats, such as:
 - Outdoor seating
 - Break rooms
 - Outdoor dining areas for use by employees
 - Recreation areas
 - Gardens
 - Other private common areas
2. **Maximize Use of Rooftops.** Maximize the use of rooftops and upper level terraces for private open space and common private open space.

Publicly-Accessible Open Space

Publicly-accessible, privately-maintained open spaces are an important amenity for residents, workers, and visitors. The intent for El Camino Real is to encourage aesthetically pleasing publicly-accessible outdoor spaces both at Activity Centers and throughout the Plan Area consistent with El Camino Real's intended mix of uses. This includes resident-oriented spaces such as playgrounds, dog parks, and gardens, as well as visitor-oriented spaces such as event spaces, plazas, public seating areas, public spaces for markets and commerce, and flexible community gathering spaces. These spaces will provide welcome areas of respite, landscaping, and community socializing to make El Camino Real a more inviting and livable place. El Camino Real will continue to benefit from existing larger public open space amenities just outside the corridor such as Santa Clara Central Park, Bowers Park, Rotary Park, and Steve Carli Park. Open space standards for all three land use designations and requirements specific to Activity Centers are outlined above. The following provides additional standards and guidelines for publicly-accessible private open spaces that apply to the entire Plan Area to ensure the provision of public open spaces that are accessible, welcoming, and consistent with existing City standards.

Publicly-Accessible Private Open Space Standards

1. Residential Public Open Space Requirements. All new residential development is required to dedicate land, pay a fee in lieu thereof, or provide a combination of such dedication and fee for new parks and recreational facilities per the City's existing Park & Recreational Land Dedication requirements (Chapter 17.35 of the Santa Clara City Code). In the RCMU designation, onsite public parks provided per the City's parkland dedication requirements may count towards fulfilling the 10 percent publicly-accessible open space standard, subject to approval by the Director of Parks and Recreation (per Chapter 17.35.080).

- 2. Publicly-Accessible Private Open Space (PAPOS) Dimensions.** PAPOS's in the RCMU designation shall have a minimum 40-foot dimension in at least one direction and a minimum total area of 3000 square feet. In all other areas, new publicly-accessible, privately-maintained open space shall be usable space with a minimum 20-foot dimension in at least one direction and a minimum of 10 feet in all other directions. Flexibility in this dimensional guideline is permitted subject to approval from the Planning Commission.
- 3. PAPOS Access, Visibility, and Activation.**
- a. PAPOS's shall be open during daylight hours.
 - b. At least one side of the PAPOS with a minimum dimension of 20 feet shall be directly accessible and visible from a public right-of-way. In the RCMU designation, PAPOS's may be internal to the site and not directly accessible and visible from a public right-of-way (El Camino Real or side street), in which case it shall be directly accessible and visible from an internal street or pathway (public access easement).



c. In the RCMU designation, at least one side of the PAPOS with a minimum dimension of 40 feet shall be directly adjacent to/lined with active ground floor frontages, such as retail and restaurant uses.

4. **PAPOS Amenities.** PAPOS's in the RCMU designation shall include at least three of the following amenities or features. All other PAPOS's along the corridor shall include at least two of the following:

- Water features
- Public art
- Shade structure (e.g., awnings, trellises, umbrellas)
- Drinking fountains
- Seating options that could include seat walls, planter ledges, benches, picnic tables, and seating steps.
- Infrastructure to support events and vendors (e.g., removable bollards, power outlets, stage or performance area)

5. **PAPOS Design and Landscaping.** PAPOS's shall be designed to create usable and comfortable open space for public use by meeting the following standards:

- a. A minimum of 60% of the area shall be open to the sky free of permanent weather protection.
- b. A minimum of 20% of the open space area shall be planted with ground cover and/or shrubs (includes raised planters).
- c. A minimum of one tree shall be planted per 800 square feet of the open space area. Palm trees cannot be used to satisfy the minimum requirement.

6. **PAPOS Lighting.** Appropriate pedestrian-scale lighting shall be provided in any new publicly-accessible private parks, plazas, and other open spaces for nighttime uses and security.



Public parklet

Publicly-Accessible Private Open Space Guidelines

- 1. Provision of PAPOS's.** New residential and commercial development projects are encouraged to include publicly-accessible, privately-maintained open space. Whenever possible, new development should provide on-site public open space rather than in-lieu fees.
- 2. Aggregated Open Space.** Project applicants should work with the City to identify opportunities to create larger combined open spaces, or to collaborate on open space design and location with adjacent projects.
- 3. Paving Design.** Plaza designs that incorporate special paving materials such as pavers, scored concrete, stone, tile, or other accent materials are encouraged.
- 4. Safe Parks.** Utilize CPTED (Crime Prevention through Environmental Design) strategies to improve safety in new and existing parks and plazas by adding appropriate lighting and visibility in open space facilities; activating open spaces with programs/community gardens/community events; increasing natural surveillance by trimming surrounding vegetation and allowing views in and out of open spaces; and removing graffiti and properly maintaining open spaces.
- 5. PAPOS Use and Programming.** The design of the parks and plazas in the El Camino Real Specific Plan Area should promote public gathering, enjoyment, and active use by a broad range of the community. When possible, locate, orient, and design public outdoor spaces in a way that will support community events such as farmers' markets, art fairs, live music concerts, and other periodic special programming. For example, consider the provision of infrastructure to support events and vendors, such as removable bollards and power outlets.



6. Building Frontages Adjacent to PAPOS's. Building frontages abutting public plazas or publicly-accessible open spaces should include active ground floor uses such as retail, dining, and entertainment that are designed and oriented to activate the space with entrances directly onto the open area, outdoor seating associated with the adjacent use, and architectural features that provide transition from outdoor to indoor spaces, such as porches, awnings, arcades, terraces, stoops, or patios. The back of buildings or blank walls should not abut public open spaces.

7. Sustainable Features. New publicly-accessible open spaces should be designed to incorporate best practices in sustainability, including water use and conservation, stormwater management (e.g., permeable paving, rain gardens), landscaping, and drought tolerant planting.

